



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
Rebecca Esau, Interim Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: June 7, 2017
To: Interested Person
From: Emily Hays, Land Use Services
503-823-5676 / Emily.Hays@portlandoregon.gov

NOTICE OF A TYPE I PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 21 days, **we need to receive your written comments by 5 p.m. on June 21, 2017**. Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 17-154165 HR, in your letter. It also is helpful to address your letter to me, Emily Hays. You can also e-mail your comments to me at my e-mail address identified above.

CASE FILE NUMBER: LU 17-154165 HR - EXPANDED REAR DECK & NEW DOORS

Applicant: Dave Spitzer | DMS Architects Inc
2325 NE 19th Avenue
Portland, OR 97212

Owners: Emmaly I Maynard & James B Maynard
2625 NE 16TH Avenue
Portland, 97212-4233

Site Address: **2625 NE 16th Avenue**

Legal Description: BLOCK 61 LOT 3, IRVINGTON
Tax Account No.: R420413150
State ID No.: 1N1E26AC 17100
Quarter Section: 2732

Neighborhood: Irvington, contact Dean Gisvold at 503-284-3885.
Business District: North-Northeast Business Assoc, contact at chair@nnebaportland.org
District Coalition: Northeast Coalition of Neighborhoods, contact Jessica Rojas at 503-388-5030.

Plan District: None
Other Designations: Contributing Resource in the Irvington Historic District

Zoning: R5a – Residential 5,000 with Alternative Design Density Overlay

Case Type: HR – Historic Resource Review
Procedure: Type I, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

Proposal:

The applicant is seeking Historic Resource Review for alterations to a contributing resource in the Irvington Historic District. The proposal includes the expansion of a rear deck 2'-0" toward the West (rear) property line and 9'-6" toward the North (side) property line; the addition of a pair of 5'-0" x 6'-8" wood French doors opening onto the new portion of the deck where none previously existed; and replacement of an existing wood door with a new wood French door also on the rear facade.

Historic resource review is required because the proposal is for non-exempt exterior alterations on a resource in the Irvington Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria specified in the Portland Zoning Code. The relevant approval criteria are:

- Criteria in Section 33.846.060.G of the Portland Zoning Code

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on April 17, 2017 and determined to be complete on June 1, 2017.

Decision Making Process

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and either:

- Approve the proposal.
- Approve the proposal with conditions.
- Deny the proposal.

We will mail you a copy of our decision only if you comment in writing to us at the City of Portland Bureau of Development Services, 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201. There will be no public hearing.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. You may also find additional information about the City of Portland and City Bureaus, as well as a digital copy of the Portland Zoning Code, by visiting the City's homepage on the Internet at www.portlandonline.com.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

Appeal Process

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem OR 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues which may provide the basis for an appeal to LUBA must be raised in writing before the deadline for comments, or you may not be able to raise that issue in an appeal. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

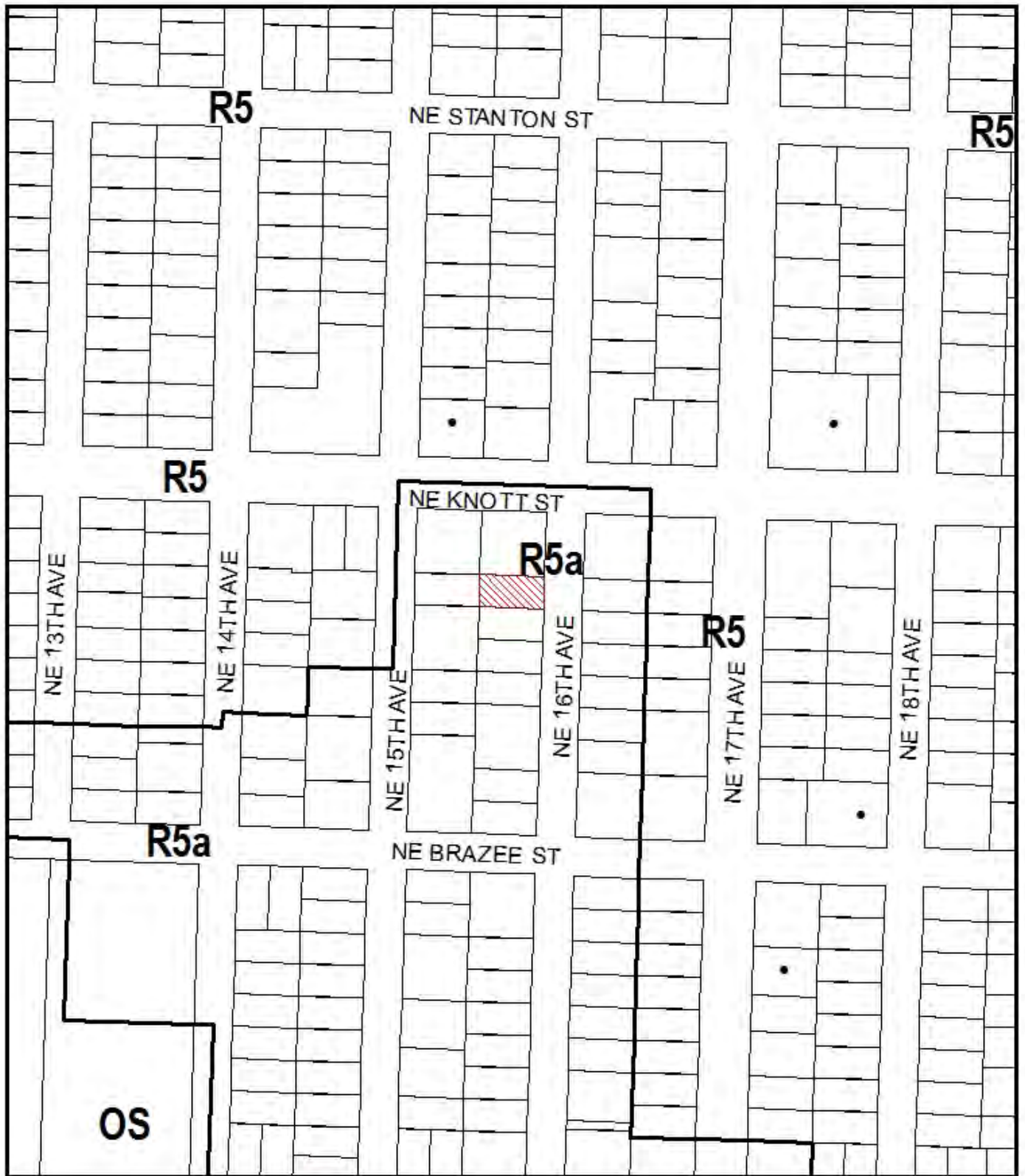
The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

Zoning Map

Existing Site Plan & Elevations

Proposed Site Plan & Elevations



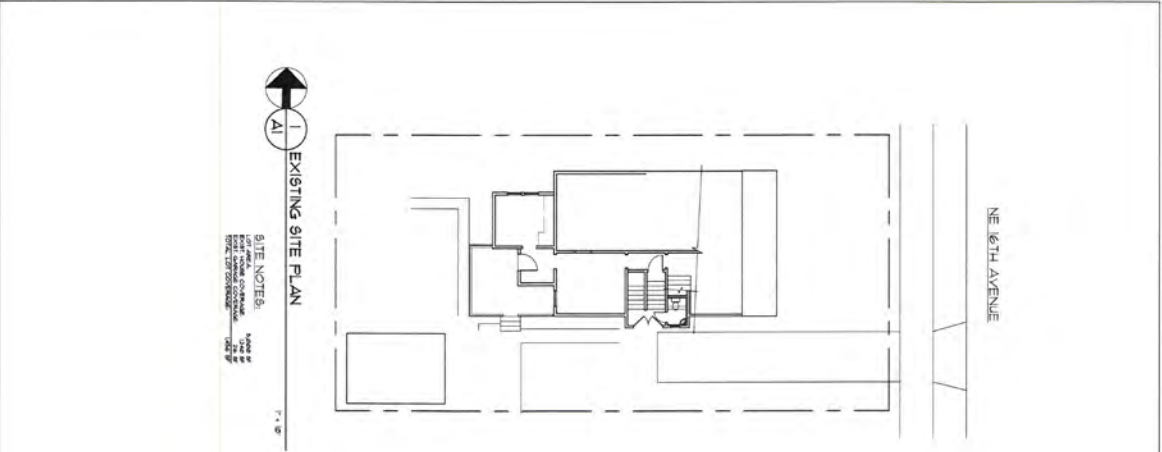
ZONING

-  Site
-  Historic Landmark

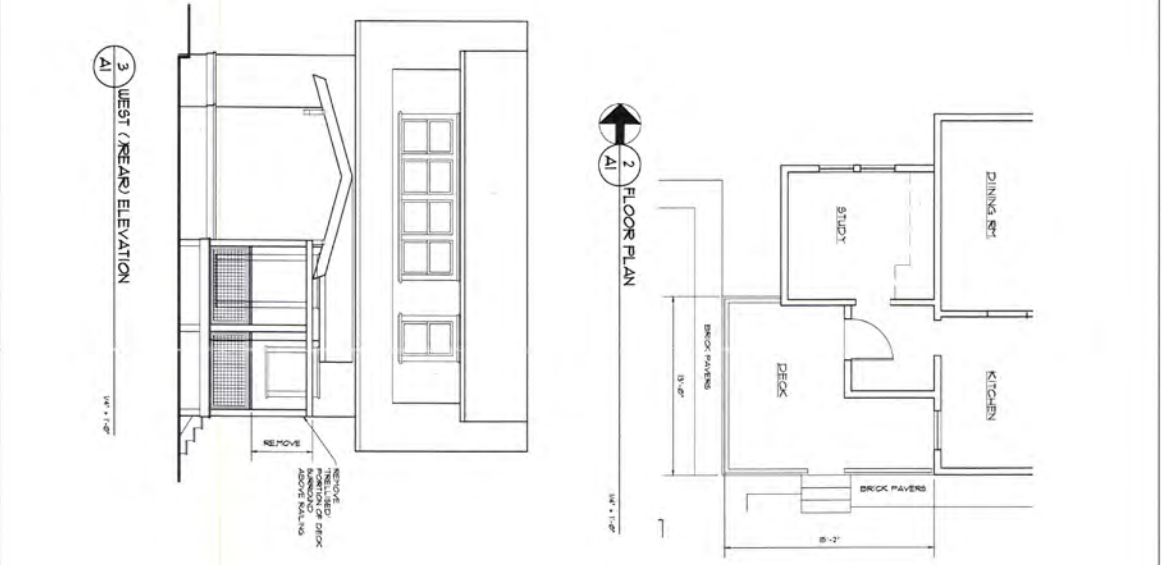


This site lies within the:
IRVINGTON HISTORIC DISTRICT

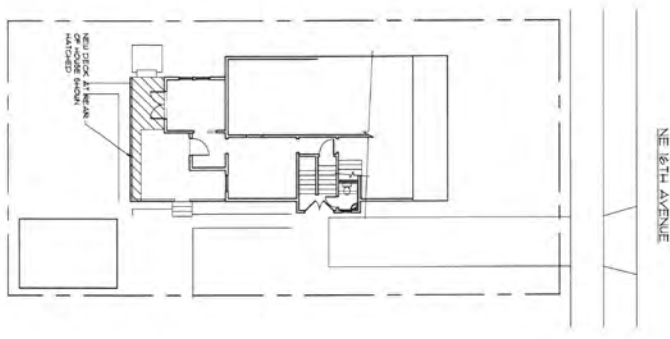
File No. LU 17-154165 HR
 1/4 Section 2732
 Scale 1 inch = 200 feet
 State_Id 1N1E26AC 17100
 Exhibit B (Apr 18, 2017)



SITE NOTES:
 1. EXISTING BUILDING
 2. EXISTING DRIVEWAY
 3. EXISTING WALKWAY
 4. EXISTING PATIO
 5. EXISTING DECK

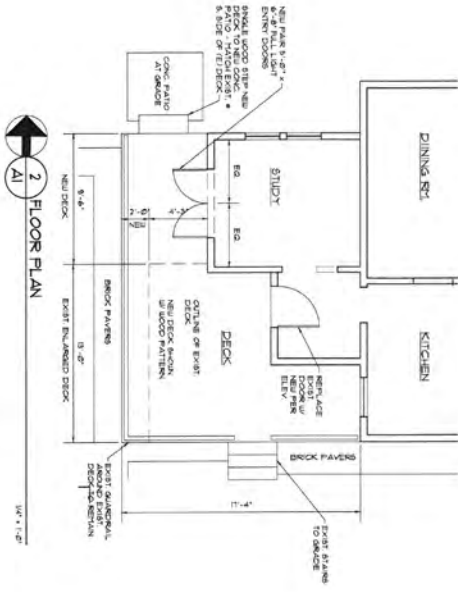


SHEET	A1 of 1	NO. 000016	SHEET CONTENT EXIST. CONDITIONS DRAWING	MAYNARD ADDITION	2625 NE 16TH AVE PORTLAND, OREGON 97212	2625 NE 16TH AVE PORTLAND, OR 97212		
		DATE: 5-31-17						

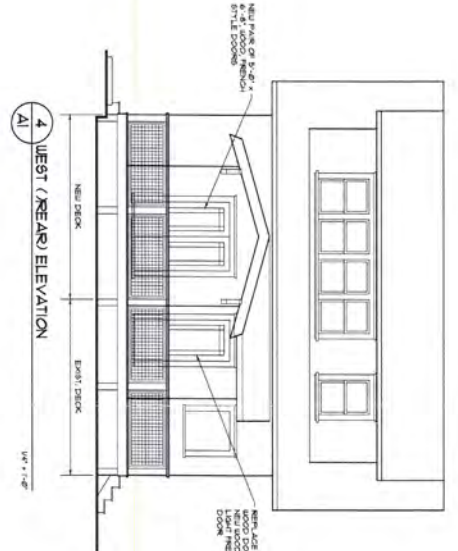


1 SITE PLAN
AI

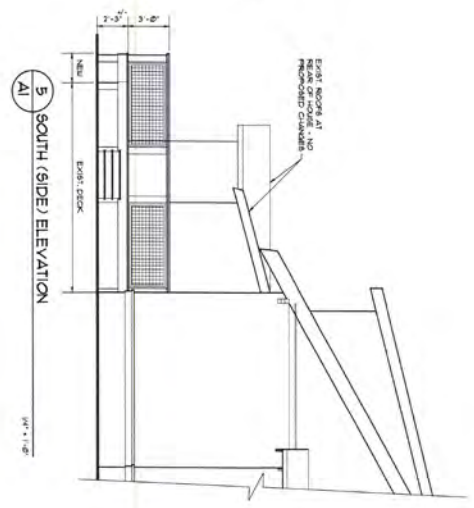
SITE NOTES:
 1. NEW 10' x 10' x 10' CONCRETE FOUNDATION OR CONCRETE FOUNDATION MATCHED
 2. SEE SHEET 5-31-17 FOR EXTERIOR ELEVATIONS
 3. SEE SHEET 5-31-17 FOR FLOOR PLAN



2 FLOOR PLAN
AI



4 WEST (REAR) ELEVATION
AI



5 SOUTH (SIDE) ELEVATION
AI

SITE NOTES:
 PROJECT DESCRIPTION:
 * NEW 10' x 10' x 10' CONCRETE FOUNDATION
 * CHANGE EXISTING REAR ENTRY DOOR FROM 6' x 6' TO 8' x 8'
 * ADD NEW 8' x 8' x 8' CONCRETE ENTRY DOOR
 * EXISTING DECK TO REMAIN
 * NEW DECK TO MATCH EXISTING DECK
 * BRICK PAVERS TO MATCH EXISTING BRICK PAVERS

MAYNARD ADDITION

2625 NE 16TH AVENUE
 PORTLAND, OREGON 97212

2625 NE 16TH AVENUE
 PORTLAND, OREGON 97212
 503.255.5555
 david@maynardarchitect.com



SHEET	DATE	05-31-17
	REVISIONS	
	DRAWN	DMS
	CHECKED	DMS
SHEET CONTENT		
SITE PLAN		
FLOOR PLAN		
EXTERIOR ELEVATIONS		
PROJECT NO.	000016	
DATE	05-31-17	
SCALE	AS SHOWN	
PROJECT	MAYNARD ADDITION	
ARCHITECT	MAYNARD ARCHITECT	
REGISTERED ARCHITECT	STATE OF OREGON	
NO. 10000		
PORTLAND, OREGON		
DAVID MAYNARD		

A1 of 2