



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner  
Rebecca Esau, Interim Director  
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[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** May 2, 2017  
**To:** Interested Person  
**From:** Hannah Bryant, Land Use Services  
503-823-5353 / [Hannah.Bryant@portlandoregon.gov](mailto:Hannah.Bryant@portlandoregon.gov)

**NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

**CASE FILE NUMBER: LU 17-116508 DZ – PETSMART ROOFTOP HVAC**

**GENERAL INFORMATION**

**Applicant:** Tim Schenk | Elder-Jones Inc.  
1120 E 80th Street, Suite 211  
Bloomington, MN 55420  
  
Mike Montgomery  
4931 SW 76th Avenue 211  
Portland, OR 97225

**Architect:** Danny Harvey | RSP Architects  
600 West 6th Street, Suite 100  
Fort Worth TX, 76102

**Owner:** TMT Lloyd Retail Inc.  
4 Embarcadero Center #3300  
San Francisco, CA 94111-4184

**Site Address:** **1100 NE Weidler Street**

**Legal Description:** BLOCK 201-204 TL 13100, HOLLADAYS ADD  
**Tax Account No.:** R396213980, R396213980  
**State ID No.:** 1N1E26CD 13100, 1N1E26CD 13100  
**Quarter Section:** 2831

**Neighborhood:** Lloyd District Community, contact Cassidy Bolger at [bolger.cassidy@gmail.com](mailto:bolger.cassidy@gmail.com)

**Business District:** Lloyd District Community Association, contact Brian Griffis at [admin@lloyddistrict.org](mailto:admin@lloyddistrict.org).

**District Coalition:** None  
**Plan District:** Central City - Lloyd District  
**Zoning:** CXd – Central Commercial with Design Overlay

**Case Type:** DZ – Design Review  
**Procedure:** Type II, an administrative decision with appeal to the Design Commission.

**Proposal:**

The applicant seeks Design Review approval for a proposal to replace five existing rooftop mechanical units with new units, and to add three additional units and three new rooftop exhaust fans. All proposed units will be set back a minimum of 10 feet from the roof edge, and screened behind a five-foot tall parapet. The proposed units are 42” to 54” tall. Design Review is required because the proposal is located in the Lloyd Subdistrict of the Central City. Since there are more than eight rooftop mechanical units proposed, it is not exempt from review.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- Central City Fundamental Design Guidelines
- Special Design Guidelines for the Design Zone of the Lloyd District of the Central City Plan

## ANALYSIS

**Site and Vicinity:** The site is located in the Lloyd Sub-district of the Central City Plan District. The site is considered a “Superblock” as it is made up of multiple blocks with vacated streets – specifically for this site, 3 3/4 typical 200’ x 200’ blocks with three 60’-wide vacated streets (NE 11<sup>th</sup> Avenue, NE 12<sup>th</sup> Avenue and NE 13<sup>th</sup> Avenue). The northern boundary is NE Weidler Street (Major Transit Priority Street, Major City Traffic Street, City Walkway, Major Emergency Response Street, Bus Line, City Bikeway), the southern boundary is NE Halsey Street (Local Service Walkway, Minor Emergency Response Street, Local Service Bikeway), the eastern boundary is NE 14th Avenue (Local Service Walkway, Minor Emergency Response Street, Local Service Bikeway), and the western boundary is NE 10th Avenue (Local Service Walkway, Minor Emergency Response Street, Local Service Bikeway). The site is located in the Lloyd Pedestrian District.

The site consists of a large surface parking lot to the west, a 2-story commercial building currently housing a Dollar Tree store and a sloped structure parking area with surface and below-grade parking to the east, and the 1-story building proposed to receive replacement and new rooftop HVAC. The building identified in this proposal is located between the vacated NE 11<sup>th</sup> Avenue and vacated NE 12<sup>th</sup> Avenue (not a pedestrian plaza between the two commercial buildings on site).

**Zoning:** The Central Commercial (CX) zone is intended to provide for commercial development within Portland’s most urban and intense areas. A broad range of uses is allowed to reflect Portland’s role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together. Development is intended to be pedestrian-oriented with a strong emphasis on a safe and attractive streetscape.

The “d” overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Central City Plan District implements the Central City Plan and other plans applicable to the Central City area. These other plans include the Downtown Plan, the River District Plan, the University District Plan, and the Central City Transportation Management Plan. The

Central City plan district implements portions of these plans by adding code provisions which address special circumstances existing in the Central City area. The site is within the Lloyd Subdistrict of this plan district.

**Land Use History:** City records indicate that prior land use reviews include the following:

- **LU 89-004795-** Approval of storefront remodel.
- **LU 93-010774-** Approval of installation of two signs.
- **LU 99-016411-** Approval of installation of two signs and removal of six existing signs.
- **LU 02-132455 DZM-** Approval of phased development plan to comply with non-conforming upgrades.
- **LU 03-120140 DZ-** Approval of the Master Plan for renovation of existing pedestrian plazas in vacated section of NE 12<sup>th</sup> Avenue.
- **LU 03-144231 DZ-** Approval of renovations to the exterior of the skybridge.
- **LU 04-048385 DZM-** Approval of exterior alterations to 'Building K' at Lloyd Center Mall.
- **LU 05-164741 DZ-** Approval of a new 47 sf wall-mounted, illuminated sign.
- **LU 07-183278 DZ-** Approval of an exterior remodel to Dollar Tree at Lloyd Center Mall.
- **LU 12-203941 DZ-** Approval of exterior restoration and alterations, including new cladding, storefronts, canopies, lighting and planters.
- **LU 13-154666 DZ-** Approval of two replacement signs.
- **LU 15-138068 DZ-** Approval of proposal to replace an exterior escalator with stairs at the Lloyd Safeway Center.

**Agency Review:** A "Notice of Proposal in Your Neighborhood" was mailed **March 31, 2017**. The following Bureaus have responded with no issues or concerns:

- Bureau of Environmental Services
- Water Bureau
- Fire Bureau
- Site Development Section of BDS

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on March 31, 2017. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

## **ZONING CODE APPROVAL CRITERIA**

### **Chapter 33.825, Design Review**

#### **Section 33.825.010 Purpose**

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

#### **Section 33.825.055, Design Review Approval Criteria**

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design district guidelines.

**Findings:** The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Central City Fundamental and Lloyd District Special Design Guidelines.

### **Special Design Guidelines for the Design Zone of the Lloyd District of the Central City Plan and Central City Fundamental Design Guidelines**

The Lloyd District is a unique, multi-dimensional neighborhood in the Central City, with special features and assets found nowhere else in Oregon.

With the recent completion of the Oregon Convention Center, the District now serves as the “front door for Oregon and our city.” The District as a whole is emerging as a special area in the state and the region, and the way it is developed will determine its comfort and continued use.

The purpose of design review is to carry out the urban design vision for the District by emphasizing unique district assets in a manner that is respectful, creative, supportive, and compatible with all its areas. Although the District is a complex urban environment, it can become a cohesive whole with the use of these design principles.

The Central City Fundamental Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland’s character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

#### **Lloyd District Design Goals**

The following goals and objectives define the urban design vision for new development and other improvements in the Lloyd District

- Encourage the special distinction and identity of the Lloyd District;
- Integrate the sub-areas of the District for a visual and functional coherence of the whole; and
- Improve the safety, convenience, pleasure, and comfort of pedestrians.

#### **Central City Plan Design Goals**

This set of goals are those developed to guide development throughout the Central City. They apply within all of the Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City’s districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City’s districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

*Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project. Central City and Lloyd District Guidelines are addressed concurrently.*

**A5. Enhance, Embellish, and Identify Areas.** Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area’s character. Identify an area’s special features or qualities by integrating them into new development.

**A5-1. Develop Identifying Features.** Encourage the inclusion of features in the design of projects that give projects identity and a sense of place or significance within the District.

**Findings for A5 & A5-1:** The proposal to locate all new and replacement rooftop mechanical units a minimum of 10’ from the roof edge, behind a 5’ high parapet, serves to prevent visibility of rooftop units from nearby public right-of-way. Screening of rooftop

mechanical units does not detract from the positive pedestrian environment, in alignment with Lloyd District guidelines and Design Commission commentary on recently approved projects in the vicinity. *These guidelines have been met.*

**A6. Reuse/Rehabilitate/Restore Buildings.** Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

**Findings for A6:** This building has had many commercial iterations. Updating the HVAC through the addition and replacement of rooftop mechanical units allows it to meet the needs of its future tenant while maintaining the viability of the existing building. *This guideline has been met.*

**B1. Reinforce and Enhance the Pedestrian System.** Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

**B1-1. Protect Pedestrian Areas from Mechanical Exhaust.** Incorporate mechanical exhausting systems in a manner that does not detract from the quality of the pedestrian environment.

**B1-3. Design Projects to Attract Pedestrians to the Broadway/Weidler Corridor.**

Incorporate design features in new projects or building renovation which attract pedestrians and encourage their safe and enjoyable movement throughout the Broadway/ Weidler Corridor and which support the corridor as a neighborhood retail area.

**B2. Protect the Pedestrian.** Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

**Findings for B1, B1-1, B1-3 and B2:** Locating mechanical units on the roof serves to protect pedestrians from the noise, smells and air exhaust that are the byproducts of HVAC units. Removing these negative impacts from the pedestrian zone helps to reinforce and enhance the pedestrian right-of-way in the Weidler retail corridor. *These guidelines have been met.*

**C2. Promote Quality and Permanence in Development.** Use design principles and building materials that promote quality and permanence.

**C10-2. Design Exterior Building Walls that are Transparent in Glazed areas and Sculptural in Surface.** Design exterior building walls that are transparent or translucent in the glazed areas and which are textural, sculptural and articulated in surface character.

**C10-3. Use Light Colors.** The use of light color values is preferred for the predominant exterior building materials. Darker value materials should be used to accent or articulate the design.

**Findings for C2, C10-2 & C10-3:** Thoughtful, discreet integration of the rooftop mechanical units behind the parapet of this light colored building allows the architecture and activity inside the transparent storefront windows to enhance the pedestrian experience. The rooftop units are not visible from the nearby pedestrian realm, and do not detract from the retail-oriented pedestrian corridor. *These guidelines have been met.*

**C3. Respect Architectural Integrity.** Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

**C5. Design for Coherency.** Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

**C11. Integrate Roofs and Use Rooftops.** Integrate roof function, shape, surface materials, and colors with the building's overall design concept. Size and place rooftop mechanical

equipment, penthouses, other components, and related screening elements to enhance views of the Central City's skyline, as well as views from other buildings or vantage points. Develop rooftop terraces, gardens, and associated landscaped areas to be effective storm water management tools.

**Findings for C3, C5 & C11:** The additional rooftop units are integrated into the architecture of the existing building, hidden behind the parapet and dispersed across the rooftop in locations that are a minimum of 10' from the face of the parapet. Both the new and replacement units will be finished in a gray paint color to blend in with the rest of the roof. Varying in height from 42-52" tall, the units are all shorter than the surrounding parapet. The new units will not compromise the building's architectural integrity. *These guidelines have been met.*

## DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## CONCLUSIONS

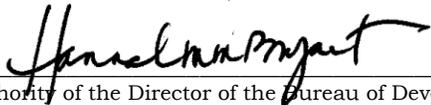
This proposal efficiently updates the heating, air-conditioning and ventilation needs of a new retail tenant. The new units are sized and located to ensure minimal visibility from adjacent buildings and parking structures, and no visibility from the adjacent public right-of-way.

## ADMINISTRATIVE DECISION

Approval of five replacement and three new rooftop HVAC units, per the approved site plans, Exhibits C-1 through C-2, signed and April 28, 2017, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 17-116508 DZ." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

**Staff Planner: Hannah Bryant**

**Decision rendered by:**  **on April 28, 2017**  
By authority of the Director of the Bureau of Development Services

**Decision mailed: May 2, 2017**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on February 6, 2017, and was determined to be complete on March 28, 2017.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on February 6, 2017.

*ORS 227.178* states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case the applicant did not waive or extend the 120-day review period.

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on May 16, 2017** at 1900 SW Fourth Ave. Appeals can be filed at the 5<sup>th</sup> floor reception desk of 1900 SW 4<sup>th</sup> Avenue Monday through Friday between 8:00 am and 4:30 pm. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21

days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Recording the final decision.**

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, the final decision may be recorded on or after **May 17, 2017**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034. For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

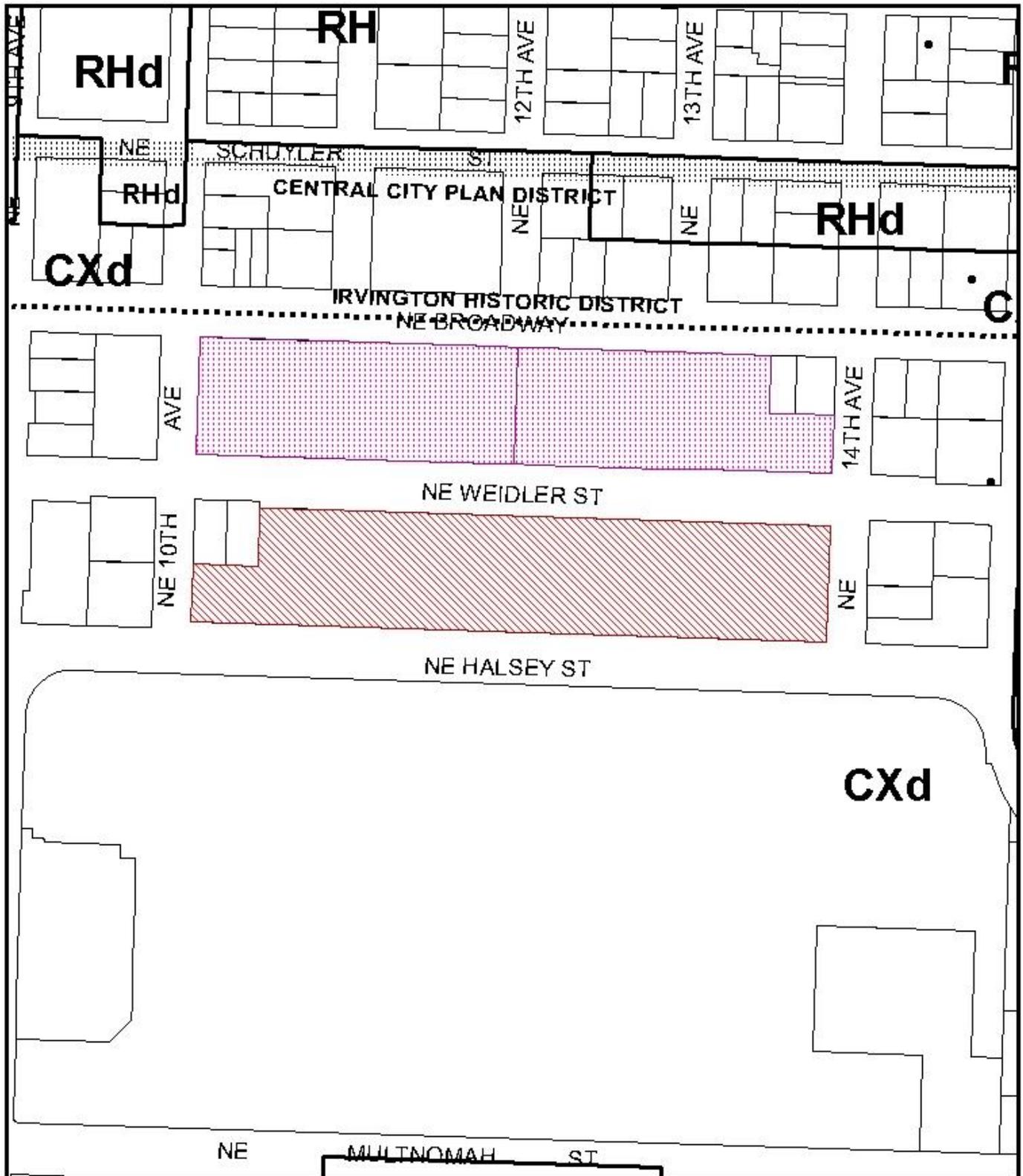
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

**EXHIBITS**

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
  - 1. Project Narrative
  - 2. February 6, 2017 – Plans
  - 3. February 6, 2017 – Site Plan
  - 4. February 6, 2017 – Elevations
  - 5. February 6, 2017 – Site Photos
  - 6. March 28, 2017 -- Plans
- B. Zoning Map (attached)
- C. Plans/Drawings:
  - 1. Site Plan (attached)
  - 2. Roof Plan
- D. Notification information:
  - 1. Mailing list
  - 2. Mailed notice
- E. Agency Responses:
  - 1. Life Safety
  - 2. Fire Bureau
- F. Correspondence: None
- G. Other:
  - 1. Original LU Application

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**



# ZONING



This site lies within the:  
**CENTRAL CITY PLAN DISTRICT**  
**LLOYD DISTRICT SUB DISTRICT**

- Site
- Also Owned Parcels
- Historic Landmark

File No.	<u>LU 17-116508 DZ</u>
1/4 Section	<u>2931 2831</u>
Scale	<u>1 inch = 200 feet</u>
State_Id	<u>1N1E26CD 13100</u>
Exhibit	<u>B (Feb 09, 2017)</u>



**ROOF PLAN**  
**STORE NO. 2788**  
**1423 LLOYD CENTER**  
**PORTLAND, OREGON**

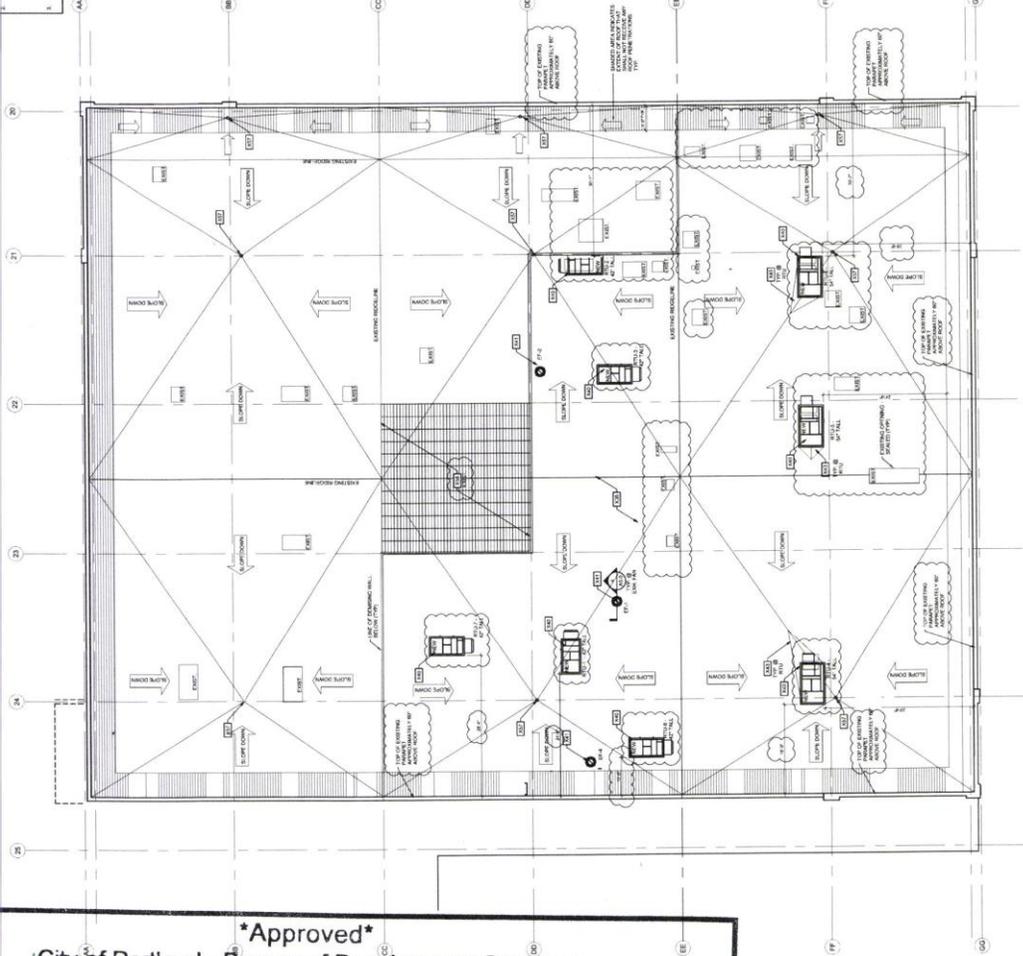


NO.	ISSUE	DATE



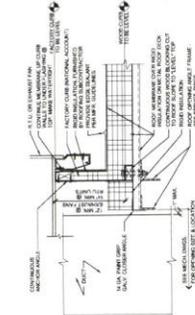
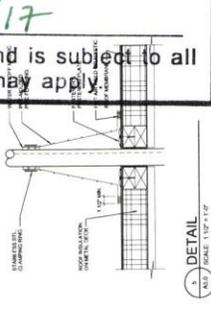
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**ROOF PLAN GENERAL NOTES:**  
 1. SEE SHEET FOR MECHANICAL  
 2. SEE SHEET FOR ELECTRICAL  
 3. SEE SHEET FOR PLUMBING  
 4. SEE SHEET FOR STRUCTURAL  
 5. SEE SHEET FOR FINISHES  
 6. SEE SHEET FOR INTERIORS  
 7. SEE SHEET FOR EXTERIORS  
 8. SEE SHEET FOR SPECIALTIES  
 9. SEE SHEET FOR ROOFING  
 10. SEE SHEET FOR PAINTS



1. ROOF PLAN  
 SCALE: 1/8" = 1'-0"

**\*Approved\***  
 City of Portland - Bureau of Development Services  
 Planner: *Handwritten Signature* Date: *4/24/17*  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



NOT USED  
 NOT USED  
 NOT USED



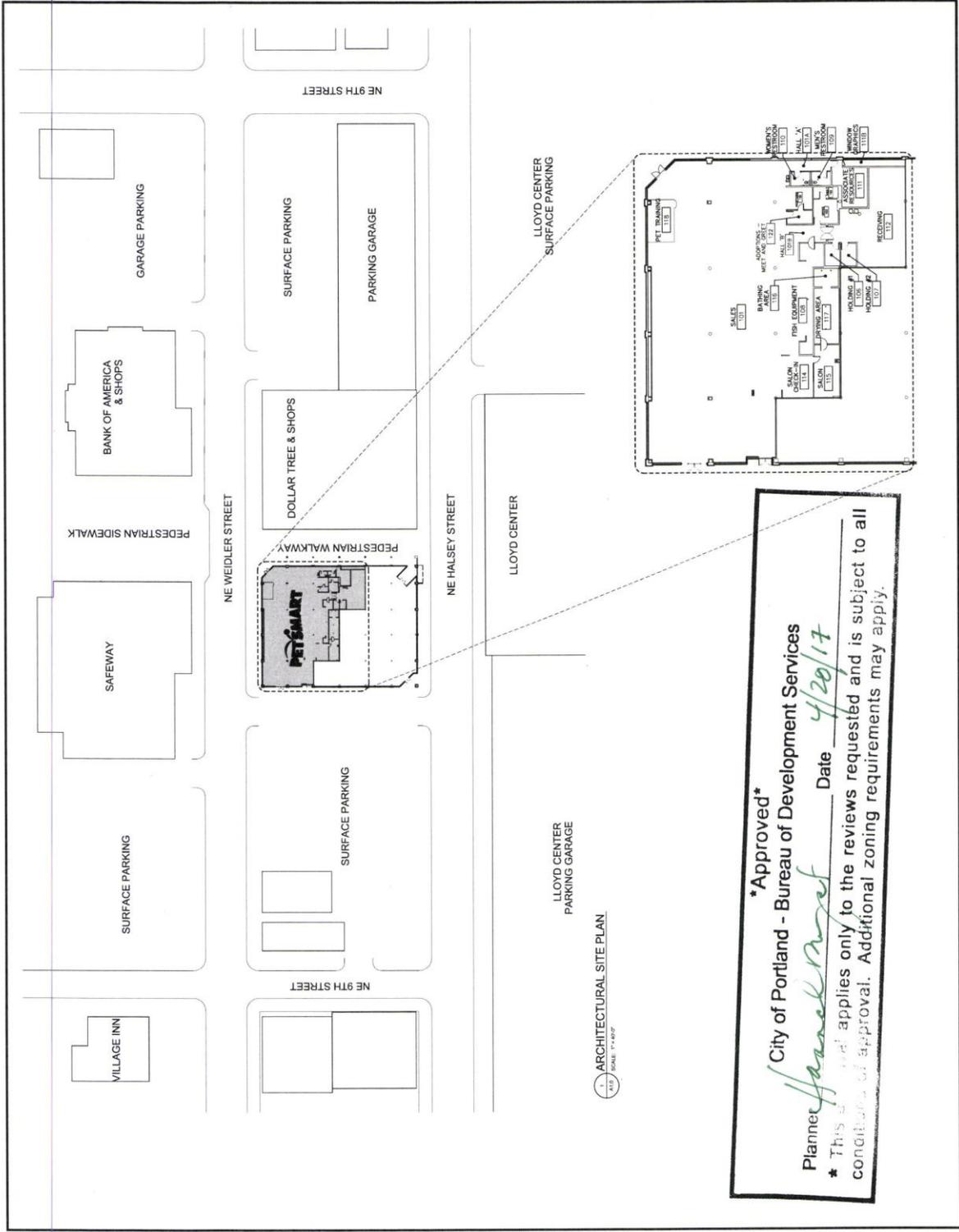
ARCHITECTURAL SITE PLAN  
 STORE NO. 2788  
 1423 LLOYD CENTER  
 PORTLAND, OREGON



DATE	ISSUE	SCALE	NO. OF SHEETS	TOTAL SHEETS



242509200  
 ASP



1. ARCHITECTURAL SITE PLAN  
 1/8" = 1'-0"

**\*Approved\***  
 City of Portland - Bureau of Development Services  
 Planner: *Handwritten Name* Date: *4/20/17*  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.