



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
Rebecca Esau, Interim Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: June 9, 2017
To: Interested Person
From: Mark Moffett, City Planner
503-823-7806/mark.moffett@portlandoregon.gov

NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, **we need to receive your written comments by 5 p.m. on Friday June 30th, 2017**. Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 17-169326 AD, in your letter. It also is helpful to address your letter to me, Mark Moffett. You can also e-mail your comments to me at my e-mail address identified above.

CASE FILE NUMBER: LU 17-169326 AD

Applicant: Robin Scholetzky | Urbanlens Planning LLC
2744 SE 34th Ave | Portland, OR 97202
robin@urbanlensplanning.net | (971) 706-8720

Architect: Marty Buckenmeyer | Buckenmeyer Architecture
2517 NE 47th Ave | Portland, OR 97213

Property Owners: Thomas and Karen Kuhn
1725 SE 57th Ave | Portland, OR 97215-3404

Site Address: 1725 SE 57TH AVE

Legal Description: LOT 10, BUCHANANS ADD
Tax Account No.: R113300200
State ID No.: 1S2E06DB 01000
Quarter Section: 3236

Neighborhood: Mt. Tabor, contact Stephanie Stewart at 503-230-9364.
Business District: Hawthorne Blvd. Bus. Assoc., contact Greg Moon at gmoon@westernseminary.edu

District Coalition: Southeast Uplift, contact Leah Fisher at 503-232-0010.

Zoning: **R5** (Single-Dwelling Residential 5,000 base zone)

Case Type: **AD** (Adjustment Review)
Procedure: **Type II**, an administrative decision with appeal to the Adjustment Committee.

PROPOSAL: The applicant is working with the property owners and an architect to design a new home and detached garage with Accessory Dwelling Unit (ADU) on the site of a home at 1725 SE 57th. The existing home will be moved to the north edge of the site, on a separate lot that serves today as the north side yard of the existing home.

The new detached garage and ADU will sit behind the home at the southwest corner of the lot, but with walls located outside of the required 5'-0" minimum side and rear setbacks. The single-car garage and two-story ADU structure has steeply-pitched roofs and dormers on the second floor, matching the design and roof form of the new main house.

Regulations for detached accessory structures limit the height of any individual structure to no more than 20'-0" tall (33.110.250.C.1). While height is measured to the mid-point of a gable roof that has a roof pitch of 12 in 12 or less, the proposed roof pitch is steeper than this with a roof pitch of 14 (rise) in 12 (run), where the Zoning Code requires that height be measured to the highest point (33.930.050.A). As proposed, the highest point of the detached garage/ADU structure is 23'-6" above the highest finished grade within 5'-0" of the new structure. Therefore, in order to construct the new detached garage/ADU as proposed, the applicant has requested an Adjustment to increase the height of the new garage/ADU outbuilding from 20'-0" to 23'-6".

RELEVANT APPROVAL CRITERIA: In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are found at 33.805.040.A-F, Adjustment Approval Criteria.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on May 10, 2017 and determined to be complete on June 6, 2017.

DECISION MAKING PROCESS

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and

- Approve the proposal.
- Approve the proposal with conditions.
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

APPEAL PROCESS

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Adjustment Committee. This review body will hold a public hearing

for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

APPEAL OF THE FINAL CITY DECISION

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

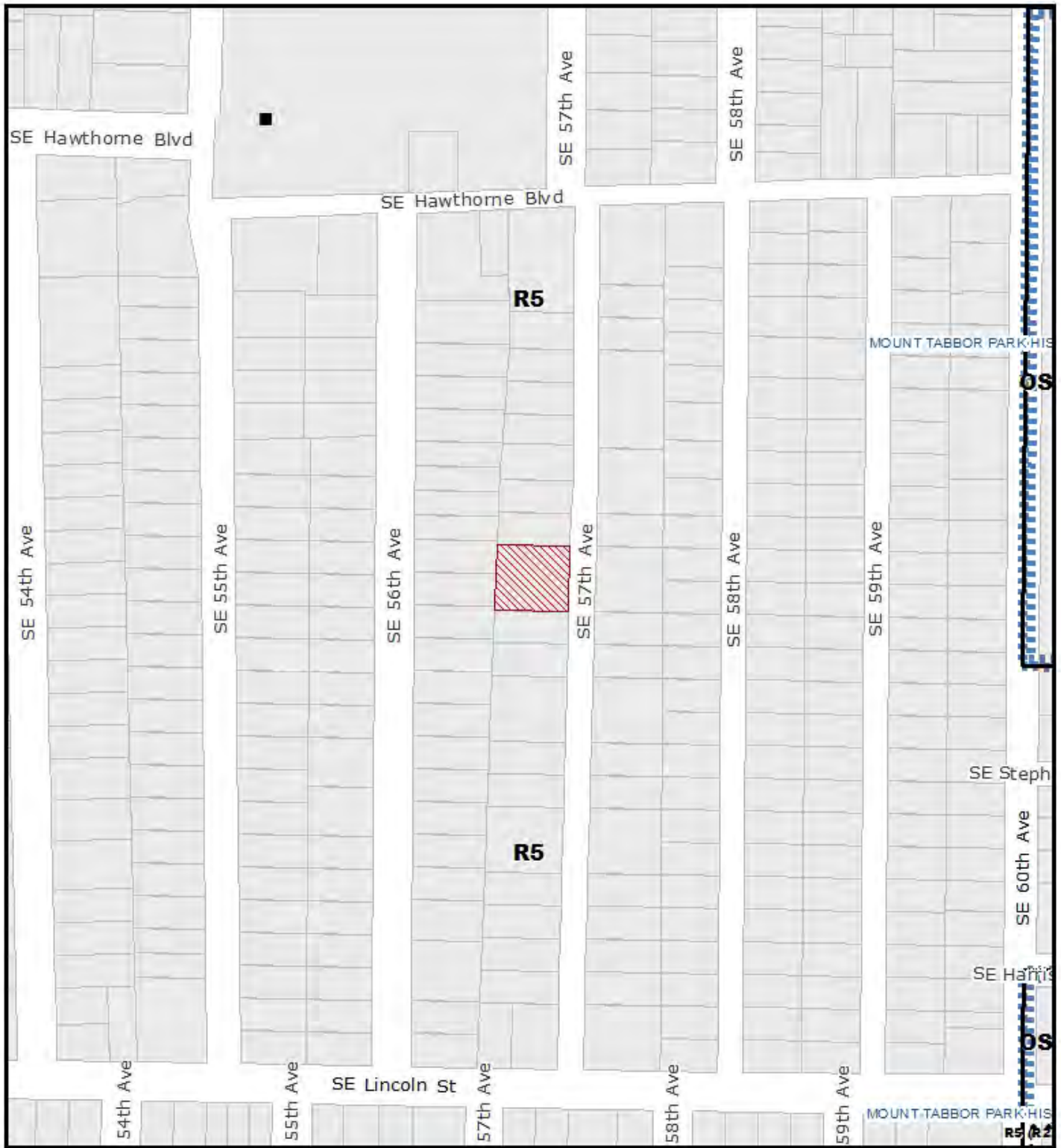
Zoning Map

Site Plan

East and West Elevations

South Elevations

Floor Plans



ZONING



Site



Historic Landmark

File No.	LU 17-169326 AD
1/4 Section	3236
Scale	1 inch = 200 feet
State ID	1S2E06DB 1000
Exhibit	B May 15, 2017



BUCKENMEYER ARCHITECTURE
 2517 NE 47TH AVE. / PORTLAND, OR 97213
 503.484.5334 / MARTY@BUCKENMEYERILLCC.COM

KUHN RESIDENCE
 1725 SE 57TH AVE / PORTLAND, OR 97215

DATE: 05.05.17
 SHEET: S-2

PROJECT DATA:

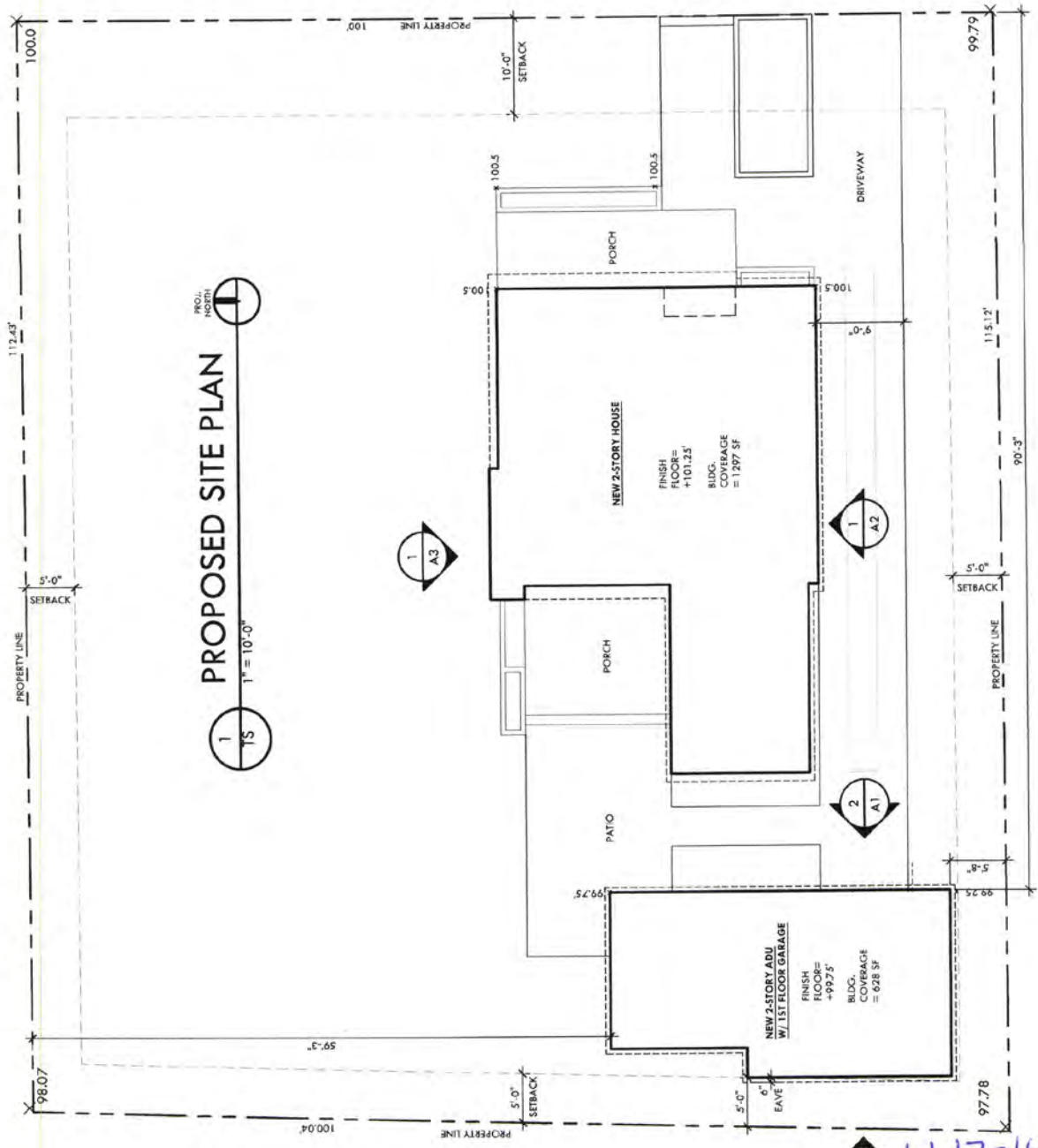
PROPERTY ID: R122901
 ZONING: R5
 LOT SIZE: 11,500 SF

BLDG. COVERAGE:

PER TABLE 110-4, ALLOWABLE BUILDING COVERAGE IS 3,225 SF
 ALLOWABLE CALCULATION:
 (2,250 + 15% OF AREA > 5,000 SF)
 (6,500 X .15) = 975 SF
 2,250 + 975 = 3,225 SF ALLOWED
 ACTUAL BUILDING COVERAGE
 HOUSE: 1,297 SF
 ADU: 628 SF
TOTAL: 1,925 SF
 ACCESSORY STRUCTURES
 MAXIMUM 15% OF LOT AREA
LOT AREA = 11,500 SF
15% OF LOT AREA = 1,725 SF
ACCESSORY STRUCTURE LOT AREA = 628 SF (5% OF LOT AREA)



SE 57TH AVE



PROPOSED SITE PLAN
 1" = 10'-0"
 NO. 1

LU 17-169326 AD

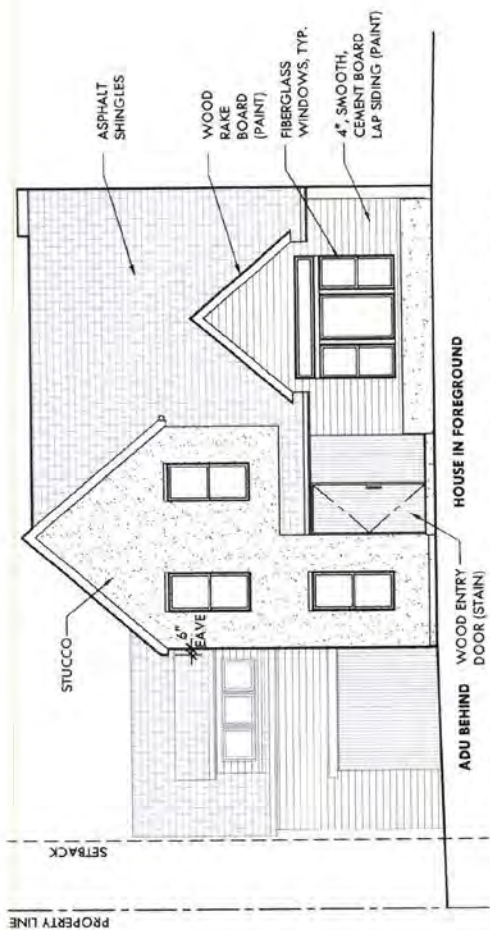
W 17-169326 AD

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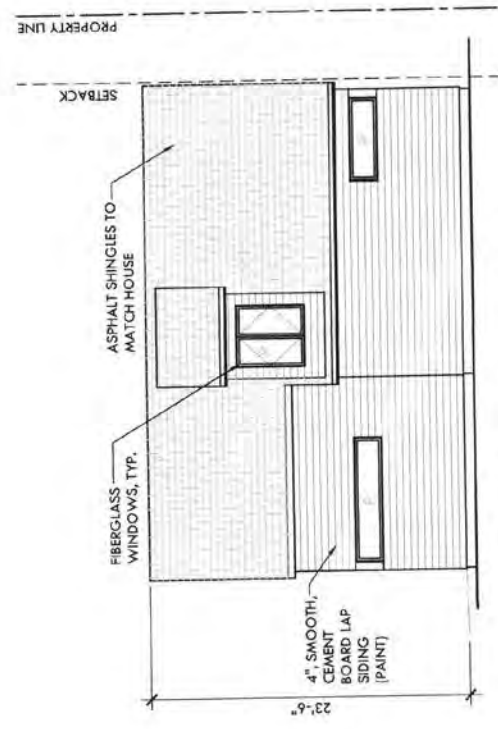


KUHN RESIDENCE
 1725 SE 57TH AVE / PORTLAND, OR 97215

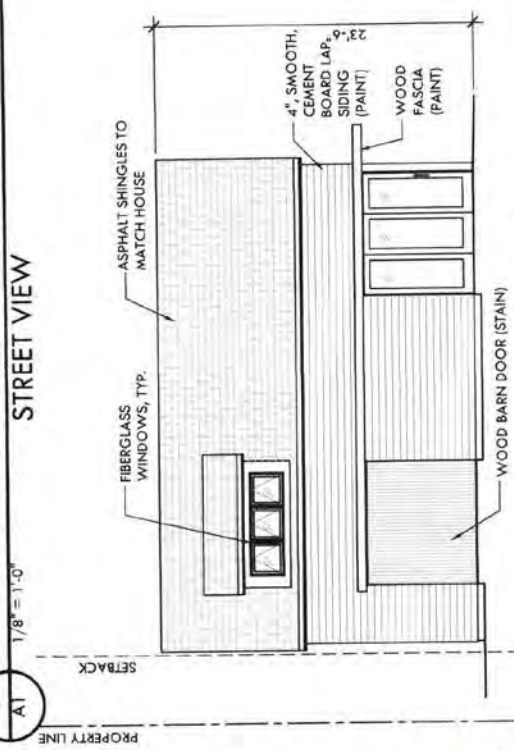
DATE 05.05.17
 SHEET A1



EAST ELEVATION - HOUSE AND ADU
 STREET VIEW
 1/8" = 1'-0"



WEST ELEVATION - ADU
 1/8" = 1'-0"



EAST ELEVATION - ADU
 1/8" = 1'-0"



LU 17-169326 AD

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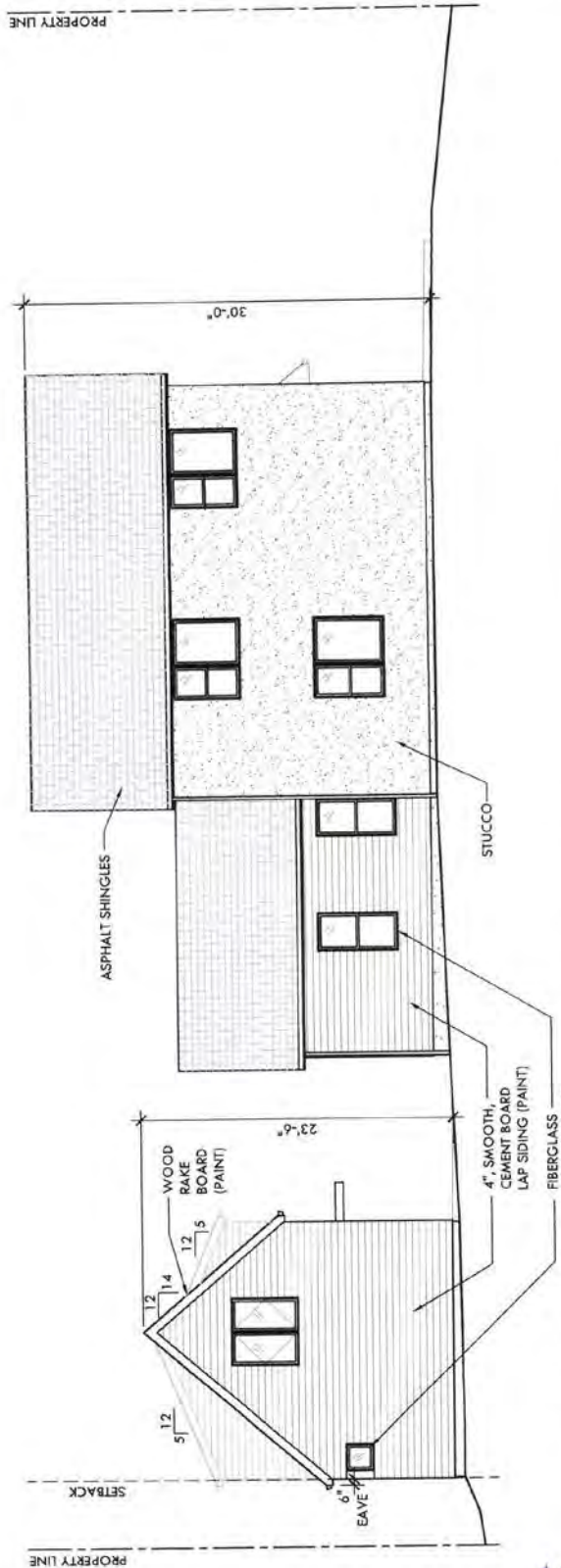
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KUHN RESIDENCE
 1725 SE 57TH AVE / PORTLAND, OR 97215

DATE
 05.03.17

SHEET
A2



SOUTH ELEVATION - HOUSE AND ADU

1/8" = 1'-0"



W 17-169326 AD

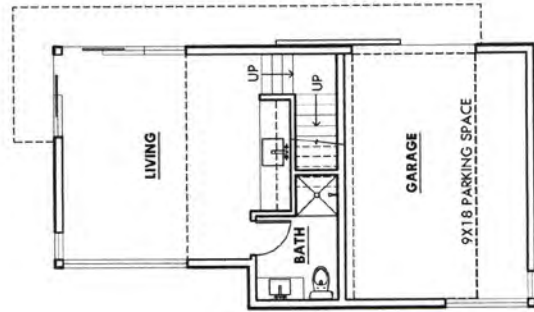
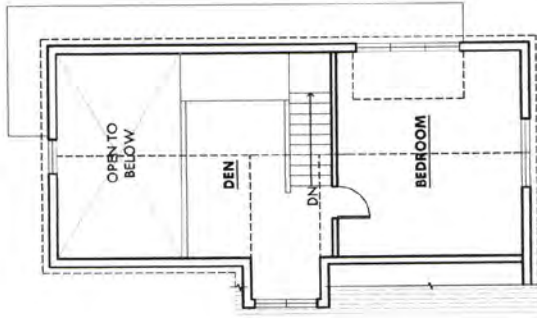
W 17-169326 AD

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KUHN RESIDENCE
 1725 SE 57TH AVE / PORTLAND, OR 97215

DATE
 05.05.17

SHEET
 A4



ADU - SECOND FLOOR PLAN
 NORTH
 1/8" = 1'-0"

ADU - FIRST FLOOR PLAN
 NORTH
 1/8" = 1'-0"

LU 17-169326 AD

LA 17-169326 AD