



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
Rebecca Esau, Interim Director
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www.portlandoregon.gov/bds

Date: June 9, 2017
To: Interested Person
From: Cassandra Ballew, Land Use Services
503-823-7252/Cassandra.Ballew@portlandoregon.gov

NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, **we need to receive your written comments by 5 p.m. on June 30, 2017**. Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 17-167860 HRM, in your letter. It also is helpful to address your letter to me, Cassandra Ballew. You can also e-mail your comments to me at my e-mail address identified above.

CASE FILE NUMBER: LU 17-167860 HRM – BASEMENT AND SEISMIC ALTERATIONS

Applicant: Emily Kemper
3307 SW 1st Avenue
Portland, OR 97239

Owners: Emily Kemper & Benjamin Allen
3307 SW 1st Avenue
Portland, OR 97239

Site Address: 3307 SW 1st Avenue
Legal Description: BLOCK 129, E 62' OF S 26' OF LOT 1, CARUTHERS ADD
Tax Account No.: R140912190
State ID No.: 1S1E10BC 08100
Quarter Section: 3329
Neighborhood: South Portland NA., contact Jim Gardner at 503-227-2096.
Business District: South Portland Business Association, contact
info@southportlanddba.com.

District Coalition: Southwest Neighborhoods Inc., contact Sylvia Bogert at 503-823-4592.
Other Designations: Contributing Resource in the South Portland Historic District
Zoning: R2 – Residential 2,000
Case Type: HRM – Historic Resource Review with Modifications
Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

Proposal:

The applicant is seeking Historic Resource Review approval for proposed alterations to a contributing structure, the Fred Spageli House #2, built in 1906 in the South Portland Historic District. These alterations will focus on the conversion of the basement into livable space through raising the house 18". Additional work will be done to retrofit the exterior walls with

Thermal Break Shear (TBS) to provide seismic stability. Due to the nature of this work, the following alterations and repairs will be made to ensure that the house remains in good condition:

- Remove, repair and reinstall existing house trim.
- Remove and repair existing siding. Re-install salvaged siding where possible and install new wood siding to match existing.
- Fit new sills and flashing around the existing windows on all facades.
- Install new cement board over TBS wall and paint it to match existing foundation.
- Remove, repair and reinstall existing wood columns on front porch.
- Remove and replace wood railings and deck at both porch. The porch will be restored to match existing conditions.
- Remove and replace decking on porch levels.
- Repair and replace existing porch stairs with new concrete steps; adding two additional steps to match new height.

One Modification to the Portland Zoning Code standards are requested:

- 33.110.220 and Table 110-3 Side Building Setback. The side building setback for primary structures is 5'-0". Since the existing house currently has a setback of 3'-0" and will be increasing in the height within the setback, primary building setback standards apply. The current proposal to alter the height of the primary building contributes to the non-conforming condition of the existing home and does not meet the 5' side setback requirements.

Historic Resource Review is required because the proposal is for non-exempt exterior alterations in a historic district.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- Lair Hill Historic Conservation District Design Guidelines

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on May 8, 2017 and determined to be complete on May 31, 2017.

DECISION MAKING PROCESS

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and

- Approve the proposal.
- Approve the proposal with conditions.
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all

information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

APPEAL PROCESS

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Landmarks Commission. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

APPEAL OF THE FINAL CITY DECISION

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

Zoning Map

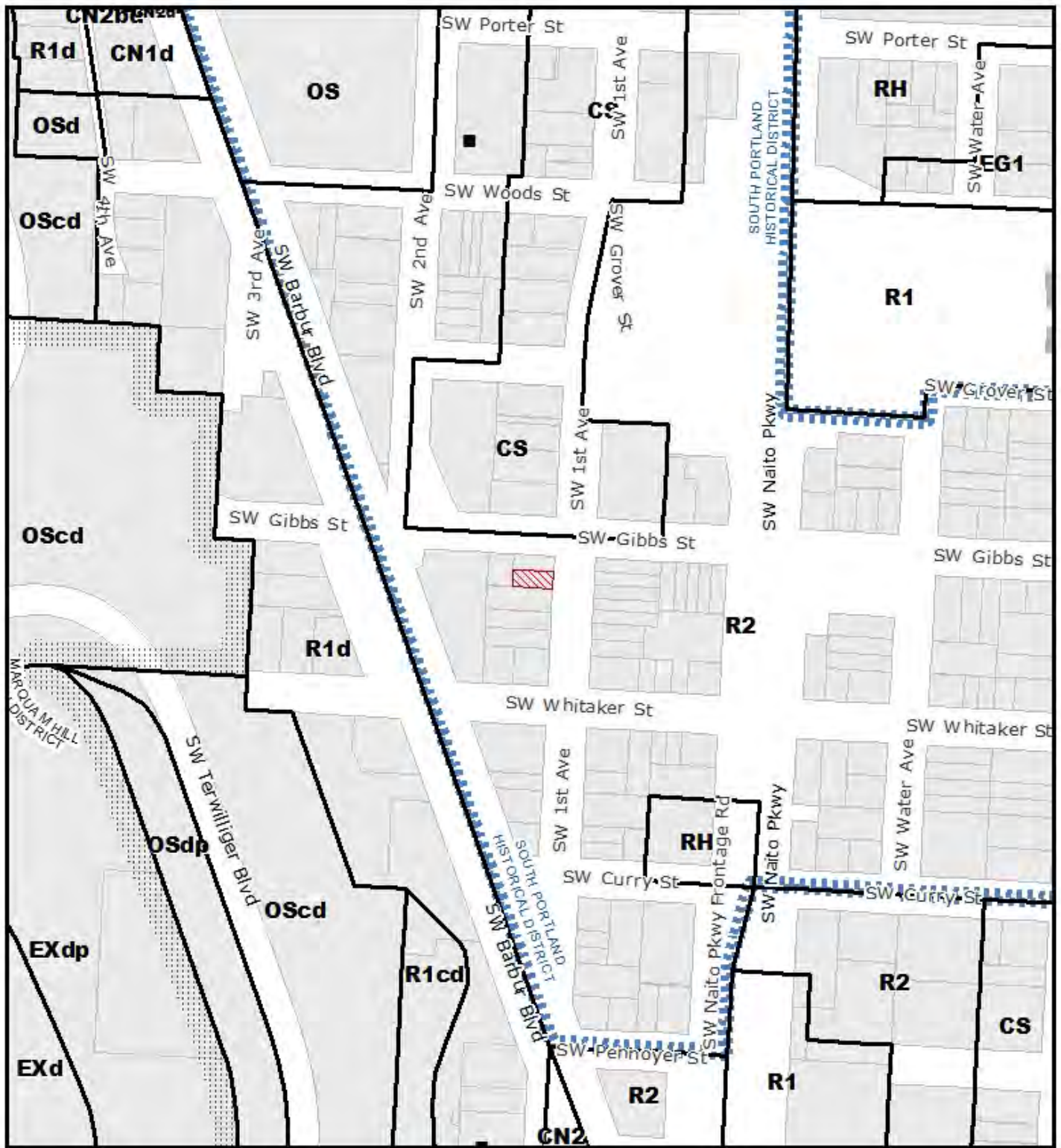
C1.0 Site Plan

A1.0 Existing Basement Floor Plan

A1.1 New Basement Floor Plan

A2.0 South and East Elevations (Existing and New)

A2.1 North and West Elevations (Existing and New)



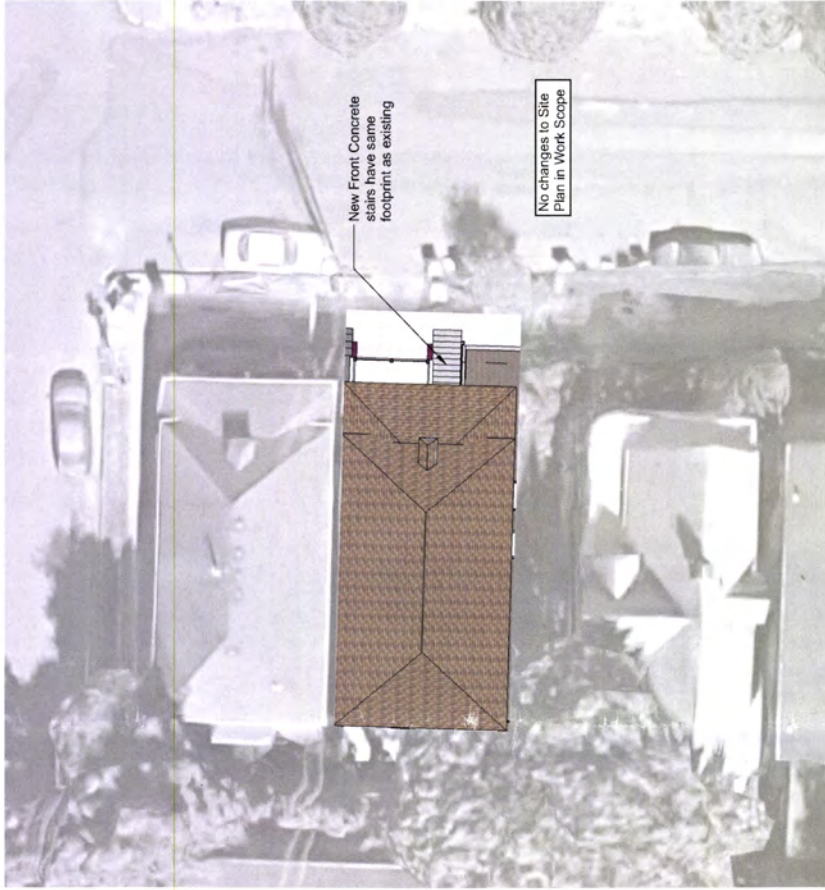
ZONING



THIS SITE LIES WITHIN THE:
SOUTH PORTLAND HISTORIC DISTRICT

-  Site
-  Historic Landmark
-  Bridge

File No.	LU 17-167860 HRM
1/4 Section	3329
Scale	1 inch = 200 feet
State ID	1S1E10BC 8100
Exhibit	B May 11, 2017



Site Plan: Existing and New
Scale: 1/16" = 1'-0" (1:192)



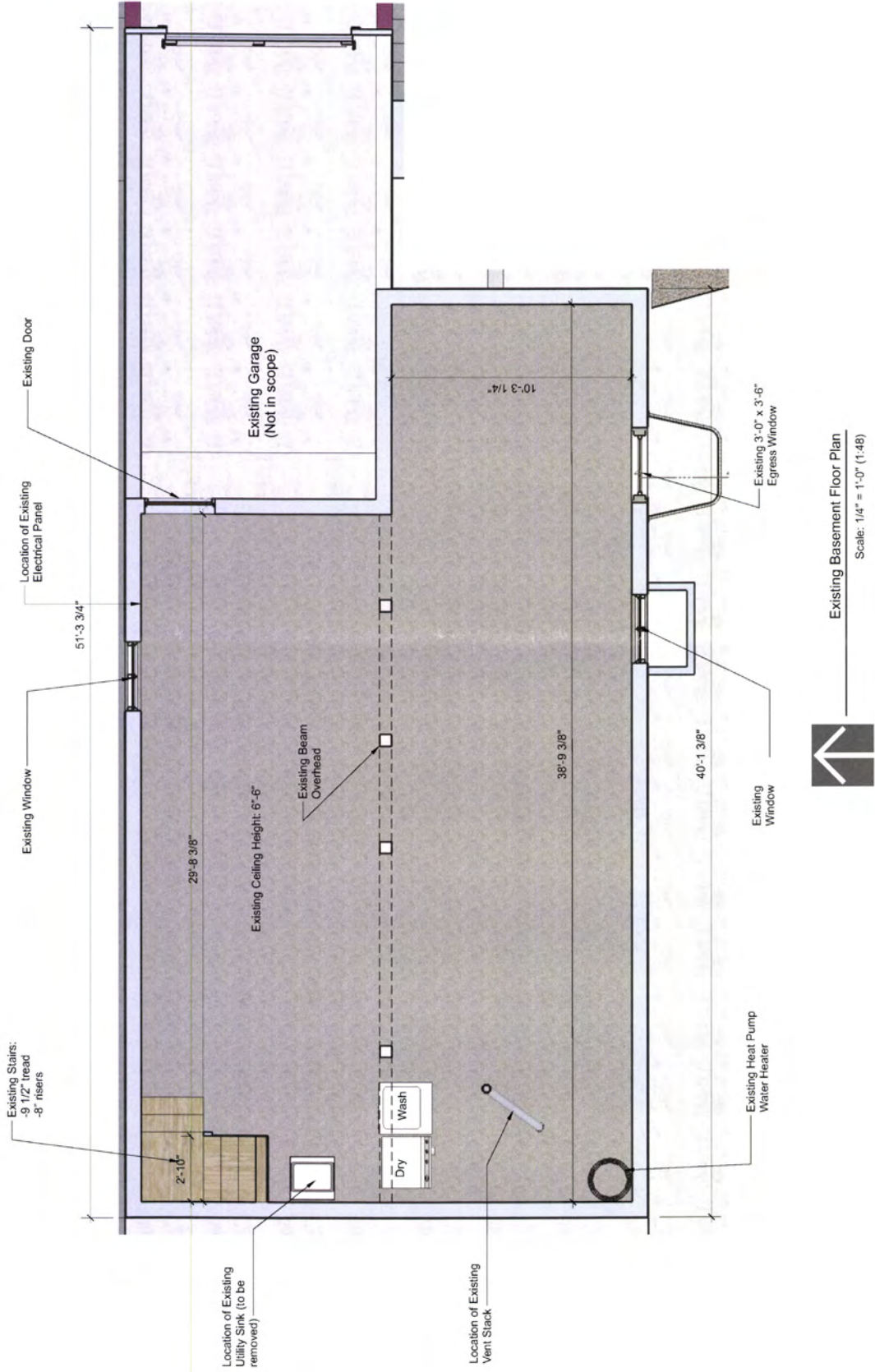
A1.0

Existing Basement Floor Plan

ISSUE 05.31.2017
DRAWN BY EK

PROJECT
Basement Renovation
and Exterior Retrofit

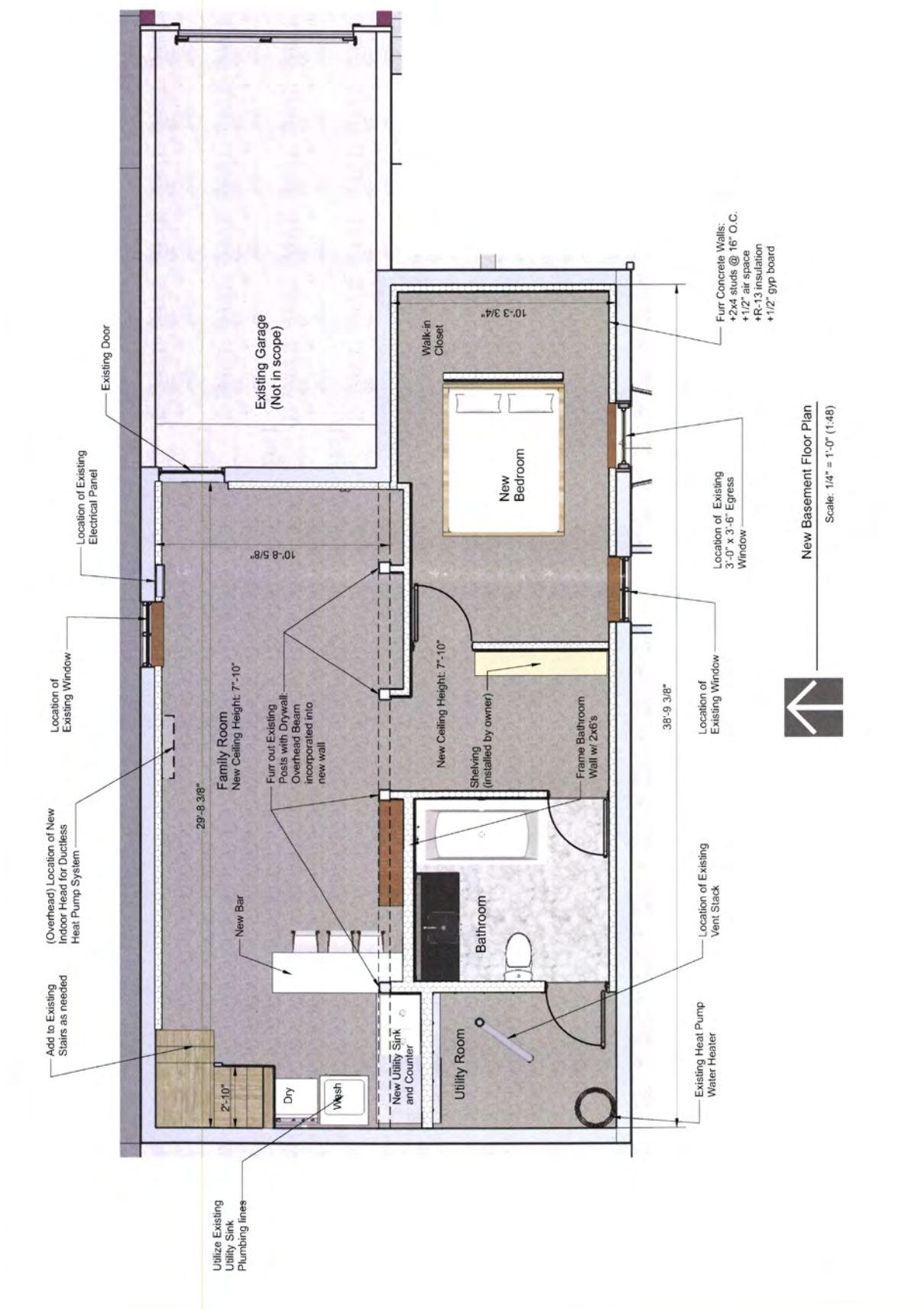
Entity Kemper, AIA
3307 SW 1st Ave
Portland, OR 97239



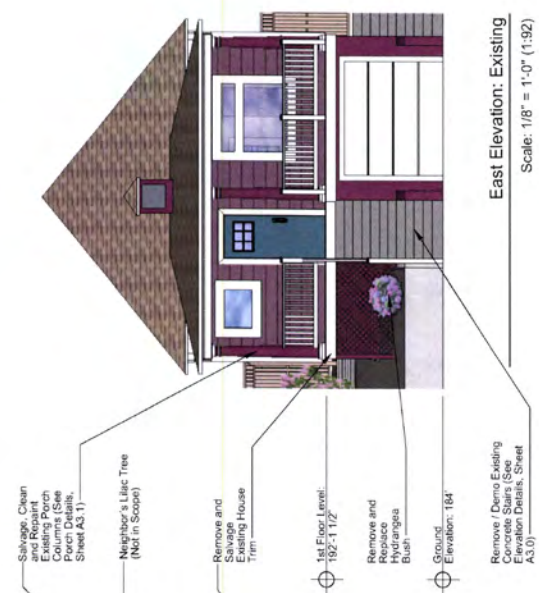
Existing Basement Floor Plan
Scale: 1/4" = 1'-0" (1:48)

New Basement Floor Plan

A1.1



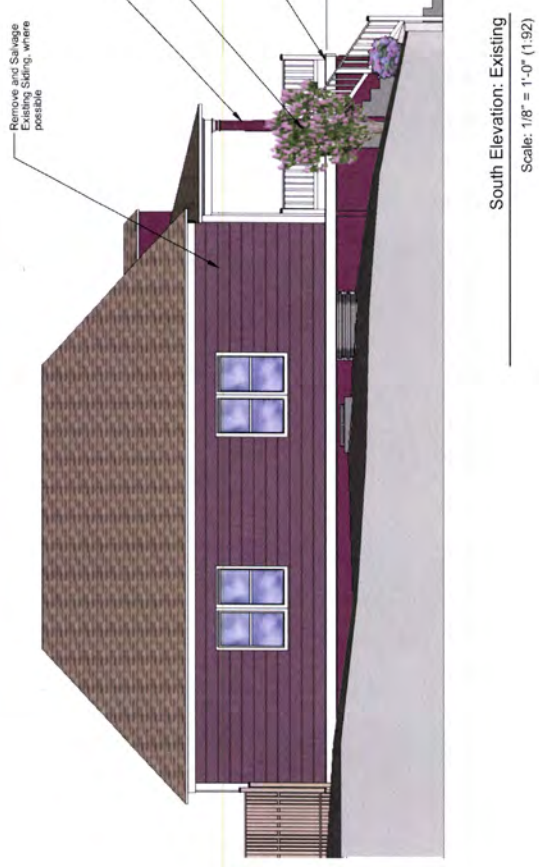
New Basement Floor Plan
 Scale: 1/4" = 1'-0" (1:48)



South Elevation: Existing
 Scale: 1/8" = 1'-0" (1:92)



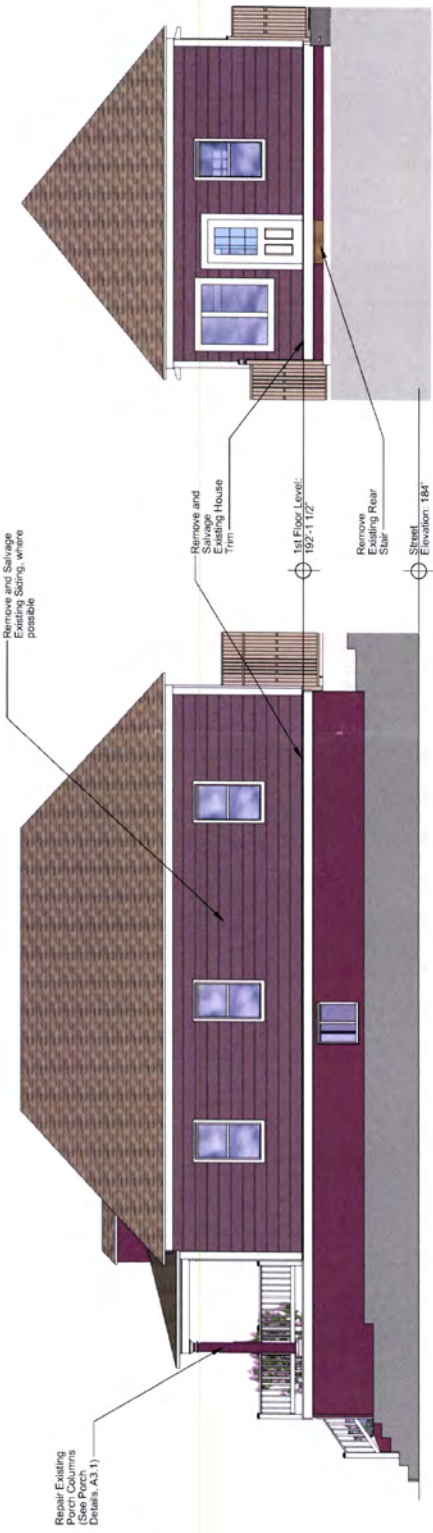
South Elevation: New
 Scale: 1/8" = 1'-0" (1:92)



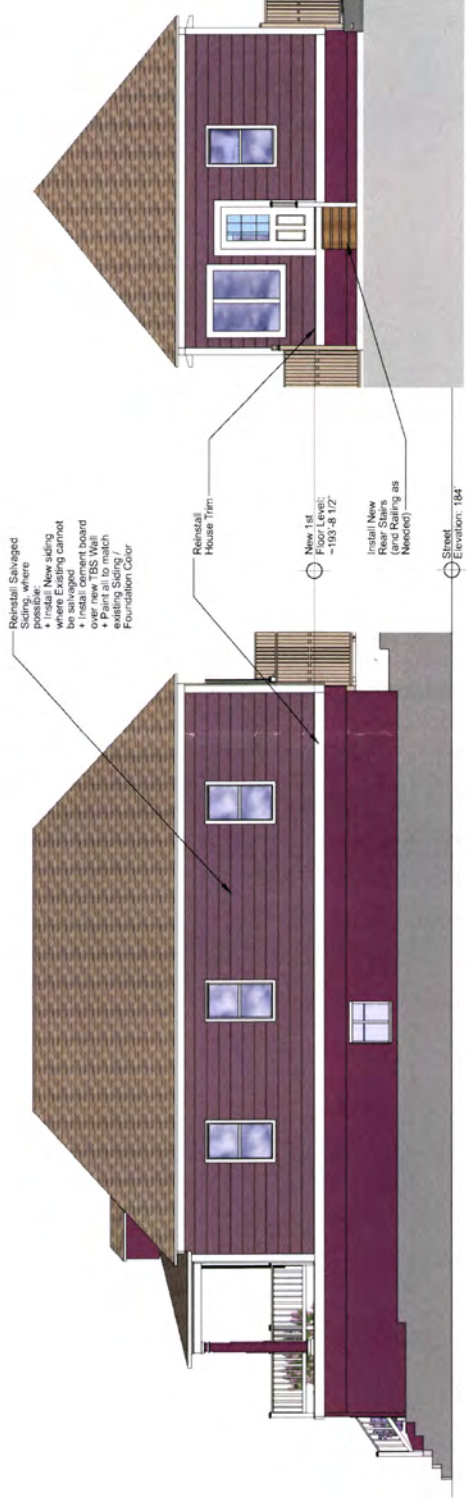
East Elevation: Existing
 Scale: 1/8" = 1'-0" (1:92)



East Elevation: New
 Scale: 1/8" = 1'-0" (1:92)



North Elevation: Existing
 Scale: 1/8" = 1'-0" (1:92)



North Elevation: New
 Scale: 1/8" = 1'-0" (1:92)



West Elevation: Existing
 Scale: 1/8" = 1'-0" (1:92)



West Elevation: New
 Scale: 1/8" = 1'-0" (1:92)