



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
Rebecca Esau, Interim Director
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TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: June 16, 2017
To: Interested Person
From: Hannah Bryant, Land Use Services
503-823-5353/Hannah.Bryant@portlandoregon.gov

NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, **we need to receive your written comments by 5 p.m. on July 7, 2017.** Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 17-101319 HR, in your letter. It also is helpful to address your letter to me, Hannah Bryant. You can also e-mail your comments to me at my e-mail address identified above.

CASE FILE NUMBER: LU 17-101319 HR – SECOND STORY REAR ADDITION

Applicant: Carin Carlson | Hennebery Eddy Architects Inc
921 SW Washington Street, Suite 250 | Portland, OR 97205

Owner: Robin E Mesch
2314 NE Schuyler Street | Portland, OR 97212-4759

Site Address: **2314 NE Schuyler Street**

Legal Description: BLOCK 9, LOT 14, JOHN IRVINGS 1ST ADD
Tax Account No.: R430302630
State ID No.: 1N1E26DD 02700
Quarter Section: 2832

Neighborhood: Irvington, contact Dean Gisvold at 503-284-3885.
Business District: Northeast Broadway Business Association, contact Michael Chronister at 503-288-1500.
District Coalition: Northeast Coalition of Neighborhoods, contact Jessica Rojas at 503-388-5030.
Plan District: Albina Community
Other Designations: Contributing Resource in the Irvington Historic District
Zoning: R2a, Residential 2,000 with Alternative Design Density Overlay
Case Type: **HR**, Historic Resource Review
Procedure: **Type II**, an administrative decision with appeal to the Landmarks Commission.

Proposal:

The applicant seeks Historic Resource Review for a second story addition of the rear (south) elevation in the Irvington Historic District. The proposal is for work that has already been completed, and entails reducing the scale and modifying the details of the unpermitted work. The proposal adds a second story to a permitted 1998 one story addition. The siding will match the original wood clapboard siding, and all trim will match the home's original trim in dimensions and material. New windows will be wood. To reduce visibility and scale, the new roofline is proposed to match the original home's roof in eave depth, exposed rafter tail details, and slope. However, to reduce the scale of this addition, and to preserve the integrity of the home's original third floor dormer, the new roof is proposed to create a sloped parapet condition rather than a hip roof.

Proposed exterior alterations on a Contributing Resource in the Irvington Historic District require Historic Resource Review.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- *Criteria in Section 33.846.060.G of the Portland Zoning Code*
- *Chapter 33.846.060 - Historic Resource Review*

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on January 4, 2017 and determined to be complete on June 12, 2017.

DECISION MAKING PROCESS

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and

- Approve the proposal.
- Approve the proposal with conditions.
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

APPEAL PROCESS

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Landmarks Commission. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day

the decision is mailed. The reason for the appeal must be specifically defined in order for the review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

APPEAL OF THE FINAL CITY DECISION

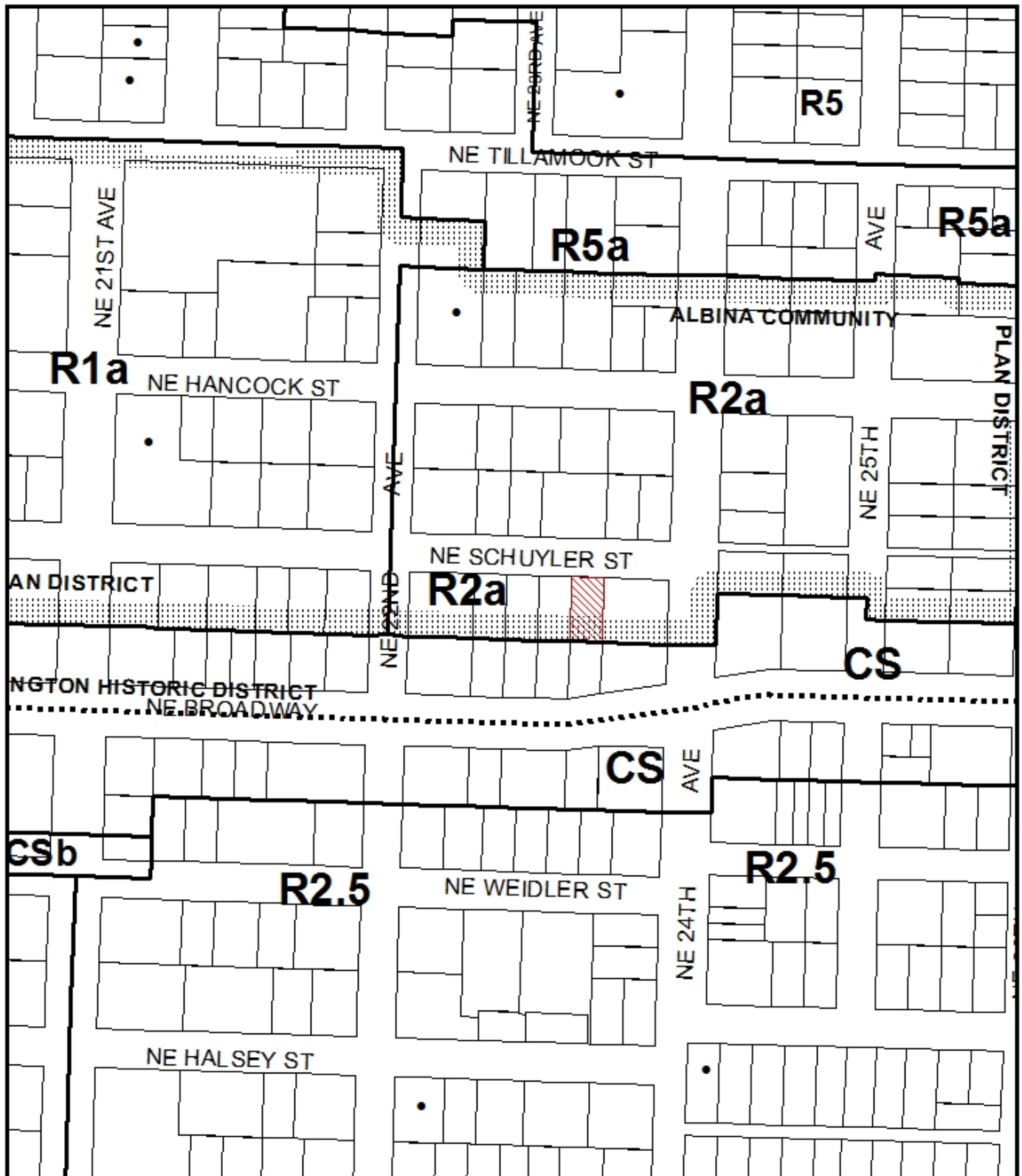
After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

Zoning Map

Elevations



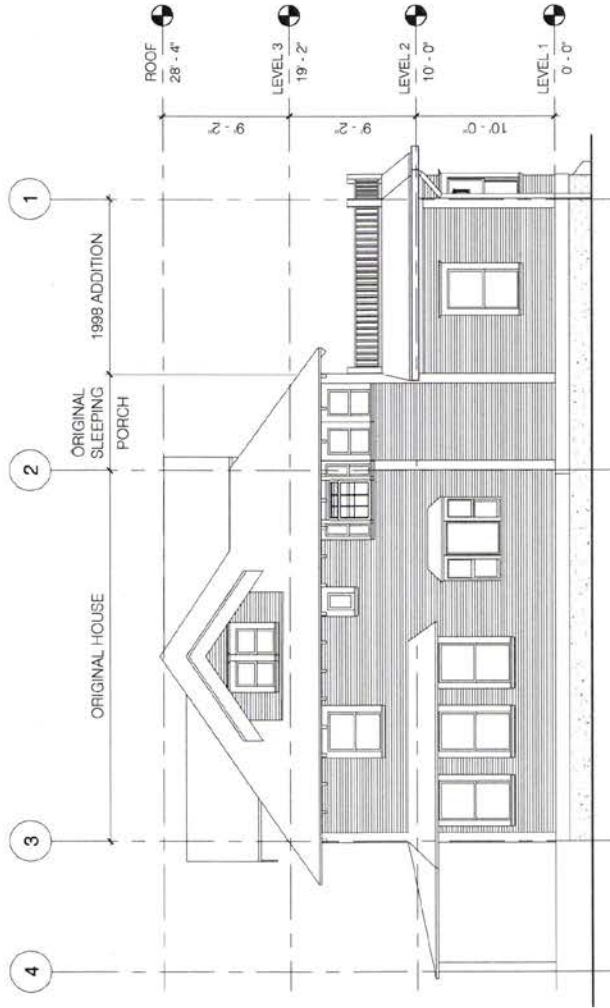
ZONING

-  Site
-  Historic Landmark

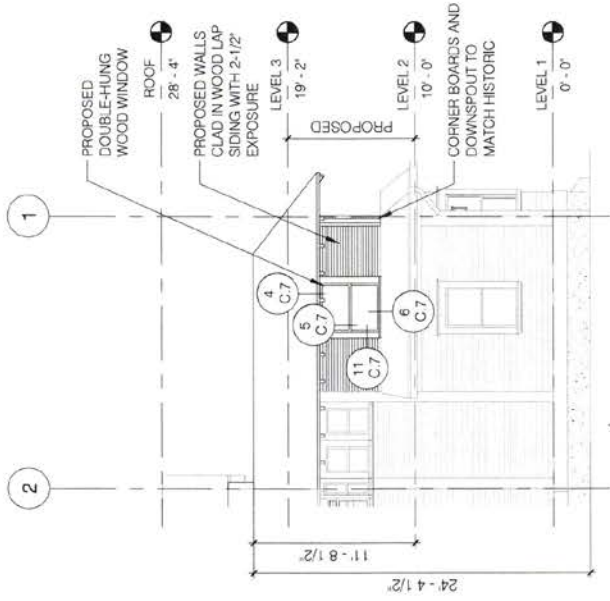


This site lies within the:
 ALBINA COMMUNITY PLAN DISTRICT
 IRVINGTON HISTORIC DISTRICT

File No.	<u>LU 17-101319 HR</u>
1/4 Section	<u>2832</u>
Scale	<u>1 inch = 200 feet</u>
State Id	<u>1N1E26DD 2700</u>
Exhibit	<u>B (Jan 10, 2017)</u>

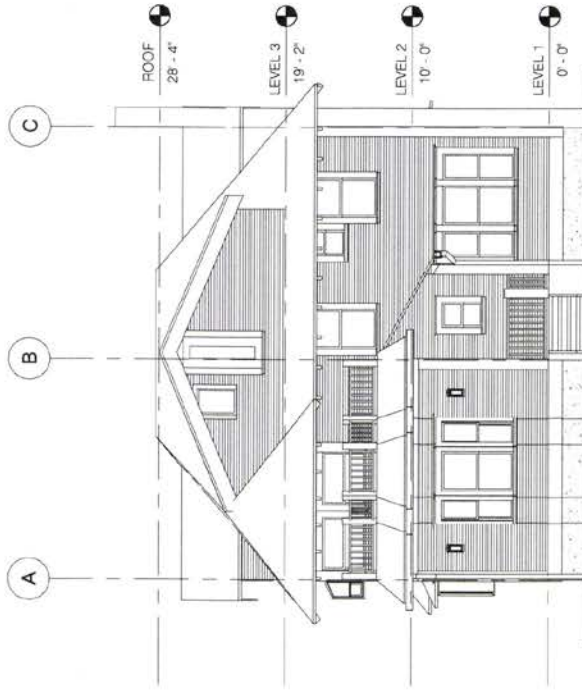


1 WEST ELEVATION PREVIOUS
1/8" = 1'-0"

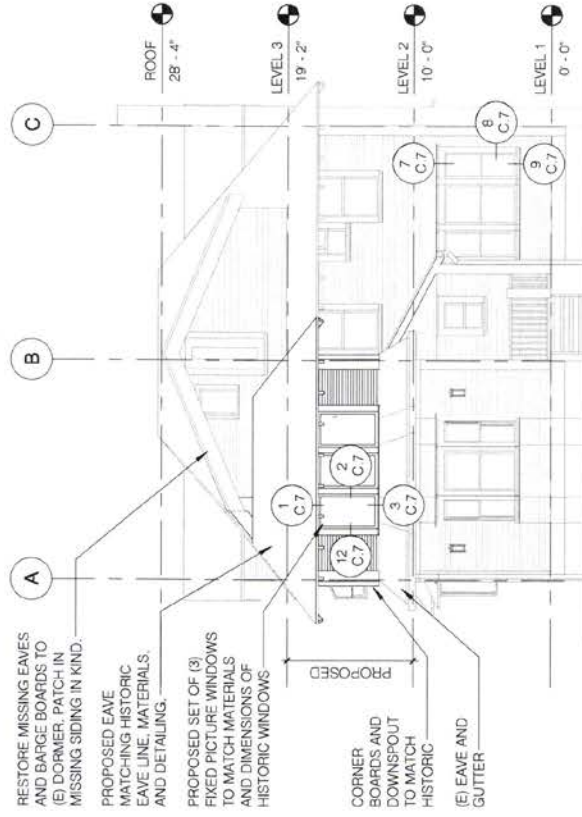


2 WEST ELEVATION PROPOSED
1/8" = 1'-0"





1 SOUTH ELEVATION PREVIOUS
1/8" = 1'-0"



RESTORE MISSING EAVES AND BARGE BOARDS TO (E) DORMER, PATCH IN MISSING SIDING IN KIND.
 PROPOSED EAVE MATCHING HISTORIC EAVE LINE, MATERIALS, AND DETAILING.
 PROPOSED SET OF (3) FIXED PICTURE WINDOWS TO MATCH MATERIALS AND DIMENSIONS OF HISTORIC WINDOWS
 CORNER BOARDS AND DOWNSPOUT TO MATCH HISTORIC
 (E) EAVE AND GUTTER

2 SOUTH ELEVATION PROPOSED
1/8" = 1'-0"

