



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner  
Rebecca Esau, Interim Director  
Phone: (503) 823-7300  
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[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** July 10, 2017  
**To:** Interested Person  
**From:** Lauren Russell, Land Use Services  
503-823-7817 / [Lauren.Russell@portlandoregon.gov](mailto:Lauren.Russell@portlandoregon.gov)

## **NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has **approved** a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

### **CASE FILE NUMBER: LU 17-174249 AD**

#### **GENERAL INFORMATION**

**Applicant/Owner:** Kol Peterson  
4227 NE 10th Ave  
Portland, OR 97211

**Site Address:** 4311 NE 9TH AVE

**Legal Description:** BLOCK 5 LOT 7&8 EXC W 50', LINCOLN PK ANX  
**Tax Account No.:** R497300750  
**State ID No.:** 1N1E23CB 00400  
**Quarter Section:** 2631  
**Neighborhood:** King, contact Andrew Neerman at [andrew.neerman@kingneighborhood.org](mailto:andrew.neerman@kingneighborhood.org).  
**Business District:** North-Northeast Business Assoc, contact at [chair@nnebaportland.org](mailto:chair@nnebaportland.org)  
**District Coalition:** Northeast Coalition of Neighborhoods, contact Jessica Rojas at 503-388-5030.

**Plan District:** None  
**Zoning:** R5ah - Single-Dwelling Residential 5,000, Alternative Design Density Overlay, Aircraft Landing Overlay  
**Case Type:** AD – Adjustment Review  
**Procedure:** Type II, an administrative decision with appeal to the Adjustment Committee.

#### **Proposal:**

The applicant proposes to convert the lower level of the existing split-level home, including the existing one-car tuck under garage, into an 813 square foot accessory dwelling unit (ADU). The existing garage door would be removed and replaced with a sliding door. The portion of the existing driveway in front of the new ADU entrance would be resurfaced with pavers and serve as a pedestrian path to the unit, separated from the rest of the driveway by two planters.

An on-site parking space is required for the primary dwelling unit at this location and because the garage would be converted to the ADU, the applicant proposes locating the required space

within the existing driveway. Per Zoning Code Section 33.266.120.D.1, a parking space must be at least 9 feet by 18 feet and must be located outside the 10-foot front setback (Zoning Code Section 33.266.120.C.1.a), which means that a driveway must be at least 28 feet in length measured from the front lot line. Because the existing driveway is 22 feet instead of the required 28 feet, the applicant requests an Adjustment to allow the on-site parking space to extend 6 feet into the front setback along NE Skidmore Street.

Per Zoning Code Section 33.205.040.C.3, the size of the ADU may be no more than 75-percent of the living area of the primary dwelling unit or 800 square feet of living area, whichever is less. The living area of the primary dwelling unit is 940 square feet, which would limit the size of the proposed ADU to 705 square feet. Because the proposed ADU would not meet the maximum allowed size, the applicant requests an Adjustment to increase the size of the proposed ADU from 705 square feet to 813 square feet. No increases in floor area are proposed.

In summary, the applicant requests the following 2 Adjustments:

- Allow the on-site parking space to extend 6 feet into the front setback along NE Skidmore Street; and
- Increase the size of the ADU from 705 square feet to 813 square feet.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33. Adjustment requests will be approved if the review body finds that the applicant has shown that approval criteria A through F of Section 33.805.040, Adjustment Approval Criteria, have been met.

## ANALYSIS

**Site and Vicinity:** The subject site is a 5,000 square foot lot located at the northwest corner of the intersection of NE Skidmore Street and NE 9<sup>th</sup> Avenue. The site is currently developed with a two-story split-level single-family residence with an attached tuck under one-car garage. The driveway is located on the NE Skidmore Street frontage, with the main entrance to the house oriented to NE 9<sup>th</sup> Avenue. Because the lot line fronting NE Skidmore Street is the shortest street lot line, the NE Skidmore lot line is considered the front lot line. The lot line along NE 9<sup>th</sup> Avenue is considered the side lot line. Adjacent properties are similarly developed with one- to two-story single-dwelling residences, some with attached tuck under garages and others with no garages or detached garages located toward the rear of the properties.

**Zoning:** The R5 designation is one of the City's single-dwelling residential zones, which are intended to preserve land for housing and provide housing opportunities for individual households. The development standards work together to promote desirable residential areas by addressing aesthetically pleasing environments, safety, privacy, energy conservation, and recreational opportunities.

The Alternative Design Density (a) overlay zone is an optional overlay zone that provides opportunities for increased density in limited situations, provided that additional design compatibility requirements are met for the project. The overlay zone does not apply to this proposal.

The Aircraft Landing (h) overlay zone provides for safer operating conditions for aircraft in the vicinity of Portland International Airport by limiting the height of structures, vegetation, and construction equipment. In Residential zones, structures are regulated by the base zone height limits rather than the height limits of the overlay zone. The overlay zone does not apply to this proposal.

**Land Use History:** City records indicate there are no prior land use reviews for this site.

**Agency Review:** A "Notice of Proposal in Your Neighborhood" was mailed June 12, 2017. The following Bureaus have responded with no issues or concerns:

- Bureau of Environmental Services responded that pollution reduction and flow control requirements of the Stormwater Management Manual are not triggered (Exhibit E-1);
- Bureau of Transportation Engineering (PBOT) responded that there are no transportation-related approval criteria associated with the proposed land use request and PBOT has no requirements for the adjustment to allow the parking space to extend 6 feet into the front setback; additionally, in relation to the expected building permit, the applicant is advised that the proposed curb cut must lead to legal vehicle access only and based on the provided plans, the curb cut should be 12 feet (Exhibit E-2);
- Fire Bureau responded with no concerns (Exhibit E-3);
- Site Development Section of BDS responded with no concerns (Exhibit E-4); and
- Life Safety Review Section of BDS responded that a separate building permit is required for the work proposed and the proposal must be designed to meet all applicable building codes and ordinances (Exhibit E-5).

**Neighborhood Review:** No written responses have been received from either the Neighborhood Association or notified property owners in response to the “Notice of Proposal.”

## ZONING CODE APPROVAL CRITERIA

### 33.805.010 Purpose (Adjustments)

The regulations of the zoning code are designed to implement the goals and policies of the Comprehensive Plan. These regulations apply city-wide, but because of the city's diversity, some sites are difficult to develop in compliance with the regulations. The adjustment review process provides a mechanism by which the regulations in the zoning code may be modified if the proposed development continues to meet the intended purpose of those regulations. Adjustments may also be used when strict application of the zoning code's regulations would preclude all use of a site. Adjustment reviews provide flexibility for unusual situations and allow for alternative ways to meet the purposes of the code, while allowing the zoning code to continue providing certainty and rapid processing for land use applications.

### 33.805.040 Approval Criteria

Adjustment requests will be approved if the applicant has demonstrated that approval criteria A through F, below, have been met.

#### A. Granting the Adjustment will equally or better meet the purpose of the regulation to be modified; and

**Findings:** The applicant is requesting the following two Adjustments:

- Allow the on-site parking space to extend 6 feet into the front setback; and
- Increase the size of the ADU from 705 square feet to 813 square feet.

The purpose of the vehicle parking requirements for houses and duplexes is stated in Zoning Code Section 33.266.120.A:

**Purpose:** *The size and placement of vehicle parking areas are regulated in order to enhance the appearance of neighborhoods.*

The existing driveway is 18'-8" feet wide and 22 feet long as measured from the front property line, which fits 2 cars parked side by side. The house originally had a two-car tuck under garage but the easternmost garage was converted to living space at some point without a building permit. The remaining one-car garage is proposed to be converted to living space for the ADU. The driveway is long enough to accommodate the required 9-foot-wide by 18-foot-long parking space without overhanging into the public right-of-way. The applicant proposes to decrease the width of the driveway by installing a 6-foot wide pedestrian path on the eastern portion of the driveway to provide a pedestrian connection to the proposed ADU entrance. Two planters, which will be 2 feet wide by 6 feet long and at

least 2 feet in height, will be located on the western portion of the proposed pedestrian path to ensure that the vehicle area is decreased to one-car wide. The resulting driveway will be approximately 12 feet wide, which will lessen the prominence of areas dedicated to vehicles along this frontage. Additionally, PBOT will require the curb cut to be closed that fronts the walkway leading to the ADU. This will reduce the width of the curb cut to 12 feet. The proposed pedestrian path, which would be composed of pavers, and the landscaping would also enhance the appearance of this frontage. Furthermore, surrounding properties contain driveways that extend into the front setback area with vehicles parked in the driveway. Based on these reasons and with conditions of approval that require the pedestrian walkway to be surfaced with pavers that are distinct from the paving used for the adjacent driveway and that the planters be installed and maintained over time, the proposed parking Adjustment equally meets the intent of the regulation and this criterion is met.

The purpose of the ADU development standards is stated in Zoning Code Section 33.205.040.A:

**Purpose.** *Standards for creating accessory dwelling units address the following purposes:*

- *Ensure that accessory dwelling units are compatible with the desired character and livability of Portland's residential zones;*
- *Respect the general building scale and placement of structures to allow sharing of common space on the lot, such as driveways and yards;*
- *Ensure that accessory dwelling units are smaller in size than houses, attached houses, or manufactured homes; and*
- *Provide adequate flexibility to site buildings so that they fit the topography of sites.*

The two-story split-level house sits on the sloped lot so that the structure appears as two-stories when viewed from NE Skidmore Street and as one-story when viewed from NE 9<sup>th</sup> Avenue. The main unit entrance is accessed from NE 9<sup>th</sup> Avenue and the proposed ADU entrance would be accessed from the new pedestrian path from NE Skidmore Street. The only exterior changes proposed are installing a new ADU entry door where there is currently a sliding door and installing a new sliding door where there is currently an overhead garage door on the elevation facing south and enlarging an existing window well at the northern end of the elevation facing west. These exterior changes would maintain the style of the house, which is very similar to the house on the adjacent property to the west, and would therefore be compatible with the desired character and livability of the residential area. The existing building scale and placement on the lot would be maintained, which would allow for the sharing of common space on the lot.

The proposed ADU would be approximately 813 square feet, compared to the primary unit, which is approximately 940 square feet, so the lower-level ADU would be smaller in size than the main unit on the upper level of the house. The ADU would be located within the existing house and not within a new, separate detached structure, so it will not be apparent from the street that the ADU is any larger than the allowed 705 square feet. Because the ADU would be located on the lower level and the main unit on the upper level, the ADU will appear to be subordinate to the main unit. Based on these reasons, the proposed ADU size Adjustment equally meets the intent of the regulation and this criterion is met.

**B. If in a residential zone, the proposal will not significantly detract from the livability or appearance of the residential area, or if in an OS, C, E, or I zone, the proposal will be consistent with the classifications of the adjacent streets and the desired character of the area; and**

**Findings:** Because the subject site is located in a single-dwelling residential zone, the applicant must demonstrate that the proposal will not detract from the livability or appearance of the surrounding residential area. As discussed above in the findings for Approval Criterion A, the driveway will be reduced to 12 feet wide, which will lessen the prominence of areas dedicated to vehicles along this frontage. The proposed pedestrian path, which would be composed of pavers, and the landscaping would also enhance the

appearance of this frontage. The ADU would be located within the existing house and not within a new, separate detached structure, so it will not be apparent from the street that the ADU is any larger than the allowed 705 square feet. Because the ADU would be located on the lower level and the main unit on the upper level, the ADU will appear to be subordinate to the main unit. The only exterior changes proposed are installing a new ADU entry door where there is currently a sliding door and installing a new sliding door where there is currently an overhead garage door on the elevation facing south and enlarging an existing window well at the northern end of the elevation facing west. These exterior changes would maintain the style of the house, which is very similar to the house on the adjacent property to the west, and would therefore be compatible with the desired character and livability of the residential area. For these reasons, the proposal will not detract from neighborhood livability or appearance. This criterion is met.

**C. If more than one Adjustment is being requested, the cumulative effect of the Adjustments results in a project which is still consistent with the overall purpose of the zone; and**

**Findings:** Two Adjustments have been requested. The overall purpose of the R5 zone is to preserve land for housing and provide housing opportunities for individual households. The proposal to allow the on-site parking space to extend 6 feet into the front setback and increase the size of the ADU from 705 square feet to 813 square feet would not preclude the site from preserving land for housing and providing opportunities for individual households. The development standards of the R5 zone work together to promote desirable residential areas by addressing aesthetically pleasing environments, safety, privacy, energy conservation, and recreational opportunities. As stated in Approval Criteria A and B above, the driveway will be reduced to 12 feet wide, which will lessen the prominence of areas dedicated to vehicles along this frontage. The proposed pedestrian path, which would be composed of pavers, and the landscaping would also enhance the appearance of this frontage. The ADU would be located within the existing house and not within a new, separate detached structure, so it will not be apparent from the street that the ADU is any larger than the allowed 705 square feet. Because the ADU would be located on the lower level and the main unit on the upper level, the ADU will appear to be subordinate to the main unit. The only exterior changes proposed are installing a new ADU entry door where there is currently a sliding door and installing a new sliding door where there is currently an overhead garage door on the elevation facing south and enlarging an existing window well at the northern end of the elevation facing west. These exterior changes would maintain the style of the house, which is very similar to the house on the adjacent property to the west, and would therefore be compatible with the desired character and livability of the residential area. Based on these reasons, the requested Adjustments maintain consistency with the purpose of the R5 zone. This criterion is met.

**D. City-designated scenic resources and historic resources are preserved; and**

**Findings:** City-designated scenic resources are identified on the Official Zoning Maps with a lower case “s” and historic resources are identified either with a dot or as being within the boundaries of a Historic or Conservation district. Because there no scenic or historic resource designations are mapped on the subject site, this criterion is not applicable.

**E. Any impacts resulting from the Adjustment are mitigated to the extent practical; and**

**Findings:** As discussed in the findings for Approval Criteria A and B, the proposal has no adverse impacts on the livability or appearance of the surrounding residential area for which mitigation would be required. Therefore, this criterion is met.

**F. If in an environmental zone, the proposal has as few significant detrimental environmental impacts on the resource and resource values as is practicable;**

**Findings:** Environmental overlay zones are designated on the Official Zoning Maps with either a lowercase “p” (Environmental Protection overlay zone) or a “c” (Environmental

Conservation overlay zone). Because no environmental overlay zone is mapped on subject site, this criterion is not applicable.

## **DEVELOPMENT STANDARDS**

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## **CONCLUSIONS**

The proposal to allow the on-site parking space to extend into the front setback and to increase the size of the ADU equally meets the intent of the regulations and does not have any adverse impacts on the livability and appearance of the surrounding residential area. The applicant has demonstrated that the applicable approval criteria have been met. Because the approval criteria are met, the proposal should be approved.

- Allow the on-site parking space to extend 6 feet into the front setback; and
- Increase the size of the ADU from 705 square feet to 813 square feet.

## **ADMINISTRATIVE DECISION**

Approval of an Adjustment to allow the on-site parking space to extend 6 feet into the front setback (Zoning Code Section 33.266.120.C.1.a).


Approval of an Adjustment to increase the size of the ADU from 705 square feet to 813 square feet (Zoning Code Section 33.205.040.C.3).

The above are per the approved site plans, Exhibits C-1 through C-3, signed and dated July 5, 2017, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related condition B through C must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 17-174249 AD." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. The applicant must surface the walkway leading to the ADU entrance with pavers that will differentiate the walkway from the adjacent driveway. The materials must be shown on the final building permit plans.
- C. The applicant is required to install two planters, having a minimum length of 6 feet, minimum width of 2 feet, and minimum height of 2 feet along the west edge of the walkway as identified on Exhibit C-1. These planters must be maintained over time to ensure that the vehicle area remains no wider than 12 feet. The planters must be shown on the final building permit plans.

**Note:** Per the Portland Bureau of Transportation reviewer, in relation to the expected building permit, the applicant is advised that all pertinent Title 17 requirements must be met. More specifically, the proposed curb cut must lead to legal vehicle access only. The width of the proposed walkway to the ADU entrance will not be permitted as part of the curb cut. Based on the provided plans, the maximum curb cut width should be 12 feet.

**Staff Planner: Lauren Russell**

**Decision rendered by:**  \_\_\_\_\_ **on July 5, 2017.**  
By authority of the Director of the Bureau of Development Services

**Decision mailed: July 10, 2017**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on May 19, 2017, and was determined to be complete on June 5, 2017.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on May 19, 2017.

*ORS 227.178* states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: October 3, 2017.**

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed to the Adjustment Committee, which will hold a public hearing. Appeals must be filed **by 4:30 PM on July 24, 2017** at 1900 SW Fourth Ave. Appeals can be filed at the 5<sup>th</sup> floor reception desk of 1900 SW 4<sup>th</sup> Avenue Monday through Friday between 8:00 am and 4:30 pm. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617,

to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Adjustment Committee is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Adjustment Committee an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Recording the final decision.**

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **July 25, 2017** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

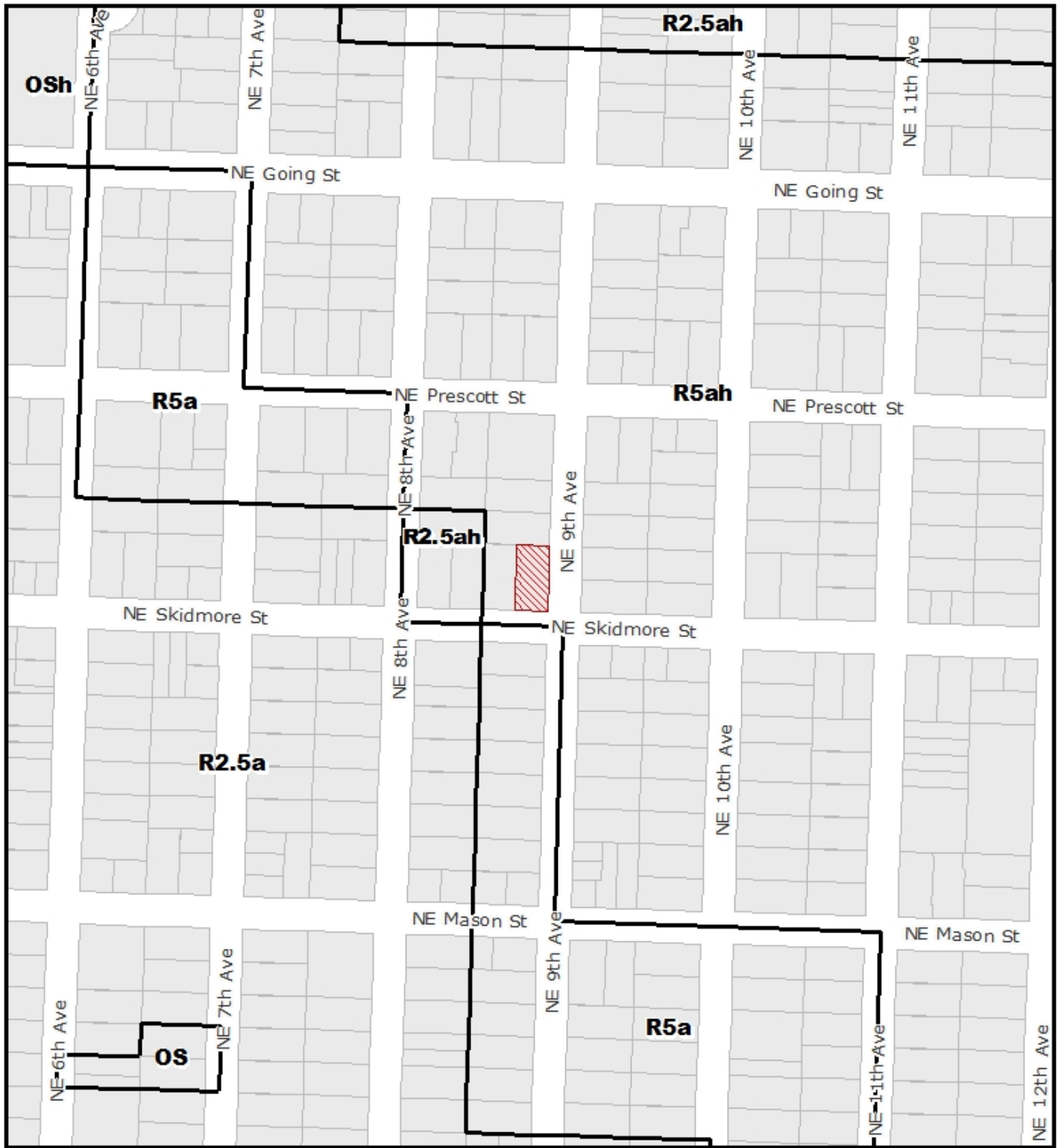
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.



**EXHIBITS**  
NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
  - 1. Narrative and Site Plans received 5/19/17
  - 2. Revised Narrative and Site Plan received 6/5/17
  - 3. Revised Narrative received 6/7/17
- B. Zoning Map (attached)
- C. Plans/Drawings:
  - 1. Site Plan (attached)
  - 2. Elevation Drawings (attached)
  - 3. ADU Floor Plan (attached)
- D. Notification Information:
  - 1. Mailing List
  - 2. Mailed Notice
- E. Agency Responses:
  - 1. Bureau of Environmental Services
  - 2. Bureau of Transportation Engineering and Development Review
  - 3. Fire Bureau
  - 4. Site Development Review Section of BDS
  - 5. Life Safety Section of BDS
- F. Correspondence: none received
- G. Other:
  - 1. Original LU Application
  - 2. Incomplete Letter mailed 6/2/17

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**



**ZONING**   
NORTH

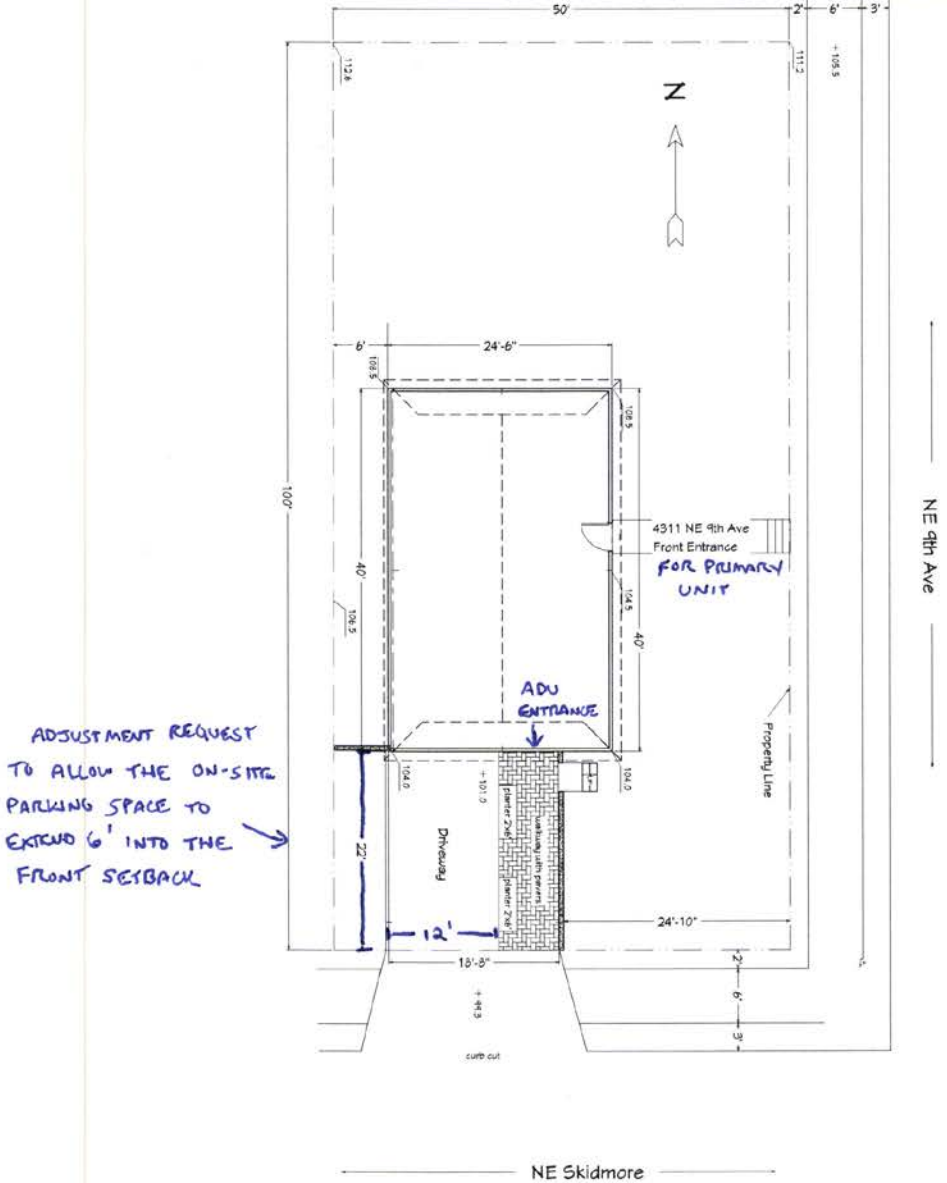
 Site

File No.	LU 17-174249 AD
1/4 Section	2631
Scale	1 inch = 200 feet
State ID	1N1E23CB 400
Exhibit	B May 23, 2017

**\*Approved\***  
**City of Portland - Bureau of Development Services**

Planner Jessica Russell Date 7/5/17

\* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



**A-1**

SHEET:  
 1/8" = 1'-0"

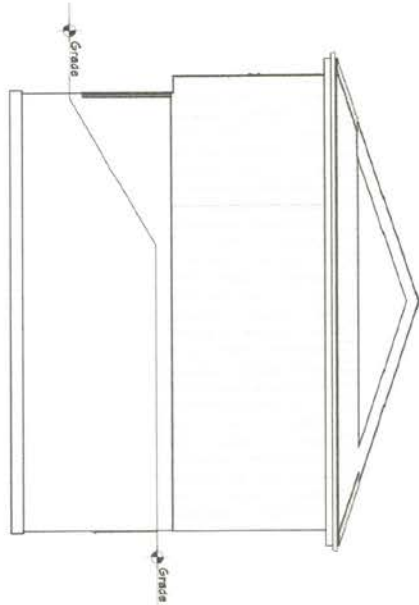
DATE: 6/5/2017  
 DRAWINGS PROVIDED BY: Das Chapin

PROJECT DESCRIPTION:  
 Basement ADU  
 Kel Peterson  
 4311 NE 9th Ave  
 Portland, OR

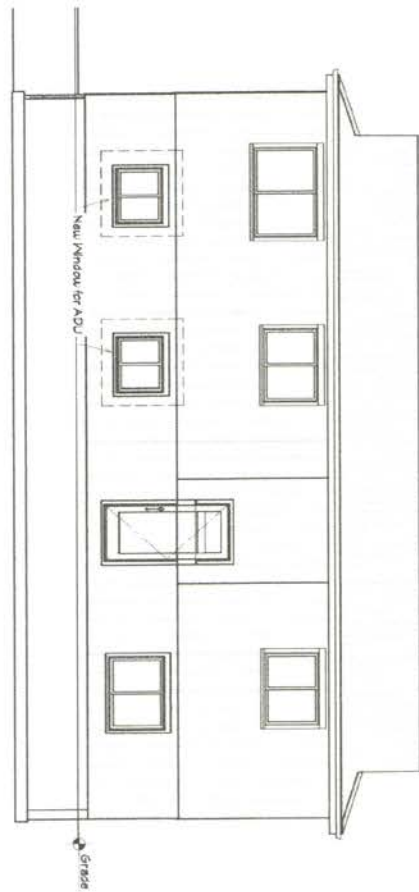
SHEET TITLE:  
 Site Plan

NO.	DESCRIPTION	BY	DATE

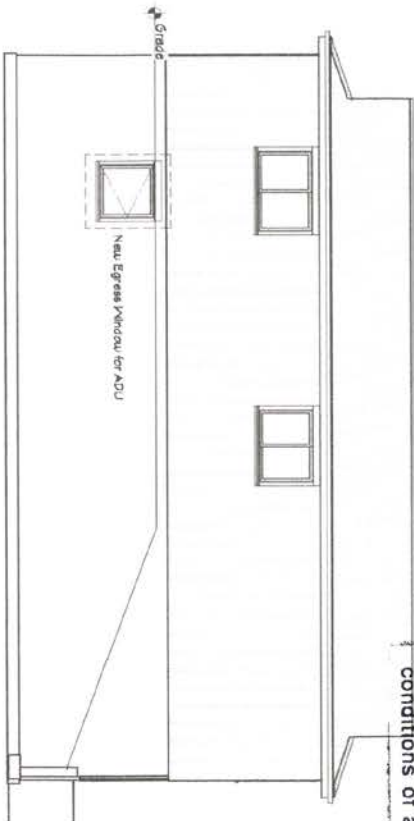
CASE NO. 17-174249 AD  
 EXHIBIT C-1



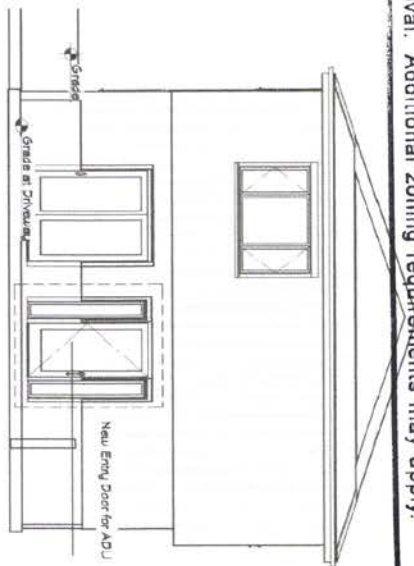
North Elevation



East Elevation



West Elevation



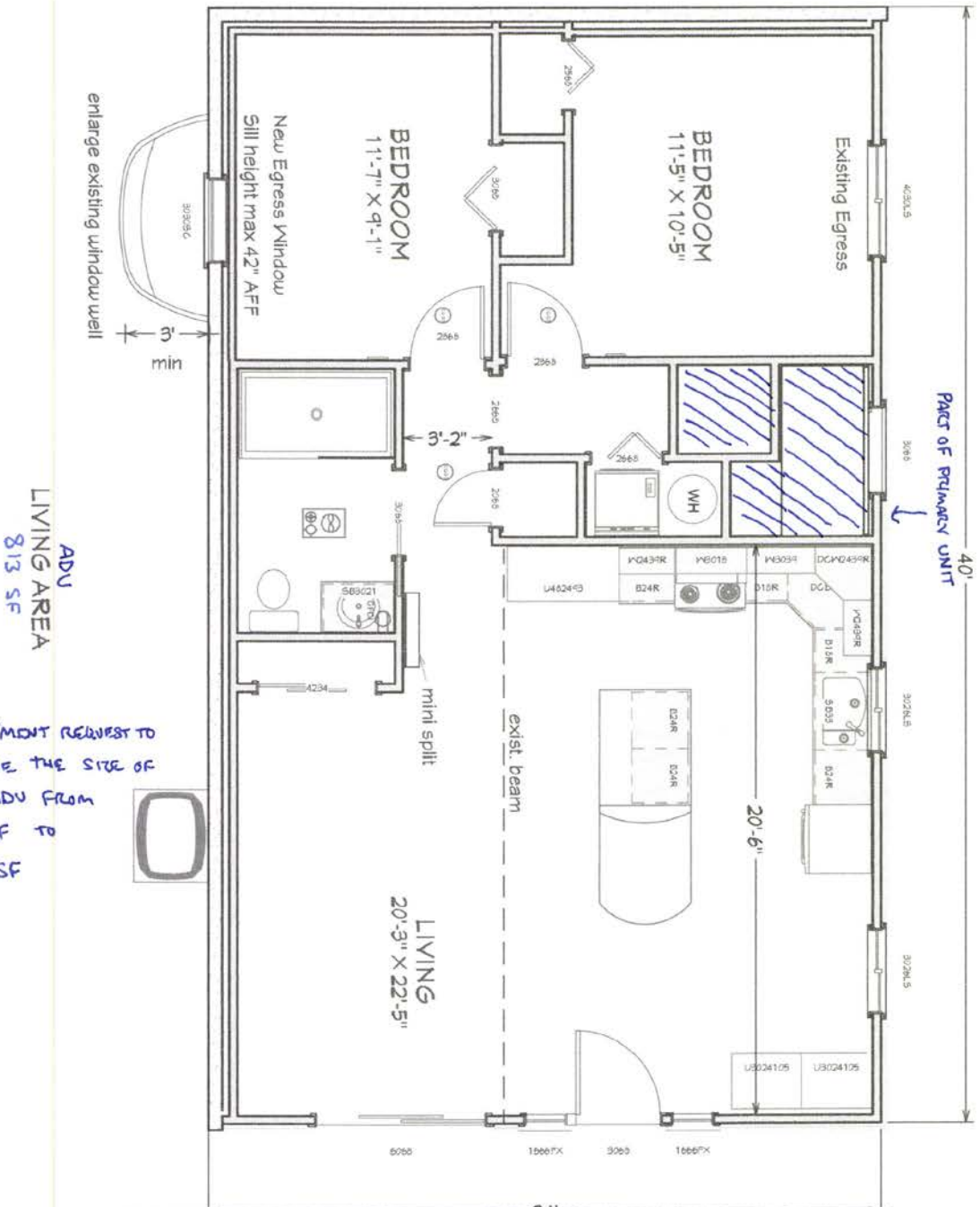
South Elevation

**\*Approved\***  
 City of Portland - Bureau of Development Services  
 Planner Tamara Rowell Date 7/5/17  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

DRAWING PROVIDED BY: <b>Das Chapin</b>	PROJECT DESCRIPTION: Basement ADU Kol Peterson 4311 NE 9th Ave Portland, OR 97211	SHEET TITLE: <b>Elevations</b>	NO.	DESCRIPTION	BY	DATE
DATE: 5/16/2017	SCALE: 1/4" = 1'-0"	SHEET: <b>A-3</b>				

LM17-174249 AD

CASE NO. 17-174249 AD  
 EXHIBIT C-2



ADU  
LIVING AREA  
813 SF

ADJUSTMENT REQUEST TO  
INCREASE THE SIZE OF  
THE ADU FROM  
705 SF TO  
813 SF

LA 17-174249 AD

**\*Approved\***  
 City of Portland - Bureau of Development Services  
 Planner Janeen Russell Date 7/5/17  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

ADU Plan View for Kol Peterson  
 4311 NE 9th Ave Portland, OR 97211  
 May 16, 2017

CASE NO. 17-174249 AD  
 EXHIBIT C-3