



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner
Rebecca Esau, Interim Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: July 12, 2017
To: Interested Person
From: Andrew Gulizia, Land Use Services
503-823-7010/Andrew.Gulizia@portlandoregon.gov

NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, **we need to receive your written comments by 5 p.m. on August 2, 2017**. Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 17-187153 CU AD, in your letter. Please address your letter to me, Andrew Gulizia. You can also e-mail your comments to me at the e-mail address above. Please note all correspondence received is public record, and may be viewed by the applicant or others.

CASE FILE NUMBER: LU 17-187153 CU AD

Applicant: Joshua Scott | Koz Development
1830 Bickford Ave., Suite 201
Snohomish, WA 98290
(206) 755-1290 | josh@kozdevelopment.com

Property Owner: Imago Dei Ministries
1302 SE Ankeny St.
Portland, OR 97214

Site Address: 123 SE 13th Ave.

Legal Description: BLOCK 265 E 25' OF LOT 1&2 LOT 7&8, AIKENS
Tax Account No.: R005100330
State ID No.: 1N1E35CD 04700
Quarter Section: 3031
Neighborhood: Buckman, contact Rick Johnson at rickjohnson77@comcast.net
Business District: Kerns Business Association, contact Yu Te, 2705 E Burnside St., #110, Portland, OR 97214
District Coalition: Southeast Uplift, contact Leah Fisher at 503-232-0010
Zoning: CS – Storefront Commercial
Case Type: CU AD – Conditional Use Review and Adjustment Review
Procedure: Type II, an administrative decision with appeal to the Hearings Officer

Proposal:

The applicant proposes to construct a 4-story apartment building on this site, with 87 fully-furnished micro-apartments (small studio apartments). The applicant requests approval of the following in this land use review:

- Conditional Use Review to detach this lot from the previously-approved Conditional Use Review site for the Imago Dei church at 1302 SE Ankeny St. (file # LU 10-161634 CU AD). Church parking spaces on this lot would be replaced by shared parking arrangements with other parking lots in the neighborhood.
- Adjustment to waive the requirement in Zoning Code Section 33.266.310.C for an on-site loading space for the new apartment building.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- Zoning Code Section 33.815.105.A-E (for Conditional Use Review)
- Zoning Code Section 33.805.040.A-F (for Adjustment Review)

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on June 14, 2017, and determined to be complete on July 10, 2017.

DECISION MAKING PROCESS

The Bureau of Development Services will make a decision on this proposal.

We will consider your comments, and either:

- Approve the proposal;
- Approve the proposal with conditions; or
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120 days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

APPEAL PROCESS

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Hearings Officer. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the review body to

respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

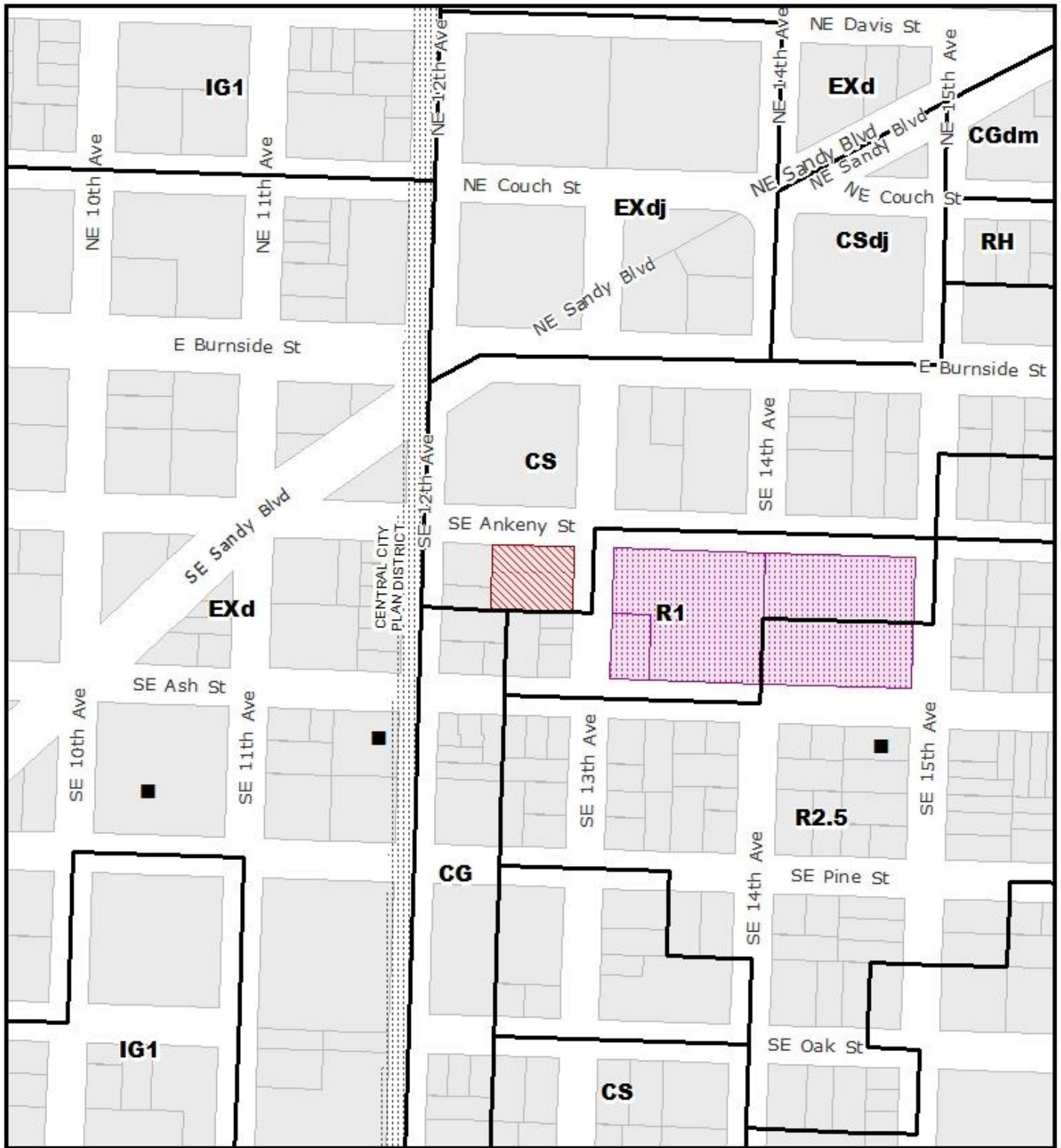
APPEAL OF THE FINAL CITY DECISION

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

Zoning map
Site plan



ZONING



-  Site
-  Also Owned Parcels
-  Historic Landmark

File No.	<u>LU 17-187153 CU AD</u>
1/4 Section	<u>3031</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1N1E35CD 4700</u>
Exhibit	<u>B Jul 10, 2017</u>

LA 1718153 CU AD



NO. DRAWING	020117
NO. SHEET	020117
DATE	11/18/17

KOZ
DEVELOPMENT
1200 W. ANKENY ST.
DESIGN CENTER
DESIGN CENTER

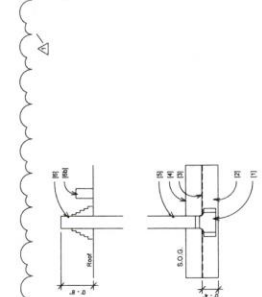
PROJECT	1200 W. ANKENY ST. DEVELOPMENT
DATE	11/18/17
SCALE	AS SHOWN

A1.01

FIRE SAFETY PLAN NOTES

1. BUILDING REQUIREMENTS ARE REQUIRED TO HAVE AT LEAST ONE STANDPIPE LOCATED ON THE ROOF. THE STANDPIPE SELECTED TO SERVICE THE ROOF SHALL BE APPROVED BY THE LOCAL FIRE DEPARTMENT. TESTING SHALL BE APPROVED BY THE LOCAL FIRE DEPARTMENT.
2. EQUIPPED WITH A TWO-WAY HOSE CONNECTION FOR TESTING.
3. HAVE A FREEZE PROOF VALVE OPERABLE FROM THE ROOF WITHOUT THE NEED FOR A KEY OR TOOL TO OPERATE. THE VALVE SHALL BE PROTECTED BY A FACILITY FOR DRAINING THE NON-TEMPERATURE PROTECTED PORTION OF THE STANDPIPE PIPING.
4. HAVE A FACILITY FOR DRAINING THE NON-TEMPERATURE PROTECTED PORTION OF THE STANDPIPE PIPING.
5. FACILITY OF DRAINING WITH THE 500 GALLONS PER MINUTE TEST FLOW.
6. UNLESS THERE ARE PORTIONS OF THE STRUCTURE OR ROOF MOUNTED EQUIPMENT THAT REQUIRE STANDPIPES TO BE MOUNTED AT THE TOP OF STAR LANDING.
7. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE WITHIN 100 FEET OF A PUBLIC FIRE HYDRANT.
8. STANDPIPES TO BE MOUNTED ON ALL FIRE DEPARTMENT CONNECTIONS SERVING AUTOMATIC SPRINKLERS, STANDPIPES OR FIRE PUMP CONNECTIONS SHALL BE MOUNTED ON THE STREET SIDE WITHIN 100 FEET OF THE PRESSURE OF THE FIRE PUMP.
9. A FIRE PROTECTION PLAN WILL BE SUBMITTED PRIOR TO ISSUANCE OF PERMITS. THE PLAN SHALL BE APPROVED BY THE LOCAL FIRE DEPARTMENT AND MUST INCLUDE ON-SITE HOUSING SECURITY AND SECURED PERMITS.

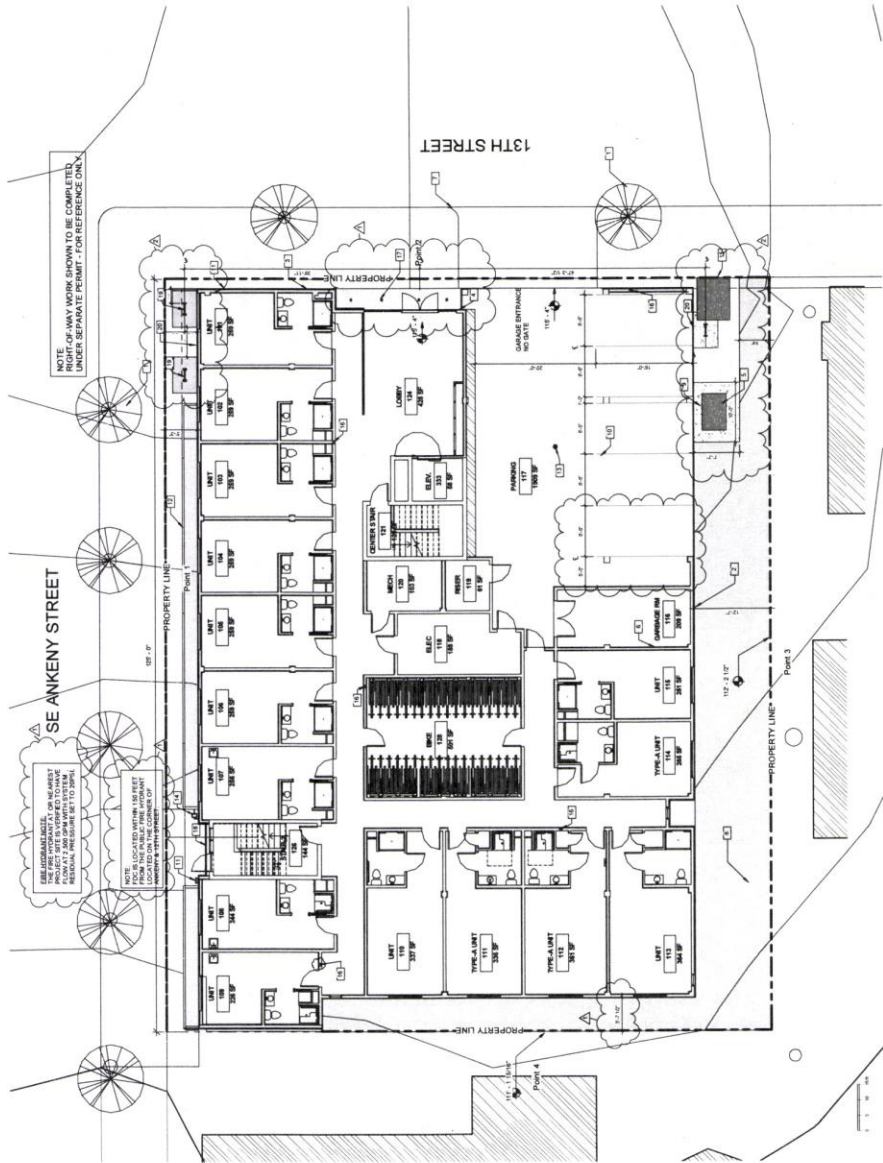
STANDPIPES TO BE MOUNTED WITH ACCESS TO ROOF. SIGNAGE WILL BE PROVIDED IN ACCORDANCE WITH PFC 504.3. PLEASE SEE A1.01 ON DE TALS.



11. Investigation under Item 051217 is still in progress. The contractor shall provide a 2" x 2" x 2" aluminum stand PFC pipe with standpipes to be installed on the roof. The standpipes shall be installed on the roof in accordance with the requirements of the code. The standpipes shall be installed on the roof in accordance with the requirements of the code. The standpipes shall be installed on the roof in accordance with the requirements of the code.
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Radon mitigation detail

SCALE 1" = 1'-0"



NOTE: RIGHT-OF-WAY WORK SHOWN TO BE COMPLETED UNDER SEPARATE PERMIT - FOR REFERENCE ONLY.

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1 SITE PLAN
SCALE 1/8" = 1'-0"