



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

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Date: July 24, 2017
To: Interested Person
From: Hannah Bryant, Land Use Services
503-823-5353 / Hannah.Bryant@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 17-178801 DZ

GENERAL INFORMATION

Applicant: Anne Usher | GBD Architects
1120 NW Couch Street, Suite 300
Portland, OR 97209
503-224-9656

Owner: Norm Rich | Multnomah Athletic Club
1849 SW Salmon
Portland, OR 97207
503-517-6654

Site Address: **1849 SW SALMON ST**

Legal Description: BLOCK 3&6 TL 9200, AMOS N KINGS; TL 5800 2.82 ACRES, SECTION 33 1N 1E

Tax Account No.: R024400730, R941330460

State ID No.: 1N1E33CD 09200, 1N1E33DC 05800

Quarter Section: 3027

Neighborhood: Goose Hollow, contact planning@goosehollow.org.

Business District: Stadium Business District, contact Tina Wyszynski at Tina.wyszynski@gmail.com

District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

Plan District: Central City - Goose Hollow

Zoning: CXd – Central Commercial with Design Overlay

Case Type: DZ – Design Review

Procedure: Type II, an administrative decision with appeal to the Design Commission.

Proposal:

The applicant seeks Design Review approval for the addition of two metal exterior doors at the Multnomah Athletic Club in the Goose Hollow subdistrict of the Central City. One door will be located on the west façade, at the fifth level of the parking garage building. The second door will be installed at the south façade of the third level of the athletic club, opening out onto the pool terrace. Both doors are intended to facilitate employee access to interior service and storage spaces. Neither door is visible from the public right-of-way. Design review is required for all non-exempt exterior alterations in the Design Overlay Zone.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- *Central City Fundamental Design Guidelines*
- *Goose Hollow Special Design Guidelines*

ANALYSIS

Site and Vicinity: The subject site is comprised of two buildings occupied by the Multnomah Athletic Club (MAC), which was founded in 1891. It was originally called the Multnomah Amateur Athletic Club. The subject buildings include the Main Clubhouse and the parking garage on the south side of SW Salmon Street. The Main Clubhouse is a 173,620-square foot building constructed in 1965. It is eight stories tall, and contains an array of athletic facilities including outdoor rooftop tennis courts, a rock-climbing gym, a batting cage, and three swimming pools.

The MAC is in the Goose Hollow neighborhood, near the edge of the King's Hill Historic District. The subject buildings are located between SW Main Street and Providence Park, spanning SW 18th Avenue to SW 20th Avenue. The surrounding area contains a wide variety of uses, including small offices, retail, restaurants, taverns, residential towers as well as smaller residential structures, a public high school and a Major League Soccer stadium.

The site is within a typical 5-minute walk (a quarter of a mile distance) from many retail, commercial and open space resources. To the immediate north is Providence Park (formerly PGE Park then Jeld-Wen Park) home of the Portland Thorns and the Portland Timbers. Further north is West Burnside Street with local and national retail and commercial outlets. To the south is Goose Hollow, a primarily residential neighborhood with some local restaurants and retailers. To the west is the primarily residential King's Hill Historic District.

The site is well served with transportation options. SW Salmon Street is designated in the Transportation Service Plan (TSP) as a Transit Access Street, SW 18th Avenue is designated as a Regional Transitway. MAX service is provided to the site on SW 18th Ave. Bus service is provided to the site by the #15, #51 and #63 on SW 18th Ave. and by the #51 and #63 on SW Salmon St. SW 18th Ave. and SW Salmon St. are both designated as City Bikeways. The site is also within the Goose Hollow pedestrian district.

Zoning:

The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together.

The Design (d) overlay zone promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design overlay zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, Design Review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Central City Plan District implements the Central City Plan and other plans applicable to the Central City area. These other plans include the Downtown Plan, the River District Plan, the University District Plan, and the Central City Transportation Management Plan. The Central City plan district implements portions of these plans by adding code provisions which address special circumstances existing in the Central City area. The site is within the Goose Hollow Subdistrict of this plan district.

Land Use History:

City records indicate the following prior land use reviews for the Multnomah Athletic Club (MAC), which includes 1849 SW Salmon St and 826 SW 21st Ave:

- VZ 037-63 (reference file # LU 63-028343) - Approval for two illuminated poster panels.
- CU 031-71 (reference file # LU 71-001460) - Conditional Use approval for an addition to the MAC.
- CU 11-90 (reference file # LU 90-000795 CU) - Conditional use approval to convert and existing auto body shop into a parking garage, laundry facility, and storage facility.
- CU 89-90 (reference file # LU 90-003331 CU) - Conditional Use approval to amend MAC Master Plan and to amend condition “A” of CU 11-90.
- LUR 91-00740 (reference file # LU 91-008995 MS) - Conditional use approval of new MAC Master Plan.
- LUR 92-00813 (reference file # LU 92-009932 MS) - Approval for MAC Master Plan Goals regarding neighborhood relations, transportation, and urban design issues.
- LUR 95-00743 (reference file # LU 95-012636 ZC) - Approval for zone change from High-density Residential (RH) base zone to CXd (Central Commercial base zone with design overlay).
- LUR 95-00873 (reference file # LU 95-012766 MS) - “Determination of status of MP 92-813 MS”
- LUR 96-00692 (reference file # LU 96-013579 DZ) - Design Review approval to re-configure existing loading dock and yard to accommodate new light-rail station.
- LUR 97-00066 (reference file # LU 97-014112 DZ) - Design Review approval for building addition, tennis court on rooftop, and enclosure of southeast corner of building.
- LUR 97-00184 (reference file # LU 97-014230 UD) - Use Determination to clarify allowed square footage of west addition to clubhouse.
- LU 05-111311 DZ - Design Review approval for alterations to existing parking structure.
- LU 06-143433 DZ - Design Review approval for new roof access ladders and platforms.
- LU 10-145093 DZ - Design Review approval for expansion of the fifth floor and miscellaneous exterior improvements.
- LU 10-146374 - Approval of traffic and parking analysis for expansion of tennis lounge; approval to revise condition of approval from 95-00743.
- LU 11-104446 DZ - Design Review approval for new exterior stair and landing on east side of building.
- LU 15-134243 DZ - Design Review approval for new exterior trash and recycling area along the east elevation of the building.
- LU 16-130640 DZ - Design Review approval for replacement of seven windows and two mechanical louvers, three bays of existing windows, and installation of two new louvers.

City records indicate the following prior land use reviews for Jeld-Wen Field:

- LUR 00-00066 DZ (reference file # LU 00-006621 DZ) - Design Review approval for seismic upgrades; ADA-related alterations; remodeling of existing concourse; additional seating; expansion of existing plazas; and new field, terraces, and business boxes.
- LUR 00-00228 (reference file # LU 00-006783 DZM) - Design Review approval for new signs and graphics; approval for four Modifications to Title 32 (Sign Code).
- LUR 00-00803 (reference file # LU 00-007358 AD) - Adjustment to bike parking requirements.
- LUR 01-00049 (reference file # LU 01-007448 DZM) - Design Review approval for two bronze sculptures; approval for Modification to allowed quantity of freestanding signs.
- LU 07-105046 DZM - Design Review approval for new south scoreboard; approval of two Modifications to Sign Code.
- LU 09-179009 DZ - Design Review approval to renovate stadium for major league soccer.
- LU 10-116154 - Traffic-related impact study.
- LU 10-175764 DZ - Design Review approval for new signage associated with converting stadium from minor league baseball to major league soccer.

- LU 11-114580 DZM - Design Review approval for a new sign; approval for Modification to overall allowable sign area.

City records indicate the following prior land use reviews for MAC and Jeld-Wen Field together:

- LUR 01-00162 (reference file # LU 01-007561 DZM) - Design Review approval for new signage; approval for two Modifications to Sign Code.
- LUR 01-00641 (reference file # LU 01-008038 AD) - Adjustment to reduce bike parking requirements.
- LU 13-131477 DZ – Design Review approval for guardrails.

City records indicate the following prior land use reviews for MAC and Providence Park together:

- LU 14-248711 DZ – Design Review approval for new doors & juliette balconies at the ballroom.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **June 27, 2017**. The following Bureaus have responded with no issues or concerns:

- Fire Bureau (exhibit E.1)
- Life Safety (exhibit E.2)

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on June 27, 2017. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design district guidelines.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site’s location, the applicable design guidelines are the Central City Fundamental and Goose Hollow Special Design Guidelines.

Goose Hollow District Design Guidelines and Central City Fundamental Design Guidelines

The Goose Hollow District is envisioned to be a predominantly urban residential, transit-oriented community located on the western edge of the Central City between Washington Park and Downtown Portland. When riding light rail through the West Hills tunnel to the Central City, it is the first neighborhood experienced before entering downtown Portland. The Urban Design Vision celebrates the sense of arrival from the west at Jefferson Street Station and Collins Circle, and from the north at the Civic Stadium Station and Fire Fighter’s Park. This is done by integrating the history of the community with its special natural and formal (man-made) characteristics.

The Central City Fundamental Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland’s character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Goose Hollow District Design Goals

The Goose Hollow District Design Goals are specific to the Goose Hollow District. These urban design goals and objectives are to:

- Enhance mixed-use, transit-oriented development around the light rail stations to make it a pedestrian-friendly station community.
- Provide open spaces to accommodate active public life.
- Strengthen connections to adjacent neighborhoods through light rail, bike and pedestrian access and assure a safe and pleasant bike/pedestrian environment.
- Preserve and enhance the community's history and architectural character.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within all of the Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

A5-1. Strengthen the Identity of the Civic Stadium Station Area. This guideline may be accomplished by any or all of the following:

- a. Integrating the Civic Stadium and Multnomah Athletic Club into the station area. This can be done by making their ground level street walls more pedestrian-friendly.
- b. Incorporating the history of the Stadium and Tanner Creek in the form of art work, murals, and other design features;
- c. Strengthening the neighborhood focal point located within the station area. Street trees, awnings, lighting and other amenities can emphasize pedestrian connections to the focal point (the Park, Plaza/Station). Buildings can orient their openings and entries towards the focal point to create a sense of enclosure and enhance the sense of entry into the District; or
- d. Using architectural vocabulary and materials that maintain continuity with the existing developments and add to the character of the station area.

Findings for A4 and A5-1: The proposed 1-3/8" doors are 16-gauge metal, to match existing utilitarian doors existing elsewhere on the site. The doors are not visible from the public right-of-way, nor are they to be used for public access or functions. Both doors are intended to serve private, staff-only service and storage areas. Therefore, it is appropriate that they are discreet, so they do not compete with the character-defining architectural elements used elsewhere in the Civic Stadium area. *These guidelines are therefore met.*

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

Findings for C2: The two proposed exterior doors will both be 16-gauge steel, with insulated cores. This thickness and heavy gauge ensure the products are high-quality, permanent, and can withstand the exposure to extreme temperatures and weather without compromising the aesthetics or environmental performance. *With Condition D, stipulating that the doors are 1-3/8" thick and 16-gauge metal, this guideline is therefore met.*

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings for C3, C4 & C5: The new doors will replace existing opaque walls, in areas that are not visible from the public realm and are already dedicated to service. The replacement of opaque walls with new service doors does not compromise the character of the existing building or impact its architectural integrity. The new doors are consistent with those used elsewhere on the building, and do not detract from the coherency of the building's composition. *These guidelines are therefore met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS


The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of two new steel service doors, per the approved site plans, Exhibits C-1 through C-9, signed and dated July 20, 2017, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through D) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 17-178801 DZ." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.
- D. The doors will be 16-gauge and 1-3/8" thick.

Staff Planner: Hannah Bryant

Decision rendered by:  **on July 20, 2017**
By authority of the Director of the Bureau of Development Services

Decision mailed: July 24, 2017

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on May 30, 2017, and was determined to be complete on June 20, 2017.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on May 30, 2017.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on August 7, 2017** at 1900 SW Fourth Ave. Appeals can be filed at the 5th floor reception desk of 1900 SW 4th Avenue Monday through Friday between 8:00 am and 4:30 pm. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **August 8, 2017** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

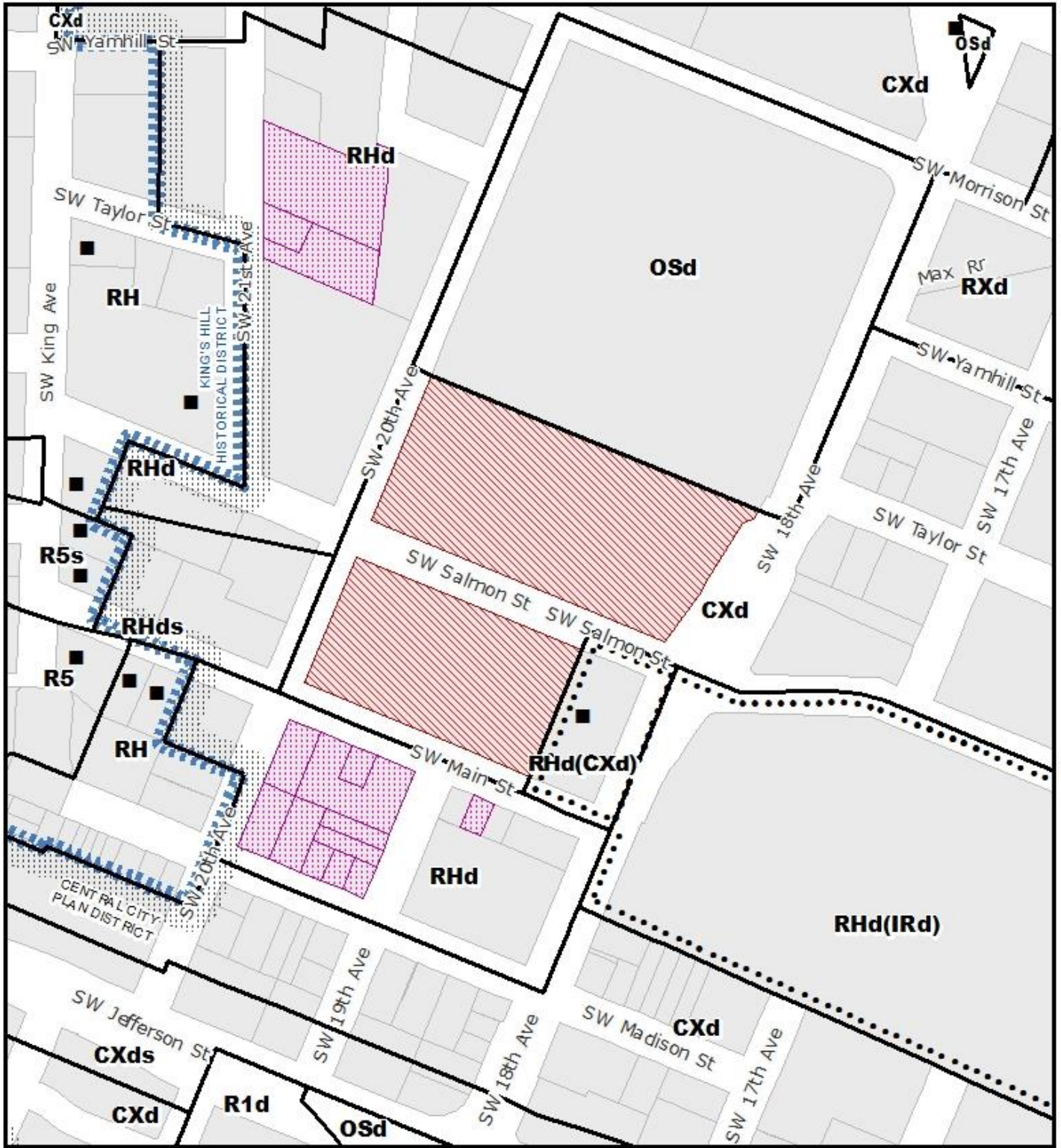
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.


EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Submittals
 - 1. Response to Guidelines
 - 2. Original Submittal
 - 3. E-mail from Applicant re: door details
 - 4. E-mail from Property Owner re: updated address
 - 5. Updated Submittal, dated June 25, 2017
 - 6. E-mail from Applicant re: updated drawings, dated July 9, 2017
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Aerial View
 - 3. Sunset Bistro Plan
 - 4. Sunset Bistro Detailed Plan
 - 5. Sunset Bistro Elevation
 - 6. Parking Garage Plan
 - 7. Parking Garage Detailed Plan
 - 8. Door Details
 - 9. Door Handle Cutsheet
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Fire Bureau
 - 2. Life Safety
- F. Correspondence: None
- G. Other:
 - 1. Original LU Application

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

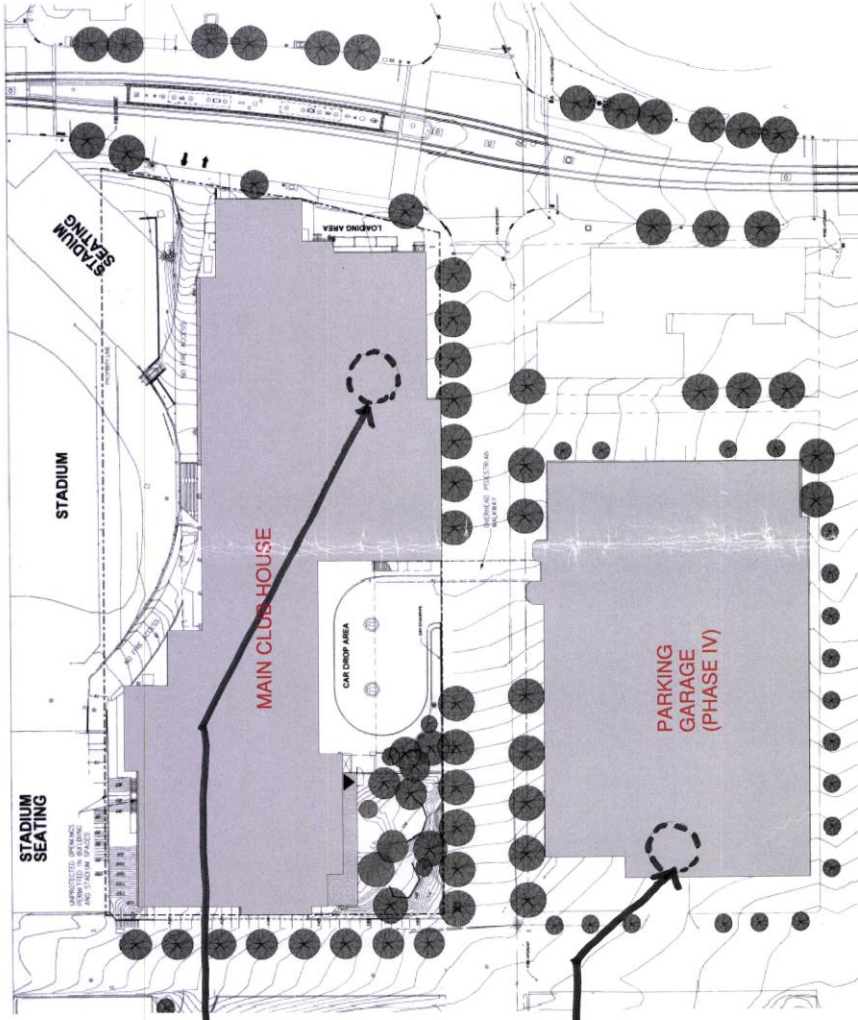


ZONING 
 NORTH

THIS SITE LIES WITHIN THE:
 CENTRAL CITY PLAN DISTRICT
 GOOSE HOLLOW SUBDISTRICT

-  Site
-  Also Owned Parcels
-  Historic Landmark

File No.	LU 17-178801 DZ
1/4 Section	3028 3027
Scale	1 inch = 200 feet
State ID	1N1E33DC 5800
Exhibit	B Jun 02, 2017



TWO NEW EXTERIOR DOORS AT EXISTING SOUTH FACADE AT 3RD LEVEL. SEE SHEETS 1-5

ONE NEW EXTERIOR DOOR AT EXISTING WEST FACADE AT 5TH LEVEL. SEE SHEETS 6 + 7

Approved*
 City of Portland - Bureau of Development Services
 Planner: *[Signature]*
 Date: 7-2017
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

1 DESIGN REVIEW SITE PLAN



COVER

Project: **MAC Sunset Bistro Exterior Doors**
 Date: **5.05.2017**

Client: **Multnomah Athletic Club**

LU 17-178801DZ

GBD
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