



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

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Date: July 26, 2017
To: Interested Person
From: Puja Bhutani, Land Use Services
503-823-7226 / Puja.Bhutani@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has **approved** a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 16-206437 DZ – AUTO BAY ADDITION

GENERAL INFORMATION

Applicant: Richard Stein,
Richard Stein Design
1306 NW Hoyt Street, Suite 310
Portland, OR 97209
503-226-2316
Rstein@Spiritone.Com

DNDC Properties, LLC
132 NE Grand Avenue
Portland, OR 97232-2937
503-232-7669
Precisionmotorcar@Comcast.Net

Site Address: 132 NE GRAND AVENUE

Legal Description: BLOCK 115 LOT 1&2 EXC PT IN ST, EAST PORTLAND
Tax Account No.: R226507690
State ID No.: 1N1E35CB 04000
Quarter Section: 3031

Neighborhood: Kerns, contact Steve Russell at 503-784-8785.
Business District: Central Eastside Industrial Council, contact ceic@ceic.cc.
District Coalition: Southeast Uplift, contact Leah Fisher at 503-232-0010.

Plan District: Central City Plan District - Central Eastside Sub-district
Zoning: EXd, Central Employment with design overlay zone
Case Type: DZ, Design Review
Procedure: Type II, an administrative decision with appeal to the Design Commission.

Proposal:

The applicants are seeking design review approval for the following exterior modifications to the north portion of the existing building, located in the Central City Plan District - Central Eastside Sub-district:

1. Add one additional auto-service bay by consolidating and reducing the existing office area,
2. Replace existing doors and windows, with new anodized aluminum doors and windows, and add new window on the north elevation.
3. Replace existing brown brick with stucco,
4. Add a new sign on the north elevation, and
5. New metal screen to cover pipes and vent on the north elevation.

Design Review is required because the proposal is for non-exempt exterior alterations within the Central City Plan District - Central Eastside Sub-district.

RELEVANT APPROVAL CRITERIA:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- Central City Fundamental Design Guidelines
- Special Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan

ANALYSIS

Site and Vicinity: The subject site is located at the southeast corner of NE Grand Avenue and NE Davis Street. It is currently improved with a single story auto service building. The neighboring uses include a mix of offices, retail, auto-service businesses, and multi-family residential. The block is bound by NE Grand Avenue to the west, NE Davis to the north and NE Couch Street to the south. Both of these Grand and Couch streets are designated as Major Transit Priority Streets with frequent bus service. NE Davis to the north is a two-way local service street.

Zoning: The Central Employment (EX) zone allows mixed uses and is intended for areas in the center of the City that have predominantly industrial-type development. The intent of the zone is to allow industrial and commercial uses which need a central location. Residential uses are allowed, but are not intended to predominate or set development standards for other uses in the area.

The “d” overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

Land Use History: City records indicate there are no prior land use reviews for this site.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **June 16, 2017**. The following Bureaus have responded with no issues or concerns:

- The Site Development Section of BDS

The Fire Bureau responded that all applicable Fire Code requirements shall apply at the time of permit review and development. Please see Exhibit E-1 for additional details.

The Life-Safety Section of BDS responded with no concern to design review approval. Please see Exhibit E-2 for additional details.

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on June 16, 2017. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055, Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because the site is located generally within the Central City Plan District, the applicable design guidelines are the Central City Plan Fundamental Design Guidelines. As the site is also specifically located within the Design Zone of the Central Eastside District, the Special Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan also apply.

Special Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan and Central City Fundamental Design Guidelines

The Central Eastside is a unique neighborhood. The property and business owners are proud of the district's heritage and service to the community and region. Light industry, distribution/warehousing, and transportation are important components of the district's personality. To the general public, retail stores and commercial businesses provide the central focus within the district.

The underlying urban design objective for the Central Eastside is to capitalize on and emphasize its unique assets in a manner that is respectful, supportive, creative and compatible with each area as a whole. Part of the charm and character of the Central Eastside District, which should be celebrated, is its eclectic mixture of building types and uses. An additional strength, which should be built on, is the pattern of pedestrian friendly retail uses on Grand Avenue, East Burnside and Morrison Streets, as well as portions of 11th and 12th Avenues.

The Central City Fundamental Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Central Eastside Design Goals

The following goals and objectives define the urban design vision for new development and other improvements in the Central Eastside

- Encourage the special distinction and identity of the design review areas of the Central Eastside District.
- Provide continuity between the Central Eastside and the Lloyd District.
- Provide continuity between the Central Eastside and the river, downtown, and adjacent residential neighborhoods.
- Enhance the safety, convenience, pleasure, and comfort of pedestrians.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within all of the Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A8. Contribute to a Vibrant Streetscape. Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

Findings for A8, & B2: The proposal is to add one additional auto service bay within the existing building footprint by consolidating the office area within the north street facing portion of the building. This provides for the active use areas to be adjacent to the Davis Street pedestrian sidewalks. It also helps provide a separation between the auto service uses and the pedestrians, and which helps minimize negative impacts on the pedestrian environment. The north elevation improvements include replacing the existing windows and also adding a large new window, resulting in a more transparent and interesting frontage abutting the public sidewalk. These improvements will provide enhanced visual connection to the buildings active interior spaces from the adjacent sidewalk and also buffer the pedestrian from auto service uses. *These guidelines are met.*

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings for C2, C3, C4 & C5: The proposal results in a much improved north or Davis Street facing elevation for the existing building. The boarded up window will be replaced with a larger and more coherently designed anodized aluminum window system. The exposed pipes will be screened with a new metal screen. The existing windows on both the north and west elevations will be also replaced with the anodized aluminum window

system. All the existing brown brick on the façade will be replaced with a stucco finish, and painted beige to match the existing building. The new metal awnings will be raised and aligned with the existing awnings for a consistent appearance. The steel garage door for the new auto service bay will match those on the existing bays. The proposed exterior changes and materials integrate with the existing building and design elements. The materials are durable and blend in with the character of the existing building. *These guidelines are met.*

C13. Integrate Signs. Integrate signs and their associated structural components with the building's overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

C1-2. Integrate Signs.

- a. Retain and restore existing signage which reinforces the history and themes of the district, and permit new signage which reinforces the history and themes of the East Portland Grand Avenue historic district.
- b. Carefully place signs, sign supports, and sign structures to integrate with the scale, color and articulation of the building design, while honoring the dimensional provisions of the sign chapter of the zoning code.
- c. Demonstrate how signage is one of the design elements of a new or rehabilitation project and has been coordinated by the project designer/ architect. Submit a Master Signage Program as a part of the project's application for a design review.

Findings for C13 and C1-2: A new sign measuring 9"x 8'-6 3/8" is proposed over the new window frame on the North elevation. The sign uses individually articulated letters made of aluminum in a satin finish which are stud mounted to the wall. The design is simple and streamlined, integrates well with the existing building and helps identify the business from the NE Davis Street. *These guidelines are met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The proposal meets all the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of the proposal to add an auto-service bay, replacing and adding new doors and windows, new stucco exterior finish, and metal screens to cover pipes.

Approval to add a new sign on the north elevation.

Approved per the approved site plans, Exhibits C-1 through C-7, signed and dated 7/20/17, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 16-206437 DZ." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."

- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

Staff Planner: Puja Bhutani



Decision rendered by: _____ **on (July 20, 2017)**
By authority of the Director of the Bureau of Development Services

Decision mailed: July 26, 2017

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on July 15, 2016, and was determined to be complete on January 10, 2017.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on July 15, 2016.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant requested that the 120-day review period be extended as stated with Exhibit A-5. Unless further extended by the applicant, **the 120 days will expire on: 9/7/2017**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on August 9, 2017** at 1900 SW

Fourth Ave. Appeals can be filed at the 5th floor reception desk of 1900 SW 4th Avenue Monday through Friday between 8:00 am and 4:30 pm. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **August 10, 2017** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

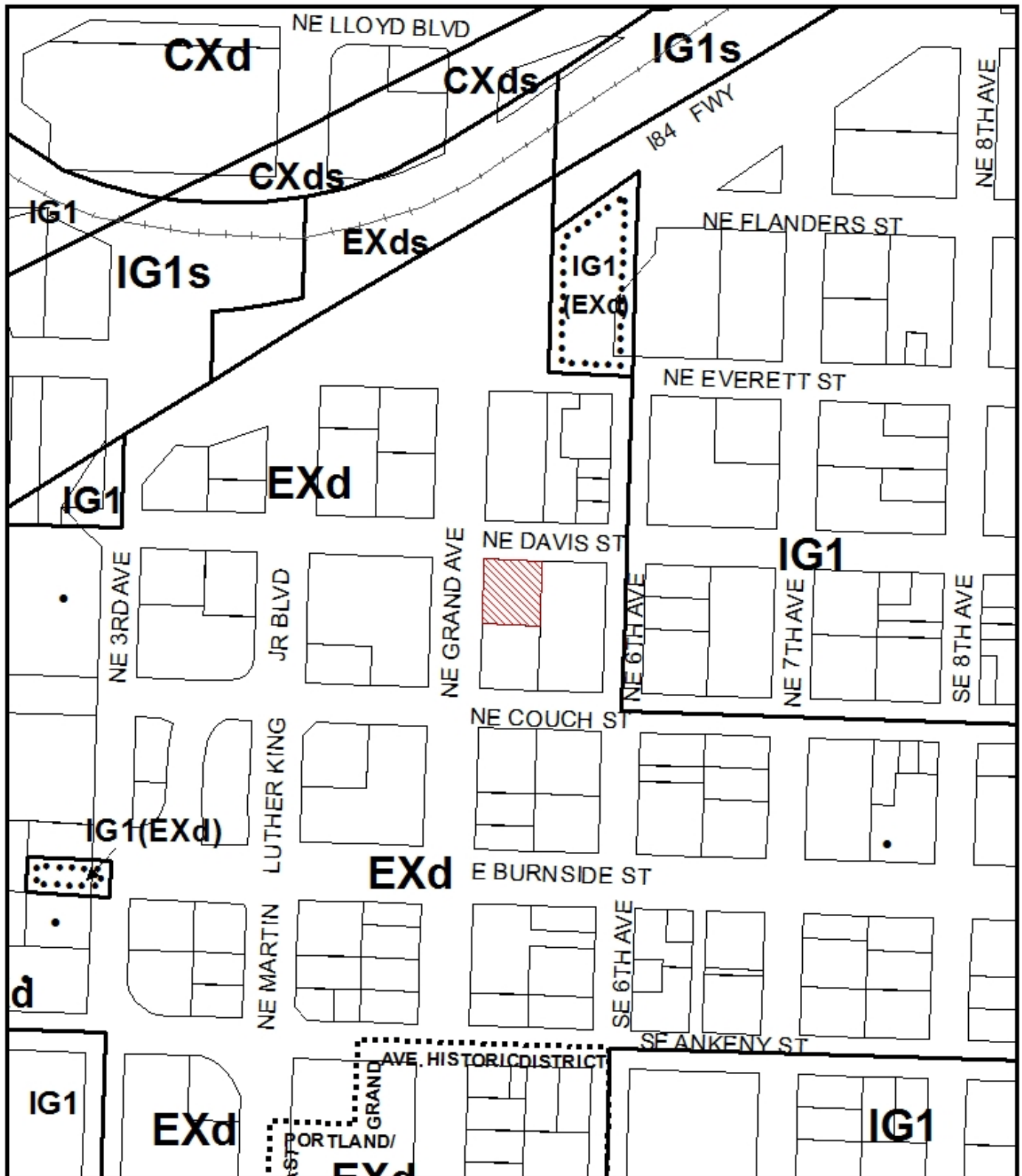
Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS
NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
 - 1. Narrative
 - 2. Neighborhood Contact
 - 3. Original Drawing Set, for reference only- Not Approved
 - 4. Revised Drawing Set, for reference only- Not Approved
 - 5. Request for Extension of 120 Day Review Period
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Proposed Floor Plan
 - 3. Proposed Elevations and Window Section (attached)
 - 4. Existing Elevations
 - 5. Trim Detail
 - 6. Sign Packet
 - 7. Manufacturers Cutsheets
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Fire Bureau
 - 2. Life-Safety Review Section of BDS
- F. Correspondence: None Received
- G. Other:
 - 1. Original LU Application
 - 2. Incomplete letter send on 8/8/2016
 - 3. Void Notice send on 12/28/2016

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING

Site

Historic Landmark



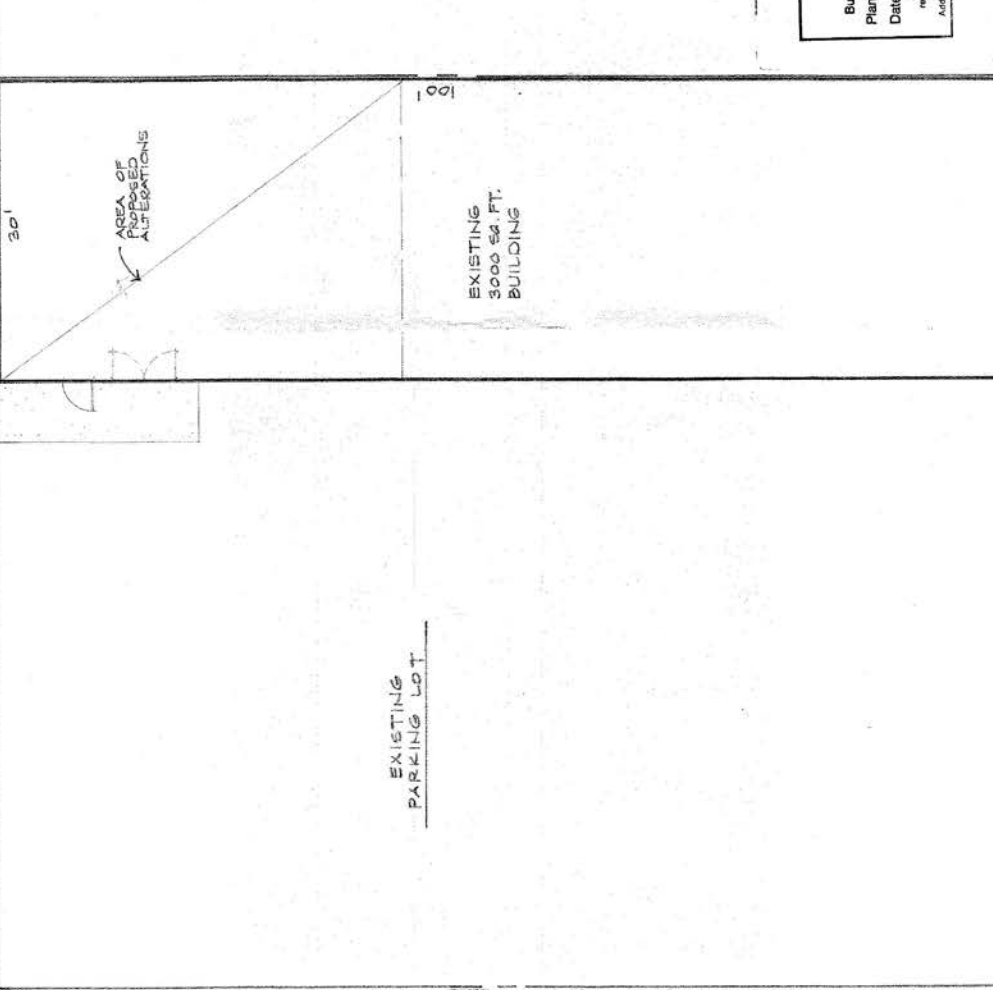
This site lies within the:
 CENTRAL CITY PLAN DISTRICT
 CENTRAL EASTSIDE SUBDISTRICT

File No.	LU 16-206437 DZ
1/4 Section	3031
Scale	1 inch = 200 feet
State Id	1N1E35CB 4000
Exhibit	B (Jul 19, 2016)

NE. DAVIS ST.

SIDEWALK

90.0'



N
 SITE PLAN
 SCALE: 1/8" = 1'-0"

Approved
 City of Portland
 Bureau of Development Services
 Planner *[Signature]*
 Date 4/10/17

* This approval applies only to the conditions of approval set forth in this permit for all conditions of approval. Additional zoning requirements may apply.

EXHIBIT C1
 ①

NE. GRAND

SIDEWALK

100.0'

PRECISION MOTORS
 132 NE GRAND AVE.
 PORTLAND OREGON

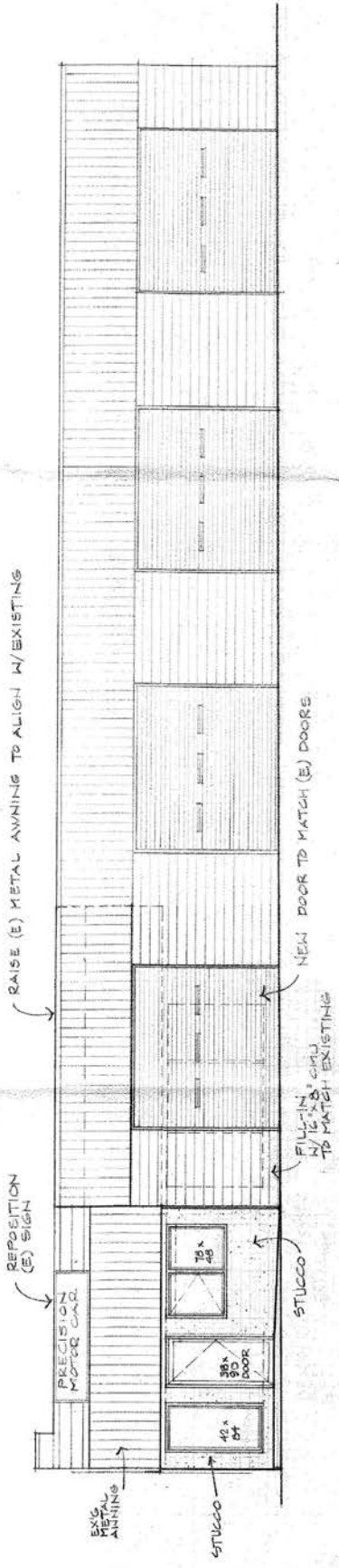
M. O'NEILL
 1506 N. PORTLAND ST. #310
 PORTLAND, OR 97209
 503.256.2316

BY DRAWN:

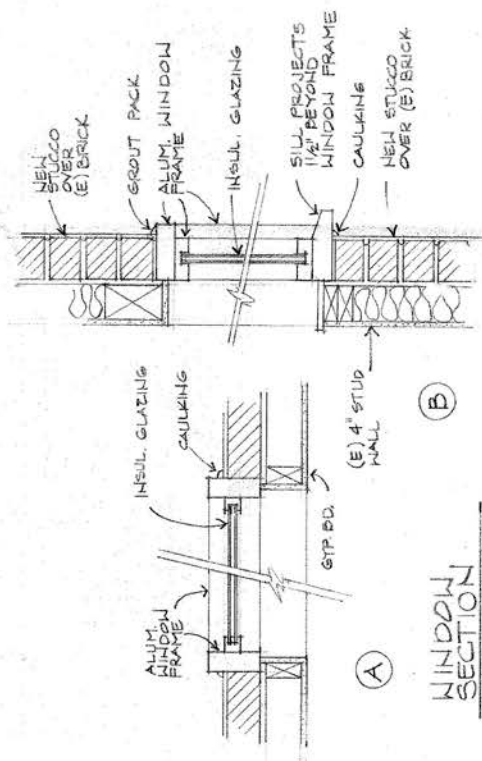
Richard
 1206 N. Grand Ave. ST # 310
 Portland, Ore. 97209
 (503) 226-2316

Proposed Remodel For
 Precision Motor Car
 132 NE Grand Ave.
 Portland Oregon

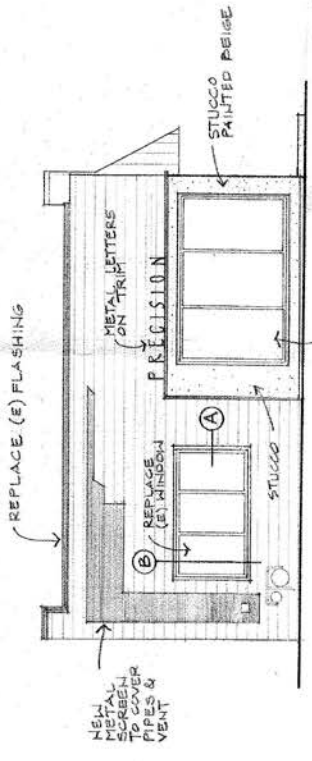
3
 OF 3



WEST ELEVATION
 SCALE: 3/16" = 1'-0"



WINDOW SECTION
 SCALE: 1" = 8"



NORTH ELEVATION
 SCALE: 3/16" = 1'-0"

Approved
 City of Portland
 Bureau of Development Services
 Planner: [Signature]
 Date: 11/17/11
 This project is subject to the
 requirements of the City of Portland
 and is subject to all
 applicable zoning regulations.
 Additional zoning regulations may apply.

EXHIBIT C-3