



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner
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Date: August 14, 2017
To: Interested Person
From: Megan Sita Walker, Land Use Services
503-823-7294 / MeganSita.Walker@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 17-117476 HRM – FAÇADE ALTERATIONS

GENERAL INFORMATION

Applicant/Owner: David Hill, (503) 577-0387
Hill Properties Clarkton LLC
2178 SW Kings Ct
Portland, OR 97205-1118

Site Address: 8216 N DENVER AVE

Legal Description: BLOCK 3 LOT 35&36, KENTON
Tax Account No.: R445901120, R445901120, R445901120, R445901120
State ID No.: 1N1E09DA 05000, 1N1E09DA 05000, 1N1E09DA 05000, 1N1E09DA 05000
Quarter Section: 2228

Neighborhood: Kenton, contact Webly Bowles at weblybowles@gmail.com.
Business District: Kenton Business Association, contact Mo Bachmann at info@kentonbusiness.com.
District Coalition: North Portland Neighborhood Services, contact Mary Jaron Kelley at 503-823-4099.

Plan District: Kenton
Other Designations: Contributing Resource in the Kenton Commercial Historic District

Zoning: CSd - Storefront Commercial with Design Overlay & Historic Resource Protection Overlay

Case Type: HRM - Historic Resource Review with Modification
Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

Proposal:

The applicant seeks Historic Resource Review approval for façade alterations to the Bingham Building, a contributing resource in the Kenton Commercial Historic District, constructed in 1911 in the Streetcar Era Commercial style. The proposal is to restore the existing intact historic features that remain on the building and replace portions of the structure that have been previously altered.

The proposed alterations are limited to the exposed facade along N Denver Avenue. Historically, this façade was composed of a lower section of decorative and structural cast iron infilled with storefront at the ground floor with a brick masonry cladding above. The current condition includes a stucco system with aluminum storefront and an angled recessed condition at the northern most entry, all proposed to be removed. Of the original/historic ground floor, (5) five cast iron columns remain and are proposed to be restored. The alterations at this level also include the installation of wooden bulkhead on a concrete curb and all-wood fixed windows with transom windows and framed wood infill panels above. The proposal also includes two (2) projecting blade signs with steel brackets and metal plate sign panel located within the transom band, and (5) gooseneck light fixtures above the transom windows. The existing brickwork on the second level will be preserved and the existing metal cornice that is in disrepair is proposed to be replaced with a new sheet metal cornice to match the existing/original condition.

The configuration of the southernmost entry (to a single retail space and to the apartments above) will remain the same while the angled condition of the northernmost entry is proposed to be reconfigured. The proposed design of for the northernmost entry will require a Modification to the Required Building Lines Zero Setback standard of the Kenton Plan District (PZC, Section 33.538.230.C.1), as described below:

Modification is requested to:

- **33.538.230 Required Building Lines**
Modification 1: Proposal to modify the Zero Setback Standard listed in PZC, Section 33.538.230.C.1 that states, “buildings must extend to the street lot line for the entire lot frontage except that up to 10 feet of the length of the building may be set back up to 10 feet from the street lot line to accommodate the main entrance”. The applicant is requesting to modify this standard to allow approximately 18’-6” of street frontage to be setback 4’-6” to accommodate two recessed entry conditions.

Historic Resource Review is required as the proposal includes non-exempt exterior alterations in a Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- 33.846.060.G *Other approval criteria*
- 33.846.070 *Modifications Considered During Historic Resource Review*

ANALYSIS

Site and Vicinity: The site is composed of three lots totaling 8,313 square feet, with street frontage on both N. Denver Avenue and N. Kilpatrick Street. The property is developed with a two-story building fronting N. Denver Avenue (the area where alterations are proposed) and a small courtyard and gated parking area in the rear, which is accessed from N. Kilpatrick Street. Built in 1911, the Brandon Building (aka the Bingham Building) is a contributing resource in the Kenton Commercial Historic District as a good example of Streetcar-Era Commercial-style architecture. The upper residential story and parapet are comprised of brick with four paired wood double-hung windows. The existing ground level of the building has a stucco surface and aluminum storefront with two recessed entryways, one for the upper residential units and one for the lower retail tenant space.

The site is within a designated Pedestrian District, and N. Denver is classified in the City of Portland Transportation System Plan as a Community Main Street. Pedestrian Districts are intended to give priority to pedestrian access in areas where high levels of pedestrian activity exist or are planned, including the Central City, Gateway regional center, town centers, and station communities. Community Main Streets are designed to accommodate motor vehicle traffic, with special features to facilitate public transportation, bicycles, and pedestrians.

The Kenton Plan District fosters a vital retail corridor along N. Denver, ensures that the design of new buildings, and modifications to existing buildings, are compatible with the historic character of the area, and promotes a pleasant, safe, and convenient environment for pedestrians. N Denver Avenue is also designated as a transit and bikeway route.

The Kenton Commercial Historic District is significant as the business district most closely associated with one of Portland's earliest planned industrial areas. Swift and Company, a meat-packing company that opened its local operations nearby in 1909, owned a large tract of land in and around the area now designated as the Historic District. Its subsidiary real estate companies created not only industrial and commercial sites, but also a large plat of modest residential lots on which workers at the nearby mills and factories could build homes. This larger historic housing zone is recognized in the designation of the Kenton Conservation District. The Kenton Commercial Historic District is also significant for its prominent use of concrete "cast stone" as both a structural and a finish material.

Zoning: The Storefront Commercial (CS) zone is intended to preserve and enhance older commercial areas that have a storefront character. The zone allows a full range of retail, service, and business uses with a local and regional market area. Development is intended to be pedestrian-oriented and buildings with a storefront character are encouraged.

The design (d) overlay zone promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The historic resource protection overlay zone is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in the region and preserves significant parts of the region's heritage. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region's citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

Land Use History: City records indicate that prior land use reviews include the following:

- **HL 45-89** Approval of a 1989 Historic Landmark Designation.
- **LU 06-172089 HDZ** Historic Design Review approval of storefront remodel and building signage.
- **LU 09-100463 HDZ** - Historic Design Review approval for alterations to a previous approval for storefront remodel.

Agency Review: A "Notice of Proposal in Your Neighborhood" was mailed **July 3, 2017**. The following Bureaus have responded with no issues or concerns:

- Fire Bureau (See Exhibit E-1)
- Life Safety Division of BDS (See Exhibit E-2)
- Site Development Division of BDS (no concerns)

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on July 3, 2017.

One written response has been received from either the Neighborhood Association or notified property owners in response to the proposal.

- Craig Osbeck, adjacent property owner, on July 14, 2017, wrote, expressing continued concern of potential need to update the cement side wall. They asked about the thresholds for when seismic upgrades would be required for this type of building, and stated that they look forward to having this historical building restored. (See Exhibit F-1 for more information).

Staff Response: After checking with a Structural Plans Examiner for more information on any applicable thresholds that would require a seismic upgrade of the this building, Staff confirmed that that this building is not in the unreinforced masonry (URM) database, so there are no monetary triggers that would trigger a seismic upgrade. In addition, the proposal does not include a change in occupancy so that seismic upgrades are not triggered due to occupancy change.

ZONING CODE APPROVAL CRITERIA

I. Chapter 33.846.060 - Historic Resource Review

Purpose of Historic Resource Review

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Resource Review Approval Criteria

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the Kenton Historic District and the proposal is for a non-exempt treatment. Therefore Historic Resource Review approval is required. The approval criteria are those listed in *33.846.060 G – Other Approval Criteria*. Because the site is located within the Design overlay zone, the approval criteria also include the *Community Design Guidelines*.

Staff has considered all guidelines and addressed only those applicable to this proposal.

33.846.060 G - Other Approval Criteria

- 1. Historic character.** The historic character of the property will be retained and preserved. Removal of historic materials or alteration of features and spaces that contribute to the property's historic significance will be avoided.
- 2. Record of its time.** The historic resource will remain a physical record of its time, place, and use. Changes that create a false sense of historic development, such as adding conjectural features or architectural elements from other buildings will be avoided.
- 3. Historic changes.** Most properties change over time. Those changes that have acquired historic significance will be preserved.
- 4. Historic features.** Generally, deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature will match the old in design, color, texture, and other visual qualities and, where practical, in materials. Replacement of missing features must be substantiated by documentary, physical, or pictorial evidence.
- 5. Historic materials.** Historic materials will be protected. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used.

Findings for 1, 2, 3, 4 and 5: The proposed alterations are limited to the building facade along N Denver Avenue. The proposal is to restore the existing intact historic features that remain on the building, remove non-original façade elements (storefront and stucco cladding) that have been added to the resource, and install

new storefront, lighting, and signage that better matches the historic conditions of the resource (as seen in historic photographs). The proposal intends to make the storefront system more compatible with the resource and the district as a whole.

Historically, this façade was composed of a lower section of decorative and structural cast iron columns, infilled with storefront at the ground floor with a brick masonry cladding above. The current condition, proposed to be removed includes a stucco system with aluminum storefront and an angled recessed condition at the northernmost entry. Of the original/historic material at the ground floor, (5) five cast iron columns remain and are proposed to be restored. The alterations at this level also include the installation of wooden bulkhead on a concrete curb and all-wood fixed windows with transoms windows and framed wood infill panels above. The proposal also includes two (2) projecting blade signs with steel brackets and metal plate sign panel located within the transom band, and (5) gooseneck light fixtures above the transom windows. The existing brickwork on the second level will be preserved and the existing metal cornice that is in disrepair is proposed to be replaced with a new sheet metal cornice to match the existing/original condition.

The configuration of the southernmost entry (to a single retail space and to the apartments above) will remain the same while the angled condition of the northernmost entry is proposed to be reconfigured. The proposed design of for the northernmost entry will require a Modification to the Required Building Lines Zero Setback standard of the Kenton Plan District (PZC, Section 33.538.230.C.1) and is discussed in Section II, Modifications Considered During Historic Resource Review, below.

The proposal will preserve and enhance the original style and historic character of the 1911 Bingham Building. The restoration of the historic cast iron columns and the installation of wood storefront, large transoms, and infill paneling enhance the commercial streetcar era façade. The building lights and blade signs complement the historic styles on adjacent buildings and are common elements within the district. There are no alterations to the building that have acquired historic significance and the applicant has stated that sandblasting and harsh chemicals will not be used in the restoration work. *These criteria are therefore met.*

- 6. Archaeological resources.** Significant archaeological resources affected by a proposal will be protected and preserved to the extent practical. When such resources are disturbed, mitigation measures will be undertaken.

Findings: There are no significant archeological resources associated with this proposal. *This criterion does not therefore apply.*

- 7. Differentiate new from old.** New additions, exterior alterations, or related new construction will not destroy historic materials that characterize a property. New work will be differentiated from the old.
- 8. Architectural compatibility.** New additions, exterior alterations, or related new construction will be compatible with the resource's massing, size, scale, and architectural features. When retrofitting buildings or sites to improve accessibility for persons with disabilities, design solutions will not compromise the architectural integrity of the historic resource.
- 9. Preserve the form and integrity of historic resources.** New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic resource and its environment would be unimpaired.
- 10. Hierarchy of compatibility.** Exterior alterations and additions will be designed to be compatible primarily with the original resource, secondarily with adjacent properties, and finally, if located within a Historic or Conservation District, with the rest of the district. Where practical, compatibility will be pursued on all three levels.

Findings for 7, 8, 9, and 10: The proposed alterations to retain and restore historic materials and replace non-original storefront and stucco cladding will not destroy historic materials that characterize the property and will not negatively impact the historic integrity of the resource. The new infill storefront system consists of a wooden bulkhead on a concrete curb and all-wood fixed windows with transoms windows and framed wood infill panels above. This new system will be installed as infill within the building’s core structural system (within the existing/original cast iron columns, which will remain). Any portion of this infilled storefront facade could be modified over time without risk of damage to the resource’s historical features. The storefront systems, the two (2) blade signs, and the gooseneck lighting fixtures will be differentiated by the use of contemporary products and construction methods.

The proposed exterior alterations will be compatible with the massing, scale, and architectural features of the Bingham Building. The new storefront and transom windows will reinforce the streetcar era character of the existing building and provide a visual connection into tenant spaces. The existing/original exposed cast-iron columns proposed to be restored will anchor the N. Denver Avenue façade. The new sheet metal cornice that matches the profile of the cornice will also strengthen the building. The proposal also includes two (2) projecting blade signs with steel brackets and metal plate sign panel located within the transom band, and (5) gooseneck light fixtures above the transom windows. These elements are in keeping with examples seen elsewhere in the District and are appropriately placed on the façade. Containing electrical conduit inside the building, rather than allowing it to be routed along the exterior of the building, helps protect the architectural integrity of the resource. To ensure that the resource is protected, Staff has added a condition of approval. *With a Condition of Approval that all electrical conduit associated with the proposed lighting shall be located inside the building, these criteria are met.*

II. 33.846.070 Modifications Considered During Historic Resource Review

The review body may consider modification of site-related development standards, including the sign standards of Chapters 32.32 and 32.34 of the Sign Code, as part of the historic resource review process. These modifications are done as part of historic resource review and are not required to go through the adjustment process. Adjustments to use-related development standards (such as floor area ratios, intensity of use, size of the use, number of units, or concentration of uses) are required to go through the adjustment process. Modifications that are denied through historic resource review may be requested as an adjustment through the adjustment process. The review body will approve requested modifications if it finds that the applicant has shown that the following approval criteria are met:

- A. **Better meets historic resource review approval criteria.** The resulting development will better meet the approval criteria for historic resource review than would a design that meets the standard being modified; and
- B. **Purpose of the standard.**
 1. The resulting development will meet the purpose of the standard being modified; or
 2. The preservation of the character of the historic resource is more important than meeting the purpose of the standard for which a modification has been requested.

Modification #1: Zero Setback Standard listed in PZC, Section 33.538.230.C.1 – Increase the amount of building frontage that is allowed to be set back by up to 10 feet from the street lot line from the allowed 10 feet of the building length to approximately 18’-6”.

Purpose Statement: The Required Building Lines standards of the Kenton Plan District are intended to ensure a lively and attractive pedestrian environment with buildings that are compatible with the historic storefront buildings. They ensure that ground level uses are near the sidewalk.

Standard: 33.538.230.C.1 Zero Setback Standard. On frontages designated for the zero setback standard, buildings must extend to the street lot line for the entire lot frontage except that up to 10 feet of the length of the building may be set back up to 10 feet from the street lot line to accommodate the main entrance.

- A. Better meets historic resource review approval criteria.** The resulting development will better meet the approval criteria for historic resource review than would a design that meets the standard being modified; and

Findings: The modification to increase the amount of building frontage that is allowed to be set back up to 10 feet from the street lot line better meets historic resource review approval criteria #1, 2, 4, 5, and 9 that speak to retaining historic character and materials, and allowing a resource to remain as physical record of its time, place, and use. Evidence has been provided, in the form of historic photographs of the front façade, and that entry tile is stated to remain inside the building, that supports the claim that the Bingham Building originally had two recessed entries within the ground floor storefront along North Denver Street. In addition, existing/original cast iron columns flanking the second entry to the north, that were previously concealed and have been recovered in-place, are proposed to be restored.

- B. Purpose of the standard.** The resulting development will meet the purpose of the standard being modified or the preservation of the character of the historic resource is more important than meeting the purpose of the standard for which a modification has been requested.

Findings: The proposal to remove previously altered storefront and to recreate the historic storefront condition, which had two recessed entries, meets the purpose of the standard being modified, which is to ensure buildings are compatible with historic storefront buildings.

The proposal better meets the approval criteria in that bringing back the second (northern most entry) to a configuration similar to the one shown in historic photographs speaks to restoring missing historic features, helping the resource remain a record of its time, and promotes the repair of existing/historic elements that remain. The proposal also meets the purpose of the standard being modified which is to ensure a lively and attractive pedestrian environment with buildings that are compatible with the historic storefront buildings. *Therefore this Modification warrants approval.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The proposed exterior alterations will be compatible with the massing, scale, and architectural features of the Bingham Building. The new storefront and transom windows will reinforce the streetcar era character of the existing building and provide a visual connection into tenant spaces. The existing/original exposed cast-iron columns, proposed to be restored, will anchor the reconfigured entry on the N. Denver Avenue façade. The new sheet metal cornice that matches the profile of the cornice will also strengthen the building. The new signage and lighting are in keeping with examples seen elsewhere in the District, and are appropriately placed on the façade. Staff has added one condition of approval for containing electrical conduit inside the building to ensure that the proposal is compatible with the resource itself and the

District as a whole. The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal, with the added conditions, meets the applicable Historic Resource Review approval criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of alterations to a contributing resource in the Kenton Commercial Historic District, to include:

- Removal of non-original storefront and stucco cladding;
- Restoration of (5) existing/original cast iron columns;
- Replacement of the existing cornice with a sheet metal cornice to match;
- Installation of wooden bulkhead on a concrete curb, all-wood storefront with transoms windows and framed wood infill panels above; and
- Installation of two (2) blade signs and (5) gooseneck lighting fixtures.

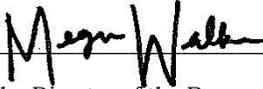
Approval of the following Modification:

1. 33.538.230.C.1 Zero Setback Standard – to increase the amount of building frontage that is allowed to be set back by up to 10 feet from the street lot line from the allowed 10 feet of the building length to approximately 18'-6".

Approved per signed Exhibits C-1 through C-7, signed and dated August 9, 2017, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through D) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 17-117476 HRM." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.
- D. All electrical conduit associated with the proposed lighting shall be located inside the building.

Staff Planner: Megan Sita Walker

Decision rendered by:  **on August 9, 2017**

By authority of the Director of the Bureau of Development Services

Decision mailed: August 14, 2017

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on February 7, 2017, and was determined to be complete on June 27, 2017.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on February 7, 2017.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: October 25, 2017.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on August 28, 2017** at 1900 SW Fourth Ave. Appeals can be filed at the 5th floor reception desk of 1900 SW 4th Avenue Monday through Friday between 8:00 am and 4:30 pm. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that

issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **August 29, 2017** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

A. Applicant's Statement

1. Original Project Description & Response to Approval Criteria
2. Revised Project Description & Response to Approval Criteria
3. Original Drawing Set
4. Revised Drawing Set, Rec'd 03/30/2017 – Not Approved/ For reference only
5. Revised Drawing Set, Rec'd 05/30/2017 – Not Approved/ For reference only
6. Site Photos
7. Photos of Adjacent Historic Buildings
8. Elevation form Previous Land Use Review (LU 09-100463 HDZ)
9. Proposed Visualization

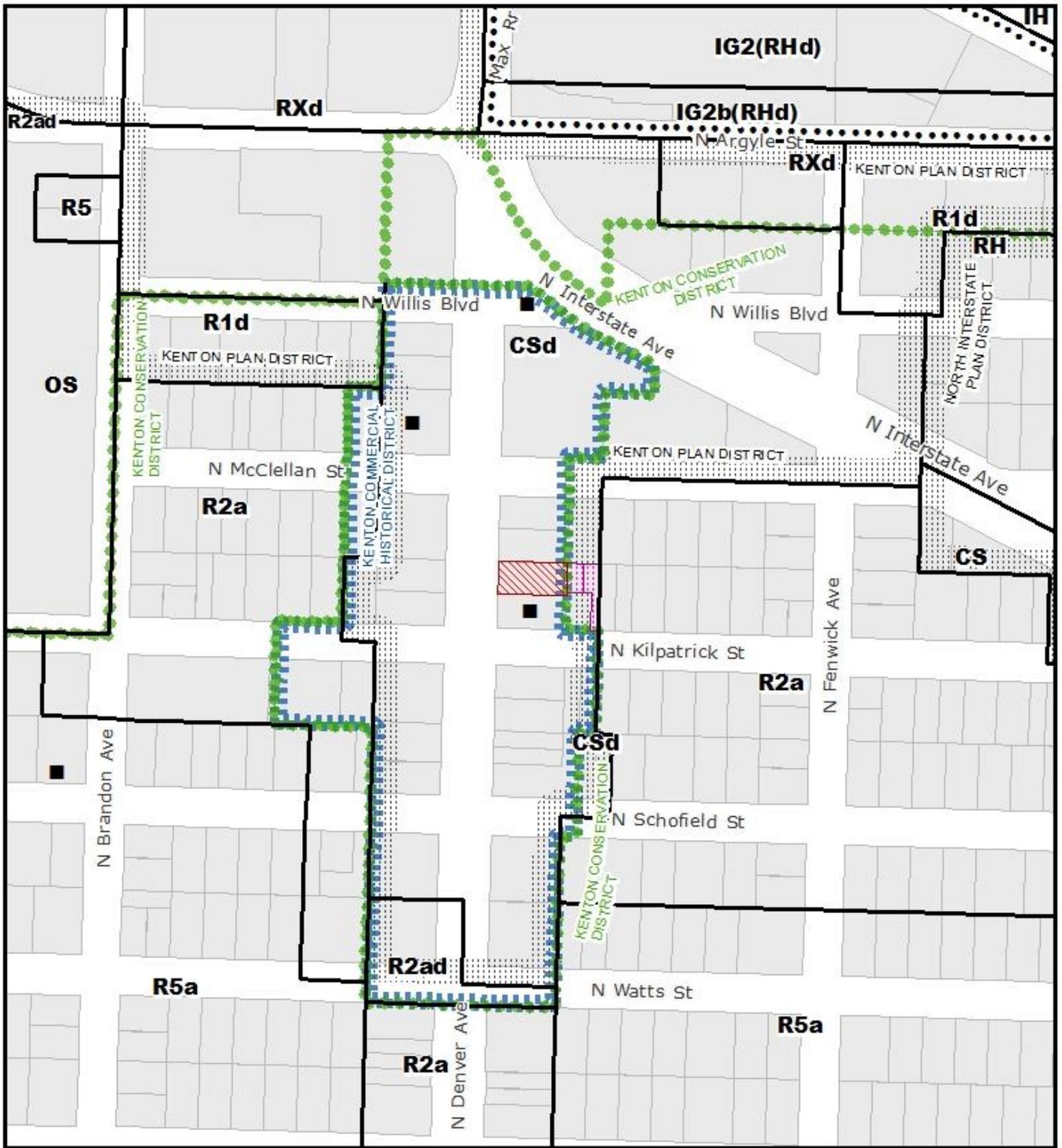
B. Zoning Map (attached)

C. Plans/Drawings:

1. Cover Sheet
2. Site Plan (attached)
3. Proposed West Elevation
4. Enlarged West Elevation & Partial Plan
5. Details Packet
6. Sign Bracket Specifications

- 7. Light Fixture Specifications
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Fire Bureau
 - 2. Life safety Division of BDS
- F. Correspondence:
 - 1. Craig Osbeck, adjacent property owner, wrote in on July 14, 2017 with concerns and questions about seismic upgrade requirements, and was generally supportive of the renovation.
- G. Other:
 - 1. Original LU Application
 - 2. Incomplete Letter
 - 3. Historic Photo

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



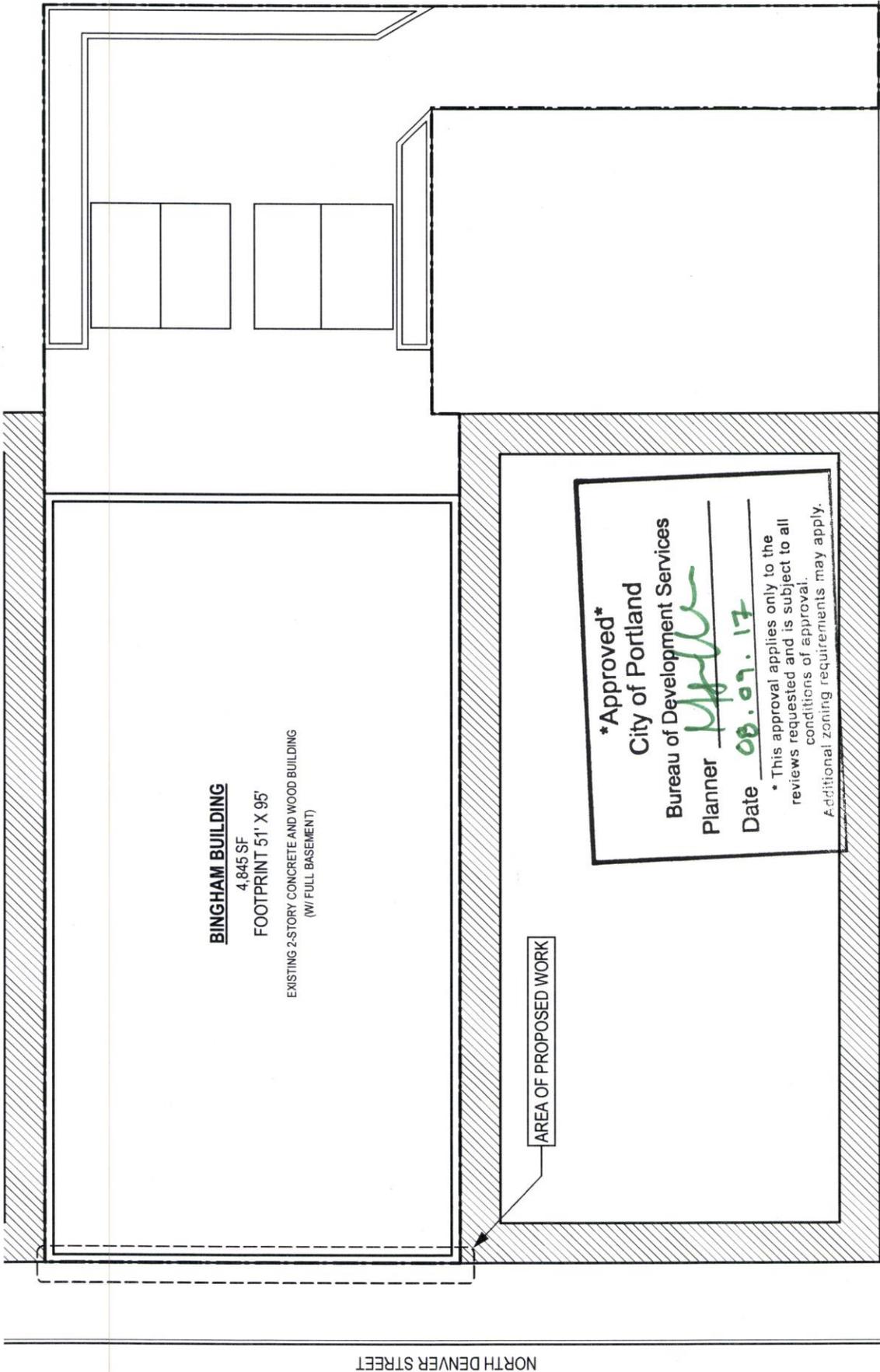
ZONING



THIS SITE LIES WITHIN THE:
 KENTON PLAN DISTRICT
 KENTON COMMERCIAL HISTORIC DISTRICT

- Site
- Also Owned Parcels
- Historic Landmark

File No.	LU 17-117476 HRM
1/4 Section	2228
Scale	1 inch = 200 feet
State ID	1N1E09DA 5000
Exhibit	B Jun 26, 2017



BINGHAM BUILDING
 4,845 SF
 FOOTPRINT 51' X 95'
 EXISTING 2-STORY CONCRETE AND WOOD BUILDING
 (W/ FULL BASEMENT)

AREA OF PROPOSED WORK

Approved
 City of Portland
 Bureau of Development Services
 Planner *[Signature]*
 Date *08.09.17*

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

1
SITE PLAN
 Scale: 1/16" = 1'-0"

NORTH KILPATRICK STREET



LU 17-117-476 HRM EXIT C-2