



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
**FROM CONCEPT TO CONSTRUCTION**

Chloe Eudaly, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7300  
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TTY: (503) 823-6868  
[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** March 14, 2018  
**To:** Interested Person  
**From:** Emily Hays, Land Use Services  
503-823-5676 / [Emily.Hays@portlandoregon.gov](mailto:Emily.Hays@portlandoregon.gov)

## **NOTICE OF A TYPE Ix PROPOSAL IN YOUR NEIGHBORHOOD**

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 45 days, **we need to receive your written comments by 5 p.m. on April 13, 2018**. Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 18-129377 HR, in your letter. It also is helpful to address your letter to me, Emily Hays. You can also e-mail your comments to me at my e-mail address identified above.

### **CASE FILE NUMBER: LU 18-129377 HR – TENANT SIGNAGE**

**Applicant:** Justin Kaye | Sign Wizards  
1111 SE Grand Avenue  
Portland, OR 97214  
[justin@signwizards.com](mailto:justin@signwizards.com)

**Owner:** Revp 23 LLC  
9730 Wilshire Boulevard, Suite 101  
Beverly Hills, CA 90212

**Tenant:** David Whitehouse | Sloan Boutique  
735 NW 23rd Avenue  
Portland OR 97210

**Site Address:** **733 NW 23<sup>rd</sup> Avenue**

**Legal Description:** BLOCK 7 LOT 1, KINGS 2ND ADD  
**Tax Account No.:** R452301100  
**State ID No.:** 1N1E33BC 07200  
**Quarter Section:** 2927

**Neighborhood:** Northwest District, contact John Bradley at 503-313-7574.  
**Business District:** Nob Hill, contact Nob Hill at [nobhillportland@gmail.com](mailto:nobhillportland@gmail.com).  
**District Coalition:** Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

**Plan District:** Northwest  
**Other Designations:** Non-contributing Resource in the Alphabet Historic District

**Zoning:** CS – Storefront Commercial with Historic Resource Protection Overlay  
**Case Type:** HR – Historic Resource Review  
**Procedure:** Type Ix, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

**Proposal:**

The applicant is seeking Historic Resource Review approval for new tenant signage on a non-contributing building in the Alphabet Historic District. The proposed sign consists of 2” thick aluminum lettering, stud mounted flush to the existing wood siding. The approximately 25 SF sign is 30” at its tallest point and will be illuminated by existing fixtures.

Historic Resource Review is required for new exterior signs in the Alphabet Historic District.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- Community Design Guidelines
- The Historic Alphabet District Community Design Guidelines Addendum

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on March 2, 2018 and determined to be complete on March 12, 2018.

**DECISION MAKING PROCESS**

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and either:

- Approve the proposal.
- Approve the proposal with conditions.
- Deny the proposal.

**We will mail you a copy of our decision only if you comment in writing to us at the City of Portland Bureau of Development Services, 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201.** There will be no public hearing.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. You may also find additional information about the City of Portland and City Bureaus, as well as a digital copy of the Portland Zoning Code, by visiting the City’s homepage on the Internet at [www.portlandonline.com](http://www.portlandonline.com).

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

**APPEAL PROCESS**

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem OR 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues which may provide the basis for an appeal to LUBA must be raised in writing before the deadline for comments, or you may not be able to raise that issue in an appeal. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

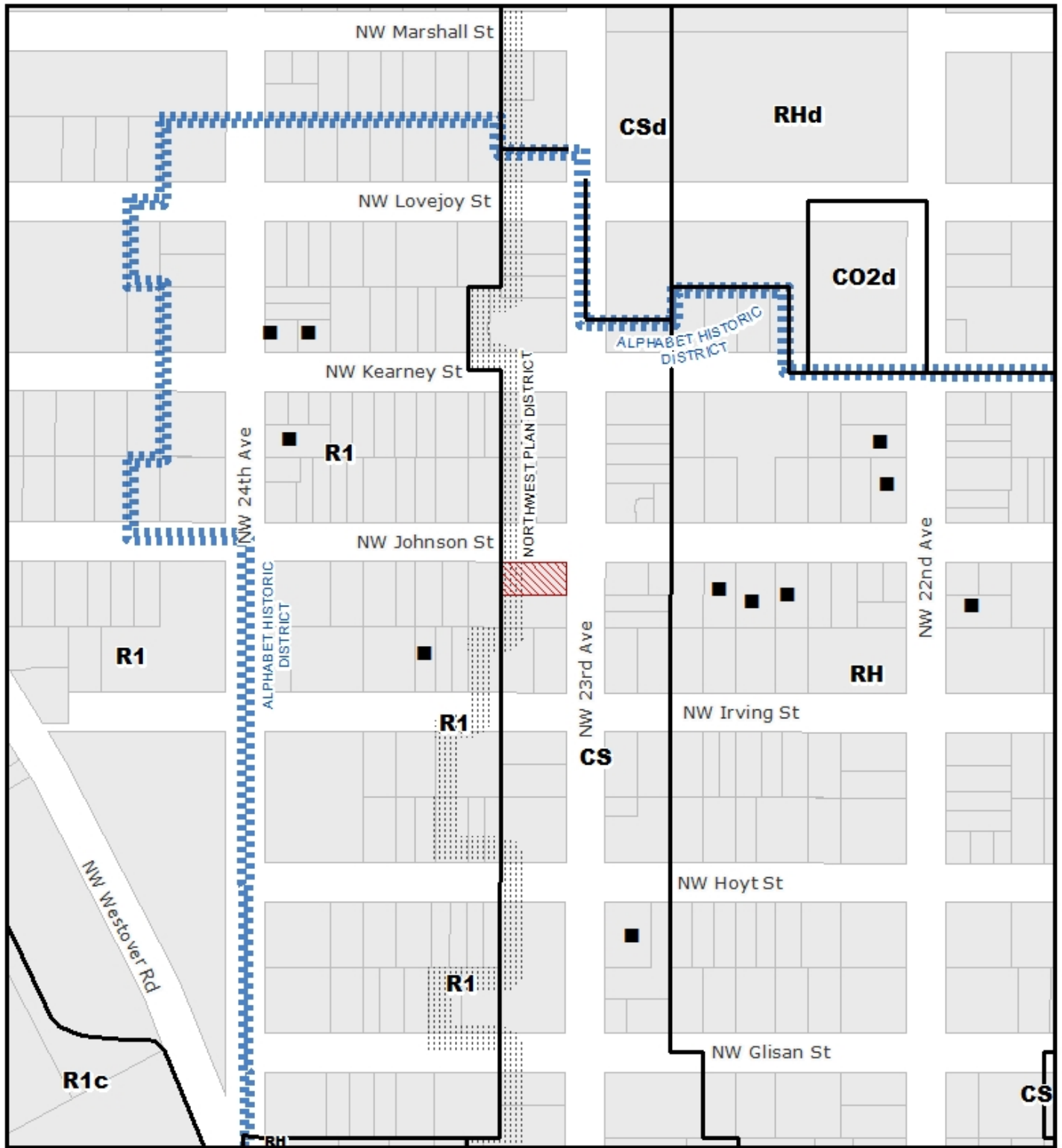
**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**

**Enclosures:**

Zoning Map

Site Plan

East Elevation



# ZONING



THIS SITE LIES WITHIN THE:  
 NORTHWEST PLAN DISTRICT  
 ALPHABET HISTORIC DISTRICT



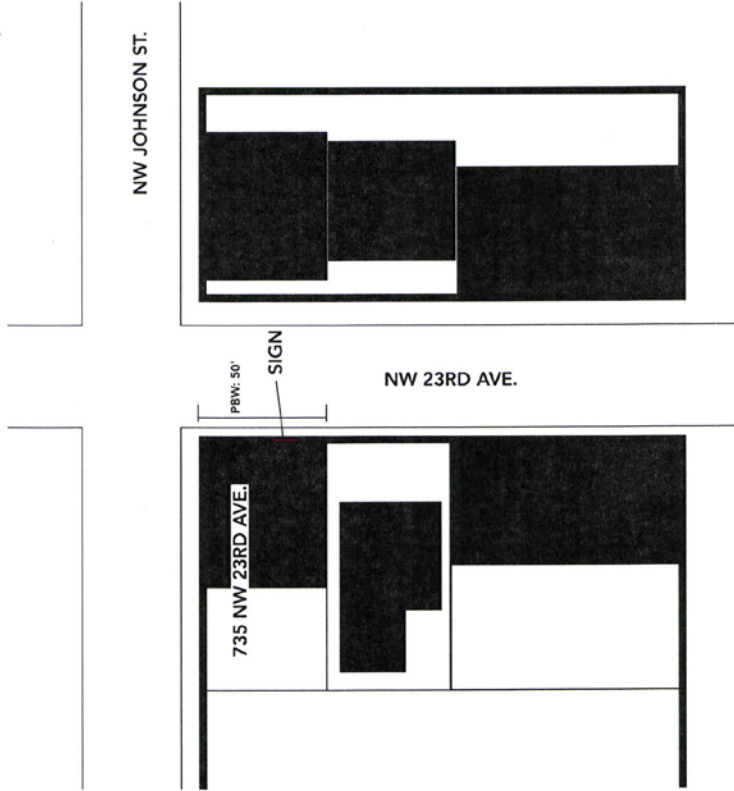
Site



Historic Landmark

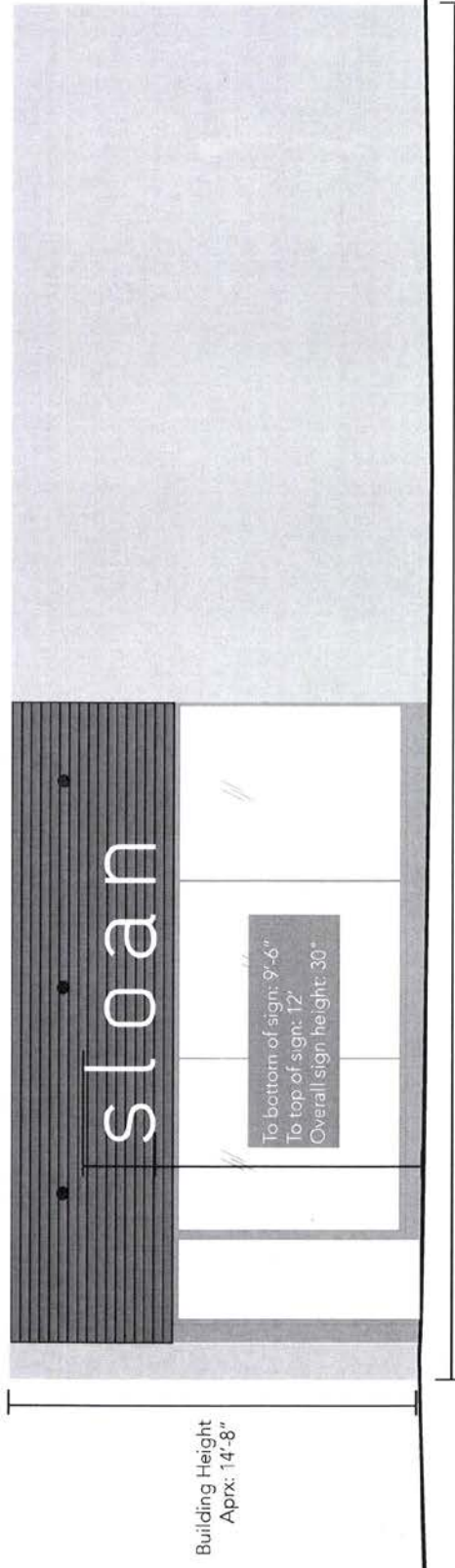
File No.	LU 18-129377 HR
1/4 Section	2927
Scale	1 inch = 200 feet
State ID	1N1E33BC 7200
Exhibit	B Mar 07, 2018

SIGNAGE LOCATION



4118-129379 HR

<p><b>SIGN WIZARDS</b> 11111 NW 111th St Miami, FL 33178 503-235-6967 www.signwizards.com JUSTIN WIZARD</p> <p><b>PLEASE REVIEW CAREFULLY:</b> This document is the property of Sign Wizards and is intended for the use of the client. It is not to be reproduced, distributed, or used for any other purpose without the written consent of Sign Wizards. All rights reserved.</p> <p>Call your project representative Justin: 503-235-6967 justin@signwizards.com</p>	<p>Page 4 Version 2</p>	<p>All designs are copyright © to Sign Wizards, 2017.</p>
<p>DATE: 12/15/2017</p>	<p>Page 4 Version 2</p>	<p>SLOAN: Exterior Sign - Site Plan</p>



Building Height  
Aprx: 14'-8"

Primary Building Wall: 50'

East Elevation

LU18-129379HR

<p><b>SIGN WIZARDS</b>            503-235-6967          1111 W. 10th St.          Portland, OR 97214          USA          Cell: 503-235-6967          Fax: 503-235-6967          Email: Justin@signwizards.com</p>	<p><b>PLEASE REVIEW CAREFULLY</b>          This drawing is for informational purposes only. It is not intended for construction. Approval of all message content, spelling, quantities and sizes. Failure to review this drawing may result in a delay of project development, fabrication or installation.          Cell: 503-235-6967          Fax: 503-235-6967          Email: Justin@signwizards.com</p>	<p>All designs are copyright © to Sign Wizards 2017.</p>	<p>Page 3 Version 2</p>	<p>DATE: 12/15/2017</p>
<p>SLOAN: Exterior Sign - Elevations</p>				