



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7300  
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[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** March 19, 2018  
**To:** Interested Person  
**From:** David Besley, Land Use Services  
503-823-7282 / [David.Besley@portlandoregon.gov](mailto:David.Besley@portlandoregon.gov)

## **NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

### **CASE FILE NUMBER: LU 17-274361 AD**

#### **GENERAL INFORMATION**

**Applicant:** Erik Matthews | Em Architecture LLC  
2712 SE 47th Ave | Portland, OR 97206

**Owner:** Alexandra B Degher  
937 NW Glisan St #1234 | Portland, OR 97209-3266

**Site Address:** 5835 N Detroit Avenue

**Legal Description:** BLOCK 4 LOT 9, PARK ADD TO ALBINA  
**Tax Account No.:** R644300580  
**State ID No.:** 1N1E16DC 02701  
**Quarter Section:** 2428

**Neighborhood:** Overlook NA, contact [landuse@overlookneighborhood.org](mailto:landuse@overlookneighborhood.org).  
**Business District:** None  
**District Coalition:** North Portland Neighborhood Services, contact Mary Jaron Kelley at 503-823-4099

**Plan District:** Albina Community  
**Zoning:** R5 (Single-Dwelling Residential 5,000)  
**Case Type:** AD (Adjustment Review - 3 concurrent Adjustments)  
**Procedure:** Type II, an administrative decision with appeal to the Adjustment Committee

**Proposal:**  
The applicant is building a new 3-story, approximately 2,800 square foot residence (including an attached 511 square foot Accessory Dwelling Unit and a 500 square foot attached garage) on a vacant site. The site is a through lot because it has a right-of-way to the west (N Gay Avenue) and to the east (N Detroit Avenue), which means street-facing requirements apply to both east and west lot lines.

The Portland Zoning Code requires that structures be set back a minimum of 10 feet from the front lot line in this zone (Section 33.110.220; Table 110-3). Additionally, garage entrances must be set back a minimum of 18 feet from the front lot line. The proposed attached garage will be 5-feet from the front (west) lot line; therefore, an Adjustment is required for each of these setback reductions. The remainder of the house is proposed to meet setbacks.

The Portland Zoning Code also requires that a street-facing garage wall be no closer to the street than the longest street-facing wall of the dwelling unit (Section 33.110.253.E). The garage will be 5 feet closer to N Gay Avenue than the longest street-facing wall of the dwelling unit; therefore, approval through an additional Adjustment Review is necessary.

To summarize, the applicant is proposing to construct a new three-story house which requires three (3) Adjustments:

1. To reduce the minimum front (west) setback from 10 feet to 5 feet;
2. To reduce the minimum garage entrance (west) setback from 18 feet to 5 feet; and
3. To allow the street facing garage wall to be approximately 5-feet closer to the street than the longest street-facing wall of the house.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33. Adjustment requests will be approved if the review body finds that the applicant has shown that approval criteria A. through F. of Section 33.805.040, Adjustment Approval Criteria, have been met.

## ANALYSIS

**Site and Vicinity:** The 5,000 square-foot, relatively flat, vacant site is bordered by N Detroit Avenue to the east and N Gay Avenue to the west, about 175 feet south of the intersection of N Detroit Avenue and N Ainsworth Street. The site is considered a through lot, which means front and garage entrance setbacks apply to both east and west lot lines. The surrounding vicinity is developed with primarily single-dwelling residences.

**Zoning:** The R5 zone is a single-dwelling zone that is intended to preserve land for housing, and to provide housing opportunities for individual households. Development standards are intended to allow for flexibility of development while maintaining compatibility within the City's various neighborhoods.

**Land Use History:** City records indicate there are no prior land use reviews for this site.

**Agency Review:** A "Notice of Proposal in Your Neighborhood" was mailed **February 5, 2018**. The following Bureaus have responded with the following information:

- The Life Safety section of the Bureau of Development Services (BDS) responded with no concerns and included Building Code information (Exhibit E-1);
- The Bureau of Environmental Services responded with no concerns and noted that sewer system development charges and connection fees are assessed at the time of building plan review and change every year on July 1<sup>st</sup>. Building plans for this project must include a detailed site utility plan which shows proposed and existing sanitary connections, as well as stormwater management that meets the requirements of the version of the Stormwater Management Manual that is in effect at the time permit applications are submitted (Exhibit E-2);
- The Fire Bureau responded with information about the Fire Code requirements (Exhibit E-3);
- The Portland Bureau of Transportation (PBOT) responded with no concerns and included information about street classification and Title 17 requirements (Exhibit E-4).

The following Bureaus have responded with no concerns (Exhibit E-5):

- The Water Bureau;
- The Fire Bureau;

- The Site Development Section of BDS.

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on February 5, 2018. Two written responses in opposition to the proposal have been received by notified property owners. The first letter (Exhibit F-1), from a neighboring property directly across the street to the west (5905 N Gay Avenue), had concerns that the narrow confines of N Gay Avenue create maneuvering difficulties for vehicles parking in driveways, and having a new garage entrance so close to the street will end up causing even more difficulties with parking. The second letter (Exhibit F-2) noted several concerns, summarized as follows:

- The proposal violates the scale and placement of the structures on this street and creates a compacted relationship between the residences on Gay Avenue, which is already a narrow street.
- The proposed location of the garage is inconsistent with the neighborhood development.
- This would infringe on privacy of neighbors visually and create noise impacts due to the garage location.
- No hardship is demonstrated and there is plenty of room on the site to meet the development standards.
- The proposed garage proximity to the street creates a safety hazard because of reduced driver visibility and no sidewalk buffer.
- The proposal makes the garage the prominent entrance and obscures the main pedestrian entrance from the street, detracting from the walkability of the neighborhood and favoring car-centered development.

The applicant submitted signatures from 10 neighbors in support of the proposed Adjustments (Exhibit A)

**Staff Response:** Demonstrating hardships is not a requirement for Adjustment requests. Relevant concerns are addressed in the Zoning Code Approval Criteria findings below.

## ZONING CODE APPROVAL CRITERIA

### 33.805.040 Approval Criteria

Adjustment requests will be approved if the review body finds that the applicant has shown that approval criteria A. through F. below have been met.

- A.** Granting the adjustment will equally or better meet the purpose of the regulation to be modified; and

**Findings:** The applicant has requested 3 Adjustments to construct a new three-story house in the front and garage entrance setbacks and with a street facing garage wall proposed 5-feet closer to the street than the longest street-facing wall of the house. The relevant purpose statements and associated findings are found below:

#### **33.110.220 Setbacks**

*The setback regulations for buildings and garage entrances serve several purposes:*

- *They maintain light, air, separation for fire protection, and access for fire fighting;*
- *They reflect the general building scale and placement of houses in the city's neighborhoods;*
- *They promote a reasonable physical relationship between residences;*
- *They promote options for privacy for neighboring properties;*
- *They require larger front setbacks than side and rear setbacks to promote open, visually pleasing front yards;*
- *They provide adequate flexibility to site a building so that it may be compatible with the neighborhood, fit the topography of the site, allow for required outdoor areas, and allow for architectural diversity; and*
- *They provide room for a car to park in front of a garage door without overhanging the street or sidewalk, and they enhance driver visibility when backing onto the street.*

The proposed development involves constructing a new 3-story, approximately 2,800 square foot residence (including an attached 511 square foot Accessory Dwelling Unit and a 500 square-foot attached garage). The site is a through lot because it has a right-of-way to the west (N Gay Avenue) and to the east (N Detroit Avenue), which means street-facing requirements apply to both east and west lot lines.

North Detroit Avenue is a wider right-of-way (approximately 90 feet) and N Gay Avenue is a narrower right-of-way (approximately 40 feet). Most of lots between these two streets have their main entrance orientation toward N Detroit Avenue to the east and back yards oriented toward N Gay Avenue. Many of the surrounding properties in this area, including the adjacent properties to the north and south, have detached accessory structures built within the front (west) setbacks. Some of these structures have been built right up against the property lines. At least two of the detached accessory structures on this block (between N Jessup Street and N Ainsworth Street) are garages, which were built within front and garage entrance (west/N Gay Avenue facing) setbacks. The block to the north (between N Ainsworth Street and N Holman Street) has 4 detached garages built within front and garage entrance (west/N Gay Avenue facing) setbacks. In this sense, N Gay Avenue appears and functions as an alley for these through lots.

While the garage for the proposed new development is attached, and the examples above are detached, the appearance of a one-car garage in the front and garage entrance (west/N Gay Avenue facing) setbacks is consistent with the development patterns in this neighborhood and therefore compatible; furthermore, the remainder of the house meets the 10-foot front setback requirements.

Because the garage has a flat roof and a relatively low height of approximately 11 feet, light and air will be maintained. The garage doors will have windows only along the top edge, with a height starting at approximately 5.5 feet, and facing the street rather than neighboring properties, so there will be no additional impacts to privacy. There are no reductions proposed to side setbacks, so there will continue to be a reasonable physical relationship between residences.

The Fire Bureau has reviewed the request for reduced setbacks, and offered no concerns with regards to separation for fire protection, or access for fire fighting. The Portland Bureau of Transportation has no objections to the proposed Adjustments, noting the proposed setback does not provide sufficient space for a car to park in front of the garage (Exhibit E-4). Additionally, no sidewalk is required at this location. Because there is not sufficient space for a car to park in front of the garage, there will be no cars allowed to park here, thus cars will not overhang into the street or sidewalk.

*With regards to the 2 setback Adjustments, this criterion is met.*

One additional Adjustment is requested to allow the street facing garage wall to be closer to the street than the longest street-facing wall of the house. The relevant purpose statement for these garage Adjustments are found below:

### **33.110.253 Garages**

#### *A. These standards:*

- *Together with the window and main entrance standards, ensure that there is a physical and visual connection between the living area of the residence and the street;*
- *Ensure that the location and amount of the living area of the residence, as seen from the street, is more prominent than the garage;*
- *Prevent garages from obscuring the main entrance from the street and ensure that the main entrance for pedestrians, rather than automobiles, is the prominent entrance;*
- *Provide for a more pleasant pedestrian environment by preventing garages and vehicle areas from dominating the views of the neighborhood from the sidewalk; and*

- *Enhance public safety by preventing garages from blocking views of the street from inside the residence.*

The street-facing garage wall is proposed to be approximately 5-feet closer to the street than the longest street-facing wall of the house. This is a relatively minor protrusion. Furthermore, the garage wall will make up less than 20 percent of the western façade of the three-story house, so the house façade, as seen from the street, is much more prominent than the garage.

A physical and visual connection between the living area of the residence and the street is created with numerous large windows, a prominent main entryway, and a sliding glass door on the western/street facing façade. The applicant has proposed total window and door area of 22.7 percent, which exceeds the minimum 15 percent requirement. The main entrance to the house will not be obscured by the garage, despite the garage being 5 feet closer to the street than the rest of the house, because it is emphasized by including a covered awning, a clearly labeled address, and an open wall along the north edge of the entry way which provides a change in materiality/texture and appearance.

The applicant is also proposing to install a garage with windows along the top of the garage door. This will help reduce visual prominence of the garage by providing additional window area and visual interest. Fencing is proposed to be only 3.5 feet tall and partially open, and will not block the main entrance. Many of the surrounding through-lots have tall fences that block views of the street.

As noted above, many of the surrounding properties in this area have detached garages built within the front (west) setbacks, which are also closer to the street than the longest street-facing walls of houses so, at least in terms of appearance, this development will be compatible with development patterns in this neighborhood.

*With regards to the garage Adjustments, this criterion is met.*

- B.** If in a residential zone, the proposal will not significantly detract from the livability or appearance of the residential area, or if in an OS, C, E, or I zone, the proposal will be consistent with the classifications of the adjacent streets and the desired character of the area; and

**Findings:** As noted above, surrounding properties in the area have detached accessory structures, including garages, that have been built into required front (west/N Gay Avenue facing) setbacks. This development is therefore compatible with development patterns in this neighborhood. The applicant is also proposing to install a garage with windows along the top of the garage door. This will help reduce visual prominence of the garage by providing additional window area and visual interest. The proposal will not significantly detract from the livability or appearance of the residential area.

***For these reasons, this criterion is met.***

- C.** If more than one adjustment is being requested, the cumulative effect of the adjustments results in a project which is still consistent with the overall purpose of the zone; and

**Findings:** The overall purpose of the R5 zone is to preserve land for housing, and to provide housing opportunities for individual households. Garages are allowed in residential zones and the proposed garage will support the residential use. Development standards in single-dwelling zones work together to promote desirable residential areas by addressing aesthetically pleasing environments, safety, privacy, energy conservation, and recreational opportunities. Based on the findings included in response to approval criteria A and B above, the project is consistent with the overall purpose of the zone.

***This criterion is met.***

**D.** City-designated scenic resources and historic resources are preserved;

**Findings:** City designated scenic resources are identified on the Official Zoning Map with a lower case “s” and historic resources are designated by a large dot or as being within the boundaries of a Historic or Conservation district. There are no such resources present on the site; therefore, this criterion is not applicable.

**E.** Any impacts resulting from the adjustment are mitigated to the extent practical; and

**Findings:** As noted above, the applicant has proposed total window and door area of 22.7 percent, which exceeds the required 15 percent and helps mitigate for the garage wall being closer to the street than the longest street-facing wall of the house. The applicant is also proposing to install a garage with windows along the top of the garage door which will help reduce visual prominence of the garage by providing additional visual interest. Impacts resulting from the Adjustments are therefore mitigated to the extent practical. Furthermore, the garage placement is consistent with the development pattern in the neighborhood.

***This criterion is met.***

**F.** If in an environmental zone, the proposal has as few significant detrimental environmental impacts on the resource and resource values as is practicable;

**Findings:** Environmental overlay zones are designated on the Official Zoning Map with either a lowercase “p” (Environmental Protection overlay zone) or a “c” (Environmental Conservation overlay zone). No environmental zoning is applied to the site; therefore, this criterion is not applicable.

## DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## CONCLUSIONS

The applicant is proposing to construct a new three-story house with an attached garage that will be 5-feet from the front (west) lot line. The remainder of the house is proposed to meet setbacks. Three (3) Adjustments are requested:

1. To reduce the minimum front (west) setback from 10 feet to 5 feet;
2. To reduce the minimum garage entrance (west) setback from 18 feet to 5 feet; and
3. To allow the street facing garage wall to be approximately 5-feet closer to the street than the longest street-facing wall of the house.

Many of the surrounding properties in this area have detached accessory structures – including garages – built within front and garage entrance (west/N Gay Avenue facing) setbacks. In this sense, N Gay Avenue appears and functions as an alley for these through lots. While the garage for the proposed new development is attached, and nearby examples are detached, the appearance of a one-car garage in the front and garage entrance setbacks is consistent with the development patterns in this neighborhood and therefore compatible. Because the garage has a flat roof and a relatively low height of approximately 11 feet, light and air will be maintained. The garage doors will have windows only along the top edge, with a height starting at approximately 5.5 feet, and facing the street rather than neighboring properties, so there will be no additional impacts to privacy.

The garage wall will make up less than 20 percent of the western façade of the three-story house, so the house façade, as seen from the street, is much more prominent than the garage. A physical and visual connection between the living area of the residence and the street is created with numerous large windows, a prominent main entryway, and a sliding glass door on the western/street facing façade. The applicant has proposed total window and door area of 22.7 percent, which exceeds the minimum 15 percent requirement. The main entrance to the house will not be obscured by the garage, despite the garage being 5 feet closer to the street than the rest of the house, because it is emphasized by including a covered awning, a clearly labeled address, and an open wall along the north edge of the entry way which provides a change in materiality/texture and appearance. The windows proposed along the top of the garage door will help reduce visual prominence of the garage by providing additional window area and visual interest.

The proposal meets the applicable approval criteria and should therefore be approved.

### ADMINISTRATIVE DECISION

Approval of three (3) Adjustments:

1. To reduce the minimum front (west) setback from 10 feet to 5 feet (Section 33.110.220; Table 110-3);
2. To reduce the minimum garage entrance (west) setback from 18 feet to 5 feet (Section 33.110.220; Table 110-3); and
3. To allow the street facing garage wall to be approximately 5-feet closer to the street than the longest street-facing wall of the house (Section 33.110.253)

to build a new residence and attached garage, per the approved site plans and elevations, Exhibits C-1 through C-3, signed and dated March 9, 2018, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.3. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 17-274361 AD. No field changes allowed."

**Staff Planner: David Besley**



**Decision rendered by:** \_\_\_\_\_ **on March 9, 2018.**

By authority of the Director of the Bureau of Development Services

**Decision mailed: March 19, 2018**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on November 22, 2017, and was determined to be complete on January 31, 2018.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on November 22, 2017.

*ORS 227.178* states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or

extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: May 31, 2018.**

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed to the Adjustment Committee, which will hold a public hearing. Appeals must be filed **by 4:30 PM on April 2, 2018** at 1900 SW Fourth Ave. Appeals can be filed at the 5<sup>th</sup> floor reception desk of 1900 SW 4<sup>th</sup> Avenue Monday through Friday between 8:00 am and 4:30 pm. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Adjustment Committee is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Adjustment Committee an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Recording the final decision.**

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **April 2, 2018** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

#### **EXHIBITS**

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
  - 1. Site Plan (attached)
  - 2. Elevation Drawing – South façade (attached)
  - 3. Elevation Drawing – West façade (attached)
  - 4. Elevation Drawing – North façade
  - 5. Elevation Drawing – East façade
- D. Notification information:
  - 1. Mailing list
  - 2. Mailed notice
- E. Agency Responses:
  - 1. The Life Safety section of BDS
  - 2. Bureau of Environmental Services
  - 3. The Fire Bureau
  - 4. Bureau of Transportation Engineering and Development Review
  - 5. Agencies responding with “no concerns”
- F. Correspondence:
  - 1. Susan K Pelham and Joan G Wood, February 11, 2018, letter in opposition to Adjustment
  - 2. Jules Hartzell, February 5, 2018, letter in opposition to Adjustment
- G. Other:
  - 1. Original LU Application Form and Receipt
  - 2. Incomplete letter from staff to applicant, sent December 13, 2017

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**



# ZONING



THIS SITE LIES WITHIN THE:  
ALBINA COMMUNITY PLAN DISTRICT



Site



Also Owned Parcels

File No. LU 17-274361 AD

1/4 Section 2428

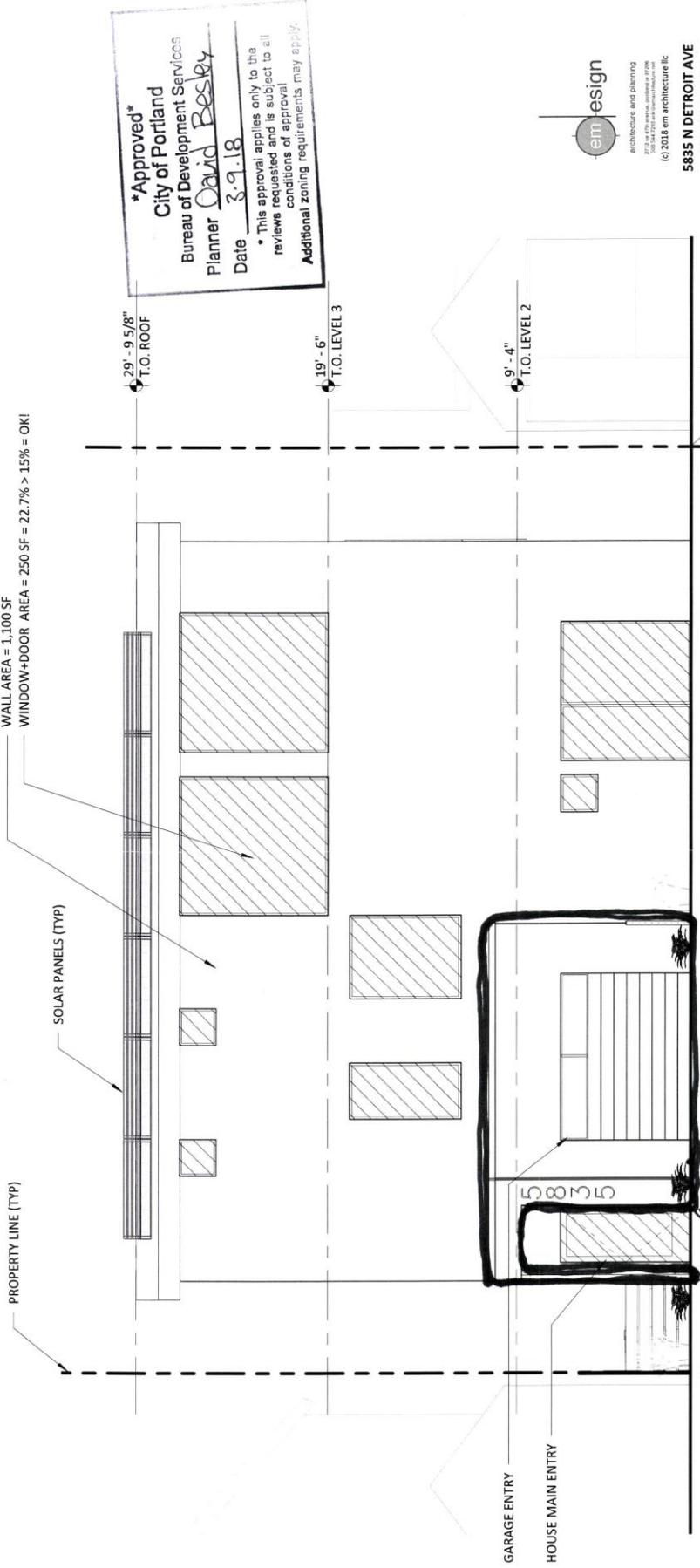
Scale 1 inch = 200 feet

State ID 1N1E16DC 2701

Exhibit B Dec 01, 2017

33.110.232 STREET-FACING FACADES IN R10 THROUGH R2.5 ZONES  
 AT LEAST 15% OF THE AREA OF EACH FACADE THAT FACES A STREET LOT LINE MUST BE WINDOWS OR MAIN ENTRANCE DOORS.

WALL AREA = 1,100 SF  
 WINDOW+DOOR AREA = 250 SF = 22.7% > 15% = OK!



\*Approved\*  
 City of Portland  
 Bureau of Development Services  
 Planner David Besky  
 Date 3-9-18  
 • This approval applies only to the review requested and is subject to all conditions of approval.  
 Additional zoning requirements may apply.

em design  
 architectural and planning  
 2725 SW Jefferson Avenue, Suite 200  
 Portland, Oregon 97201  
 (503) 255-1100  
 5835 N DETROIT AVE  
 PORTLAND, OR  
 SCHEMATIC  
 01.25.2018

EXTERIOR  
 ELEVATIONS  
 LU102

0' - 0" T.O. GROUND LEVEL  
 Property line  
 Ex C-2  
 LU 17-2743A AD

Portion of new house (garage entrance) 5' from front (west) property line

WEST EXTERIOR ELEVATION - FACING N GAY AVE

1 3/16" = 1'-0"

# KEYNOTES #

- 1 (E) PROPERTY LINE (TYP)
- 2 (E) NEIGHBORING PARCEL
- 3 (E) SIDEWALK
- 4 (N) PERMEABLE PATH
- 5 (E) GARDEN FENCE TO BE REMOVED, SHOWN FOR REFERENCE OF EXTENT OF EXISTING GARDEN
- 6 GARAGE ENTRANCE, 5' SETBACK
- 7 (N) ADU PATIO
- 8 (N) 3.5' H FENCE TO REPLACE (E) 6' H FENCE
- 9 STAIR TO 2ND FLOOR DECK
- 10 (E) TREE TO BE PRESERVED
- 11 (E) PATH

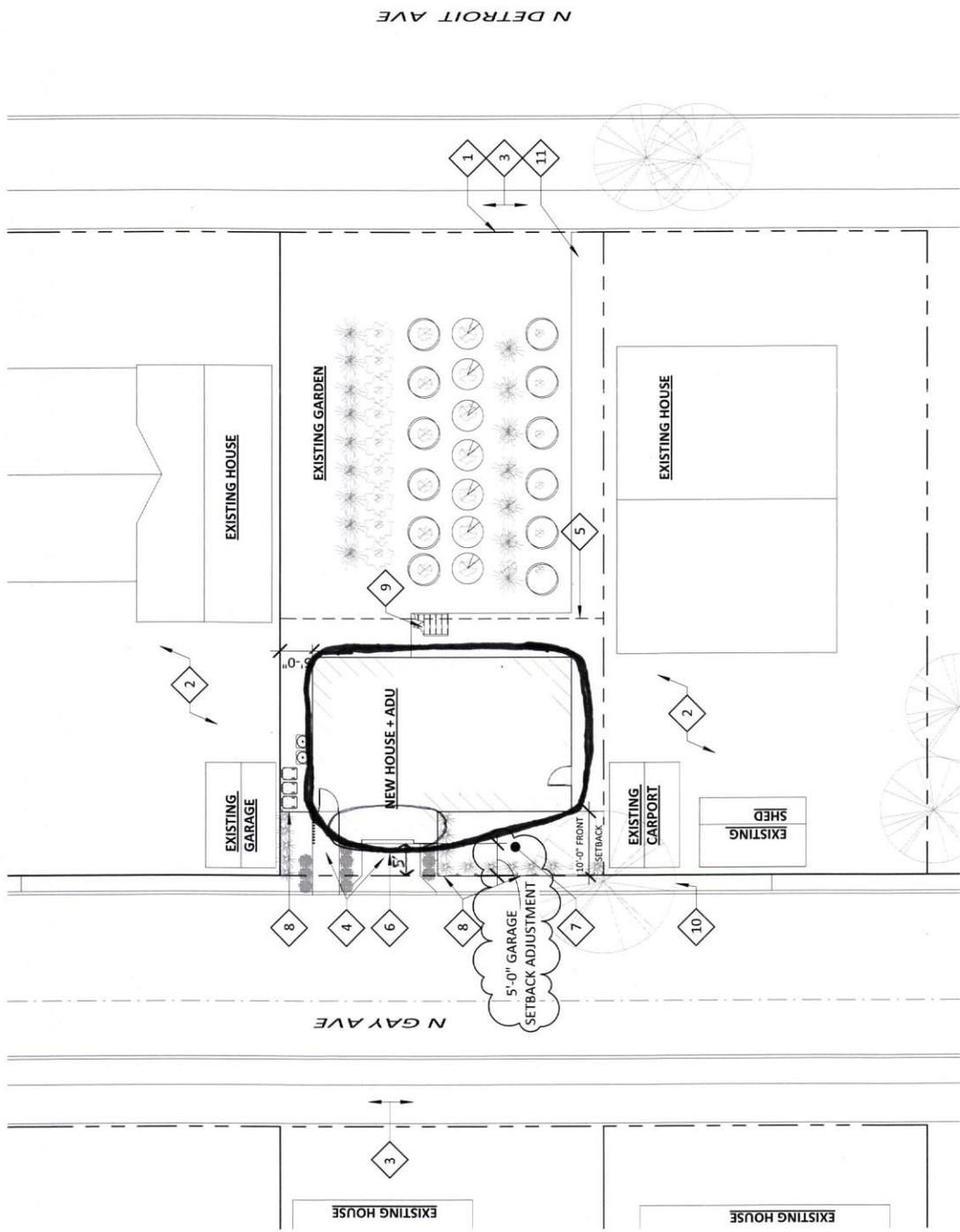
**\*Approved\***  
**City of Portland**  
 Bureau of Development Services  
 Planner *David Beby*  
 Date *7.9.18*

\* This approval applies only to the reviews requested and is subject to all conditions of approval  
 Additional zoning requirements may apply

**emesign**  
 architecture and planning  
 2201 NW 17th Avenue, Suite 100  
 Portland, OR 97209  
 (c) 2018 em architecture llc

**5835 N DETROIT AVE**  
 PORTLAND, OR  
 SCHEMATIC  
 01.25.2018  
 SITE PLAN

**LU101**

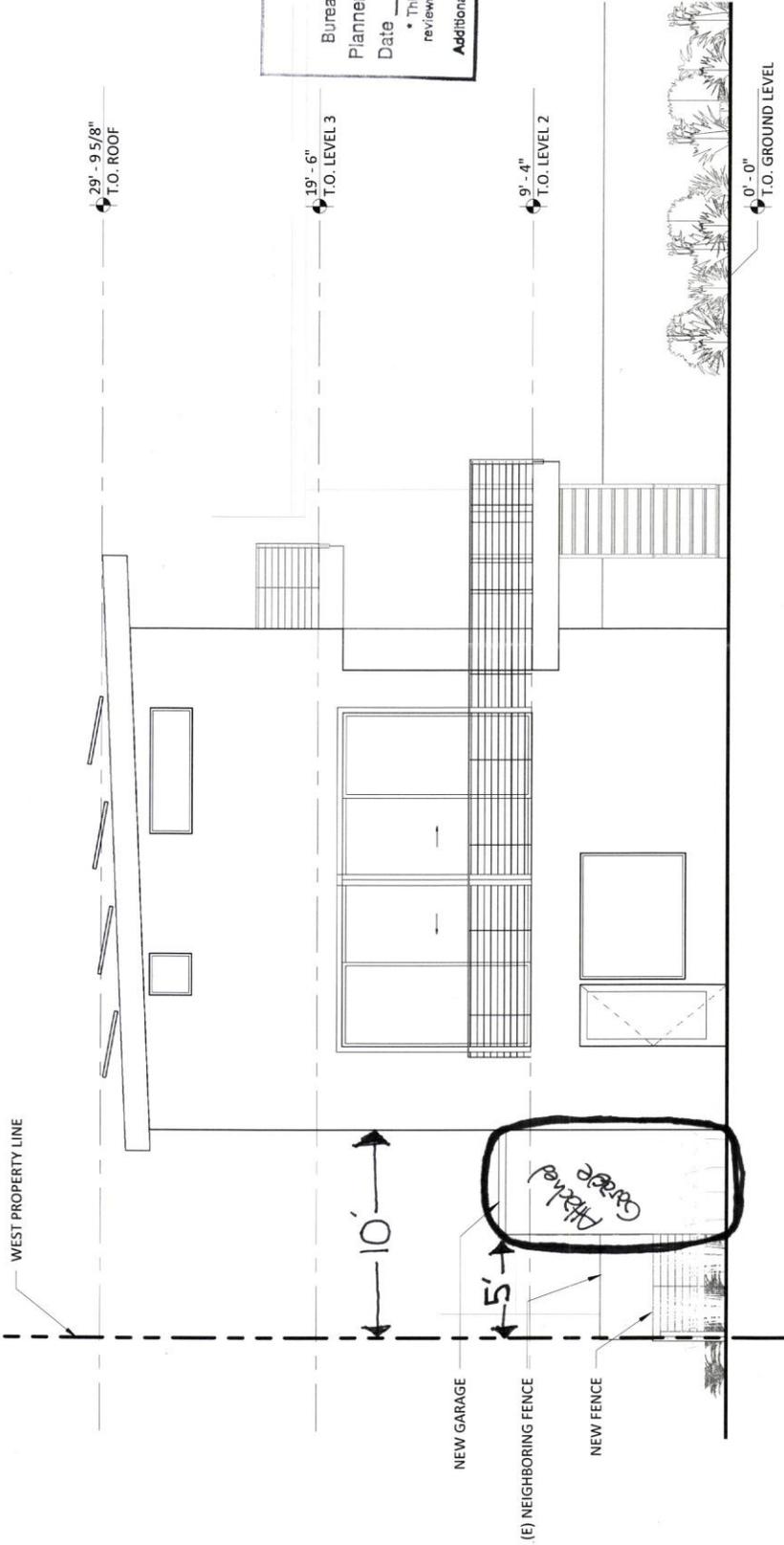


*Ex. C.1*  
*LU 17-274361 AD*

**1** SITE PLAN  
 1/16" = 1'-0"

3 Adjustments requested for a new 3-story house:

1. Reduce min front (west) setback from 10' to 5'
2. Reduce min garage entrance (west) setback from 18' to 5'
3. Allow the street-facing garage wall to be approx. 5' closer to the street than the largest street-facing wall of the house



**\*Approved\***  
 City of Portland  
 Bureau of Development Services  
 Planner Dani Beley  
 Date 2-9-18  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval.  
 Additional zoning requirements may apply.

**em design**  
 architecture and planning  
 2022 NW 17th Avenue, Portland, OR 97209  
 (503) 248-8888  
 © 2018 em architectural, llc

5835 N DETROIT AVE  
 PORTLAND, OR  
 SCHEMATIC  
 01.25.2018  
 EXTERIOR  
 ELEVATIONS  
 LU105

**SOUTH EXTERIOR ELEVATION**

1 3/16" = 1'-0"

*Exh C-3*  
 LU 17-274361 AD