



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7300  
Fax: (503) 823-5630  
TTY: (503) 823-6868  
[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** April 4, 2018  
**To:** Interested Person  
**From:** Andrew Gulizia, Land Use Services  
503-823-7010/Andrew.Gulizia@portlandoregon.gov

## **NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD**

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, **we need to receive your written comments by 5 p.m. on April 25, 2018**. Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 18-140353 AD, in your letter. Please address your letter to me, Andrew Gulizia. You can also e-mail your comments to me at the e-mail address above. Please note all correspondence received is public record, and may be viewed by the applicant or others.

### **CASE FILE NUMBER: LU 18-140353 AD**

**Applicant's Representatives** Gabriela Frask and Suzannah Stanley | Mackenzie  
1515 SE Water Ave., Ste. 100 | Portland, OR 97214  
(503) 224-9560 | [gfrask@mcknze.com](mailto:gfrask@mcknze.com), [sstanley@mcknze.com](mailto:sstanley@mcknze.com)

**Applicants:** Ryan Enneking | ARCO/Murray  
4849 Greenville Ave., Ste. 1460 | Dallas, TX 75206

Margo Conley | Banner Storage Group  
500 Skokie Blvd., Ste. 600 | Northbrook, IL 60062

**Property Owners:** Esther H Myers, Robert B Myers, Janet E Meyers  
1005 NE Stafford St. | Portland, OR 97211

**Site Address:** 1005 NE Stafford St., 1015 NE Stafford St., 1037-1039 NE Stafford St.

**Legal Description:** BLOCK 4 LOT 7-9 EXC PT IN HWY LOT 10, FARRELLS 2ND; BLOCK 4 LOT 11, FARRELLS 2ND; BLOCK 4 LOT 12, FARRELLS 2ND

**Tax Account No.:** R272000830, R272000910, R272000930

**State ID No.:** 1N1E14BA 01500, 1N1E14BA 01400, 1N1E14BA 01300

**Quarter Section:** 2331

**Neighborhood:** Woodlawn, contact Anjala Ehelebe at 503-388-5004

**Business District:** Soul District Business Association, contact at [outreach@nnebaportland.org](mailto:outreach@nnebaportland.org)

**District Coalition:** Northeast Coalition of Neighborhoods, contact Jessica Rojas at 503-388-5030

<b>Zoning:</b>	EG2h/EG2bh – General Employment 2 with Aircraft Landing (“h”) overlay zone over all of the site and Buffer (“b”) overlay zone over a portion of the site
<b>Case Type:</b>	AD – Adjustment Review
<b>Procedure:</b>	Type II, an administrative decision with appeal to the Adjustment Committee

**Proposal:**

The applicants propose a new self-service storage building on this site. The EG2 zone requires new buildings to be set back at least 25 feet from street lot lines (Zoning Code Section 33.140.215.B.1, Table 140-3). The applicants request Adjustment Review approval to reduce this 25-foot setback requirement for two areas of the new building:

- The west wall of the new building would be only 20 feet from the west lot line, after an 11-foot street dedication for a new sidewalk on the east side of NE 10<sup>th</sup> Avenue. (The proposed building location is 31 feet from the current location of the west lot line.)
- The northeastern corner of the building would be only 2 feet from the western end of the site’s street lot line along NE Lombard Street. (The area subject to this part of the Adjustment request is shown in hash marks on the attached site plan.)

No other Adjustments are requested, and the proposed development would meet all other zoning standards outright.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33. Adjustment requests will be approved if the review body finds that the applicant has shown that approval criteria A through F of Section 33.805.040, Adjustment Approval Criteria have been met:

- Granting the adjustment will equally or better meet the purpose of the regulation to be modified; and
- If in a residential zone, the proposal will not significantly detract from the livability or appearance of the residential area, or if in an OS, C, E, or I zone, the proposal will be consistent with the classifications of the adjacent streets and the desired character of the area; and
- If more than one adjustment is being requested, the cumulative effect of the adjustments results in a project which is still consistent with the overall purpose of the zone; and
- City-designated scenic resources and historic resources are preserved; and (*not applicable*)
- Any impacts resulting from the adjustment are mitigated to the extent practical; and
- If in an environmental zone, the proposal has as few significant detrimental environmental impacts on the resource and resource values as is practicable. (*not applicable*)

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on March 23, 2018, and determined to be complete on April 2, 2018.

**DECISION MAKING PROCESS**

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and either:

- Approve the proposal;
- Approve the proposal with conditions; or

- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120 days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

#### **APPEAL PROCESS**

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Adjustment Committee. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

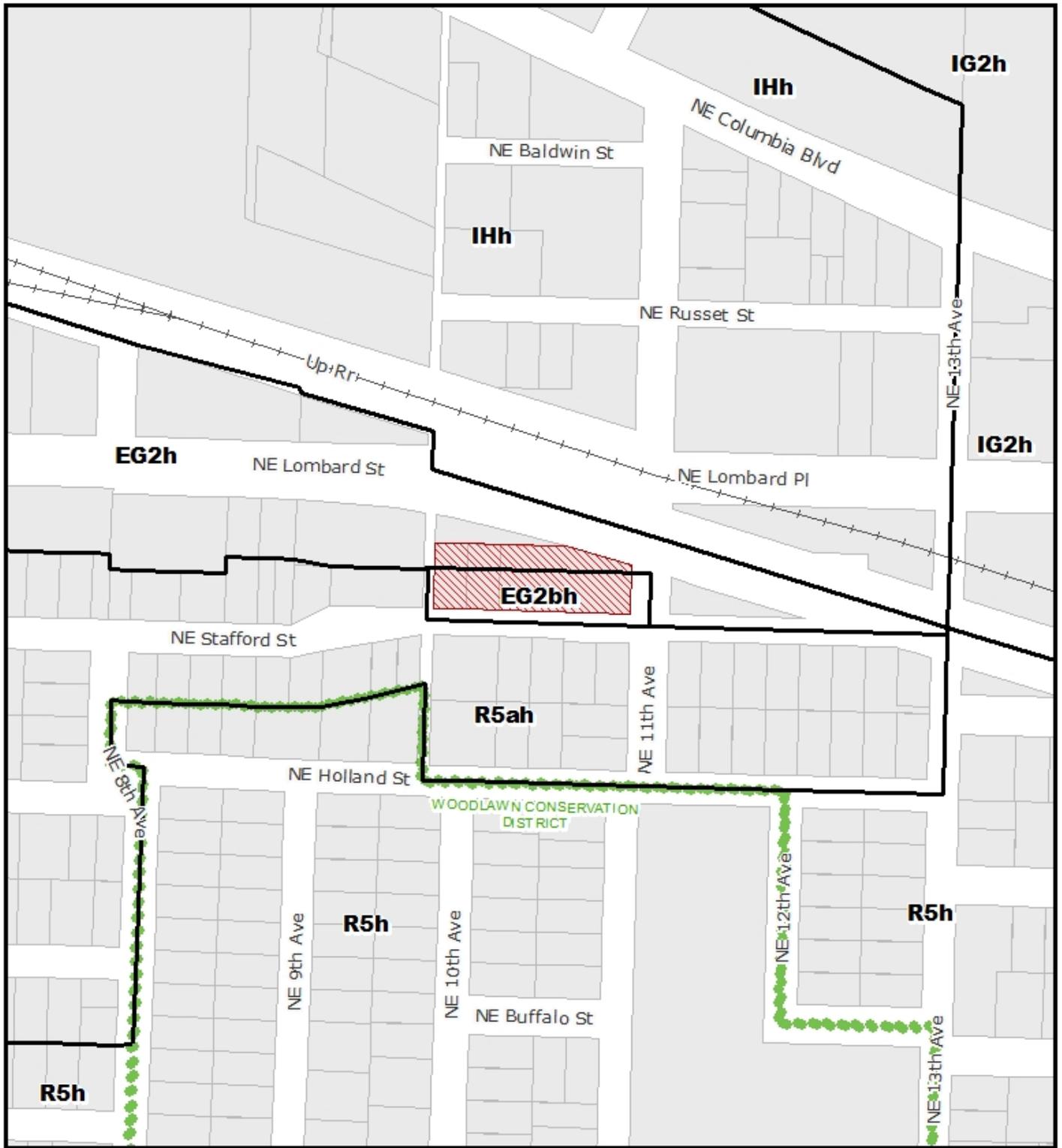
#### **APPEAL OF THE FINAL CITY DECISION**

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**

#### **Enclosures:**

Zoning map  
Site plan  
Building elevations



**ZONING**   
NORTH

 Site

File No.	LU 18-140353 AD
1/4 Section	2331
Scale	1 inch = 200 feet
State ID	1N1E14BA 1500
Exhibit	B Mar 27, 2018

<b>BANNER STORAGE GROUP, LLC</b> NEW STORAGE FACILITY FOR 1037 NE STAFFORD ST PORTLAND, OR 97213		<b>ARCO CONTRACTOR</b> 10000 NE APOLLO BLVD PORTLAND, OR 97228		<b>GMA MURRAY ARCHITECT</b> 1000 NE APOLLO BLVD PORTLAND, OR 97228		PROJECT NO. 170322/210 SHEET NO. 170322/210 DATE: 03.15.2018 REVISIONS:		SHEET NUMBER <b>C1.10</b> OF 12	

LAND USE ADJUSTMENT 03/23/2018

**SITE DATA**

GRASSY SITE AREA	24,844 SF (0.56 AC)
ASPH. PAVEMENT AREA	2,433 SF (0.06 AC)
NET SITE AREA	26,277 SF (0.60 AC)
BUILDING AREA	14,385 SF
BUILDING COVERAGE	55.0%
LANDSCAPING	8,156 SF (0.14 AC) = 23.0%

**PARKING DATA**

LANDSCAPED	1 SPACES
ASPH. PAVED	8 SPACES
TOTAL	9 SPACES
BIKE SPACES	8 SPACES
BIKE STATION	14 SPACES

**KEYNOTES**

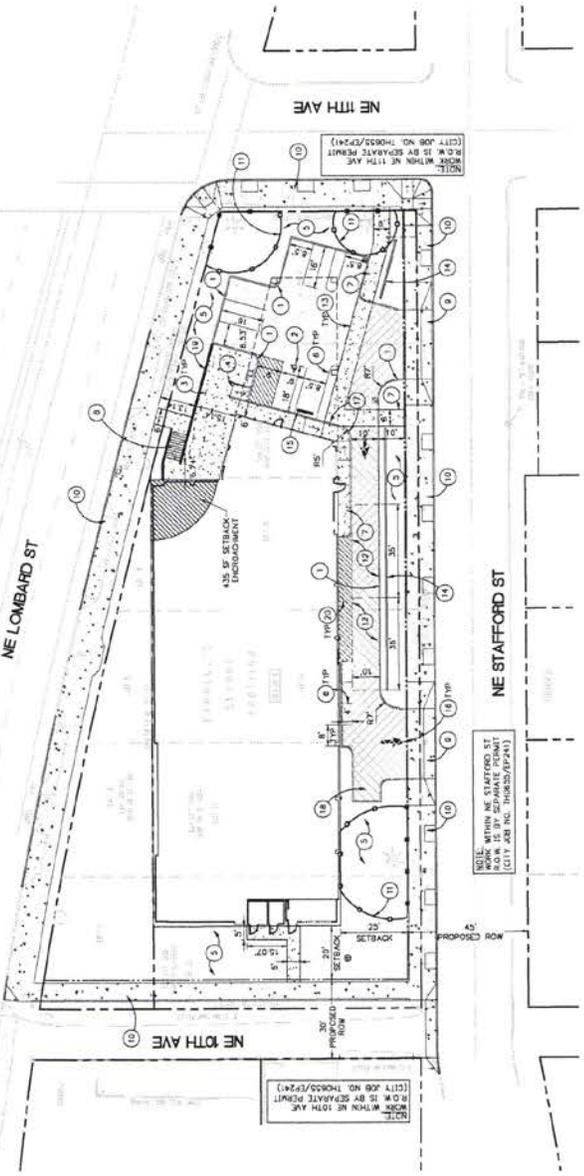
- VERTICAL CURB, SEE DETAIL 1/03.10
- ADA COMPLIANT PARKING STALL, SEE DETAIL 2/03.10
- SEE DETAIL 1/03.10 FOR CURB DETAIL
- ADA COMPLIANT CURB RAMP, SEE DETAIL 9/03.10
- LANDSCAPING AREA
- 4" WHITE PARKING STRIPE
- CONCRETE SIDEWALK, SEE DETAIL 5/03.10
- 8" WIDE CONCRETE STEPS, SEE DETAIL 8/03.11
- 8" THICK COMMERCIAL DRIVEWAY PER SEPARATE PUBLIC WORKS PERMIT
- PROPOSED SIDEWALK PER SEPARATE PUBLIC WORKS PERMIT
- TRIPLE PROTECTION FENCE, SEE DETAIL 13/03.10
- 10'x35' LOADING AREA
- CONCRETE CROSSWALK, SEE DETAIL 8/03.10
- LANDSCAPING SCREENING WALL, SEE ARCHITECTURAL PLANS
- WHEELSTOP, SEE DETAIL 1/03.10
- CONCRETE PAVEMENT, SEE DETAIL 1/03.10
- TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS
- 8" CONCRETE WALL WITH RAILING, SEE DETAIL 10/03.11
- 4" WHITE NO-PARKING STRIPING

**CURB RADIUS NOTE**

ALL CURB RADIUS, UNLESS OTHERWISE NOTED, IS TO BE 3' 0"

**PAVEMENT LEGEND**

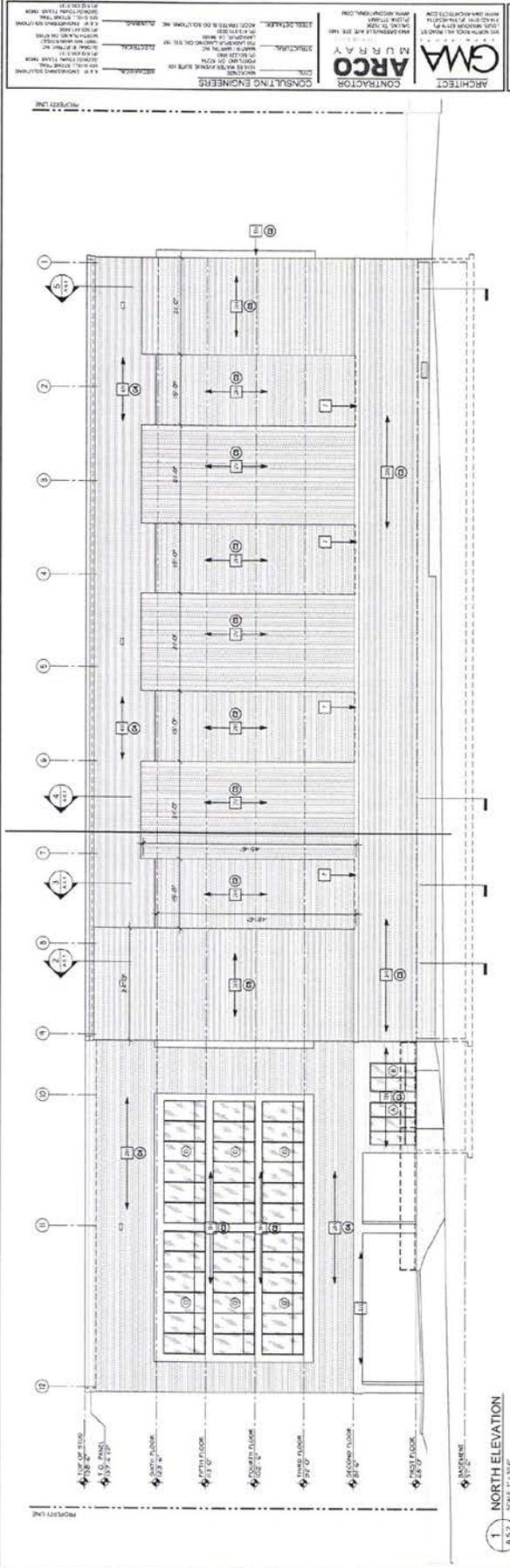
SEE PAVEMENT LEGEND ON SHEET FOR MORE INFORMATION



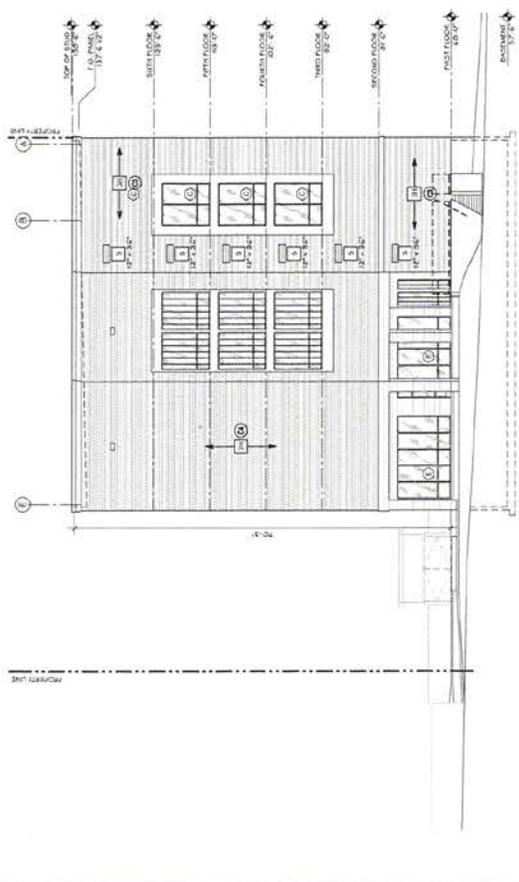
LU 18-140353 AD

THIS SHEET IS A PART OF THE PROJECT AND IS NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.





1 NORTH ELEVATION  
SCALE 1/8" = 1'-0"



2 EAST ELEVATION  
SCALE 1/8" = 1'-0"

**GENERAL ELEVATION NOTES**

1. REFER TO WALL, ROOF, AND PARTIAL BROWN ON ELEVATION. USE ANCHORS AND BRACKETS TO BE DRAWING FACILITATOR. SEE ELEC. AND STANDARD DETAILS FOR METAL ROOFING SYSTEM.
2. VERIFY GRADES AND BUILDING LINE AT CHAL. LINE.
3. FINISH ALL EXTERIOR ELECTRICAL EQUIPMENT, BUSES, AND CONDUIT TO BE DRAWING FACILITATOR. SEE ELEC. AND STANDARD DETAILS FOR METAL ROOFING SYSTEM.
4. INTERIOR PART FINISHES TO MATCH INTERIOR FINISHES.
5. INSTALL ALL WALL PANELS WITH OVERLAPS IN DIRECTION OF PREVIOUS WALL.
6. FINISHES TO BE RELATIVE TO FIRST FLOOR FINISH GRADE. SEE CIVIL DRAWINGS.

**ELEVATION KEY NOTES**

1. ALUMINUM WINDOW/DOOR SYSTEM - SEE WINDOW TYPES AND PARTIAL BROWN ON ELEVATION. SEE ELEC. AND STANDARD DETAILS FOR METAL ROOFING SYSTEM.
2. PRE-PAVED METAL CLIPPING CAP.
3. PRE-PAVED METAL SOLIDITY WITH COLLECTION HEAD OVERLAP ON TOP AND DOWNPOUTS. SEE ROOF PLAN FOR DETAILS.
4. NOTED TO MATCH ADJACENT BUILDING - SEE ADJACENT'S CLIMATE FREE AREA.
5. WALL FACILITY FINISH - SEE ELECTRICAL DRAWINGS.
6. VARIABLE COLOR LED TRIP LIGHT - SEE ELECTRICAL DRAWINGS.
7. BRACKET - BRACKET FLOOR BY OWNER - PROVIDE ELEC. CIRCUIT BACKLOGGING.
8. SEE HIGH SUBJECTS MATTERS. COLOR TO CONTRAST METAL PANEL BACKGROUND.

**EXTERIOR BUILDING MATERIALS**

SEE WALL SECTIONS FOR PANEL, HEIGHT AND TRADITION FIN. - TYPICAL

1	PANEL #1 PERFORATED METAL PANEL, 24 GAUGE, 36\"/>
2	PANEL #2 PERFORATED METAL PANEL, 24 GAUGE, 36\"/>
3	PANEL #3 PERFORATED METAL PANEL, 24 GAUGE, 36\"/>
4	PANEL #4 PERFORATED METAL PANEL, 24 GAUGE, 36\"/>
5	PANEL #5 PERFORATED METAL PANEL, 24 GAUGE, 36\"/>
6	PANEL #6 PERFORATED METAL PANEL, 24 GAUGE, 36\"/>
7	ISOLATED GLAZING SYSTEM (IGU) IN ALUMINUM FRAME
8	REINFORCED BRICK, ALUMINUM FRAMES

**EXTERIOR BUILDING COLORS**

SEE A 5.4 FOR EXTERIOR BUILDING COLORS

ARCHITECT: **GMA MURRAY**  
 CONSULTING ENGINEERS: **ARCO**  
 CONTRACTOR: **ARCO**

1099 NE STAFFORD STREET  
 PORTLAND, OR 97211

DATE: 03.22.18

PA. F001

REVISIONS

SHEET NUMBER: **A 52**

DATE: 03.22.18

LW 18-140353 AD