



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

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www.portlandoregon.gov/bds

Date: July 11, 2018
To: Interested Person
From: Emily Hays, Land Use Services
503-823-5676 / Emily.Hays@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 18-169496 DZ – ALTERATIONS

GENERAL INFORMATION

Applicant: Whit Middlecoff | GBD Architects
1120 NW Couch Street, Suite 300 | Portland, OR 97209
whit@gbdarchitects.com

Owner: AAT Lloyd District LLC
11455 El Camino Real #200 | San Diego, CA 92130-2047

Site Address: **830 NE Holladay Street**

Legal Description: BLOCK 102 INC PT VAC ST LOT 5 LOT 6-8, HOLLADAYS ADD
Tax Account No.: R396205680
State ID No.: 1N1E35BC 00100
Quarter Section: 2931

Neighborhood: Lloyd District Community, contact Cassidy Bolger at bolger.cassidy@gmail.com

Business District: Lloyd District Community Association, contact at admin@lloyddistrict.org

District Coalition: None
Plan District: Central City - Lloyd District
Other Designations: None
Zoning: **CXd** – Central Commercial with Design Overlay
Case Type: **DZ** – Design Review
Procedure: **Type II**, an administrative decision with appeal to the Design Commission.

Proposal:

The applicant is seeking Design Review approval for exterior alterations to an office building in the Lloyd Subdistrict of the Central City Plan District, including:

- New storefront entrance at the north building entry;
- New canopy at the north entry;
- New roof deck amenity:
 - Extension of existing elevator shaft, overrun, and machine room to create new elevator stop at the roof
 - Construction of new roof top lobby to provide weather protection for elevator
 - Extension of south exit stair enclosure to provide code-required second exit from the roof

- Construction of new trellis over portion of roof deck
- Replacement of roof with new ballasted roof;
- Removal of existing stage structure along the west facade to create a sunken light well;
- New guardrail along wall of sunken light well for pedestrian protection;
- New and replacement screened rooftop mechanical equipment; and,
- Selective replacement of spandrel glass with vision glass.

Other exterior alterations are planned, but do not require design review approval. These elements include repainting the building exterior with a new light color, replacement of the building address number under 32 SF, and new rooftop skylights.

Design Review is required for non-exempt exterior alterations in the Lloyd Subdistrict of the Central City Plan District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland’s Zoning Code. The relevant criteria are:

- Central City Fundamental Design Guidelines
- Special Design Guidelines for the Design Zone of the Lloyd District of the Central City Plan

ANALYSIS

Site and Vicinity: The site is located in the Lloyd Subdistrict of the Central City Plan District and is one-fourth of the larger super block development, Oregon Square. The 830 Building was completed in 1949 and has been in use as office space since that time. The Superblock site is intended to be redeveloped, with previous approval for four towers, a public plaza, and two and a half levels of underground parking.

The site is bounded by NE Holladay Street to the north, which consists of deep sidewalks, MAX platform, and one-way traffic heading east. The site is bounded by NE 9th Avenue to the east, which consists of existing sidewalks with street trees, on street parking and two-way traffic. The site is bounded by NE Pacific Street to the south, which consists of existing sidewalks with street trees, street loading zone and one-way traffic heading to the east. The site is then bounded to the west by NE 8th Avenue, which is a vacated street used for pedestrian foot traffic only.

Zoning: The Central Commercial (CX) zone is intended to provide for commercial development within Portland’s most urban and intense areas. A broad range of uses is allowed to reflect Portland’s role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together. Development is intended to be pedestrian-oriented with a strong emphasis on a safe and attractive streetscape.

The “d” overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Central City Plan District implements the Central City Plan and other plans applicable to the Central City area. These other plans include the Downtown Plan, the River District Plan, the University District Plan, and the Central City Transportation Management Plan. The Central City plan district implements portions of these plans by adding code provisions which address special circumstances existing in the Central City area. The site is within the Lloyd Subdistrict of this plan district.

Land Use History: City records indicate the following prior land use reviews for this site:

- SB 002-88: Landscaped courtyard.
- LU 06-119638: Approval of a phased 3-year timeline to upgrade parking lot landscaping, including 80 new trees, for the Ashforth Pacific Properties parking lots.

- LU 15-156716 DZM: Design Review with Modifications approval for the Oregon Square project.
- LU 15-190239 PR: Approval of a Central City Parking Review for the Oregon Square development.
- LU 16-195933 DZM: Design Review approval to phase a previously approved project known as Oregon Square.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **June 11, 2018**. The following Bureaus have responded with no issues or concerns:

- Life Safety Review Section of BDS, *See Exhibit E-1*
- Fire Bureau, *See Exhibit E-2*
- Site Development Section of BDS

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on June 11, 2018. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825, Design Review

Section 33.825.010 Purpose

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055, Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design district guidelines.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site’s location, the applicable design guidelines are the Central City Fundamental and Lloyd District Special Design Guidelines.

Special Design Guidelines for the Design Zone of the Lloyd District of the Central City Plan and Central City Fundamental Design Guidelines

The Lloyd District is a unique, multi-dimensional neighborhood in the Central City, with special features and assets found nowhere else in Oregon.

With the recent completion of the Oregon Convention Center, the District now serves as the “front door for Oregon and our city.” The District as a whole is emerging as a special area in the state and the region, and the way it is developed will determine its comfort and continued use.

The purpose of design review is to carry out the urban design vision for the District by emphasizing unique district assets in a manner that is respectful, creative, supportive, and compatible with all its areas. Although the District is a complex urban environment, it can become a cohesive whole with the use of these design principles.

The Central City Fundamental Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland’s character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Lloyd District Design Goals

The following goals and objectives define the urban design vision for new development and other improvements in the Lloyd District

- Encourage the special distinction and identity of the Lloyd District;

- Integrate the sub-areas of the District for a visual and functional coherence of the whole; and
- Improve the safety, convenience, pleasure, and comfort of pedestrians.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within all of the Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project. Central City and Lloyd District Guidelines are addressed concurrently.

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

A5. Enhance, Embellish, and Identify Areas. Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

A5-1. Develop Identifying Features. Encourage the inclusion of features in the design of projects that give projects identity and a sense of place or significance within the District.

A7. Establish and Maintain a Sense of Urban Enclosure. Define public rights-of-way by creating and maintaining a sense of urban enclosure.

A8. Contribute to a Vibrant Streetscape. Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings for A4, A5, A5-1, A7, A8, C3, C4 & C5: The proposed alterations, which include maintaining the vertical window opening proportions and recessed, covered entry on the north elevation, provide unifying elements to surrounding architecture in the Lloyd Sub-District of the Central City. Similar vertical strip windows and multi-light entry are features of the adjacent 827 Building, listed on Portland's Historic Resources Inventory.

The existing building was constructed to the street lot lines, thereby defining the rights-of-way. The proposal will maintain the building footprint. Increased glazing at the north entrance provides improved visual connection with large window and door openings that encourage pedestrian use and movement. In addition, the light color and entry canopy are consistent with the architectural features and character within the right-of-way of nearby buildings. Collectively, the proposed alterations integrate existing architectural features, original to the building, with new elements consistent with the growing area. *Therefore, these guidelines are met.*

A6. Reuse/Rehabilitate/Restore Buildings. Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

Findings for A6: The proposed enhancements to the 830 Building, including roof amenity, sunken garden court, and renovated entrance, will help establish the building as a unique creative office space in the Lloyd District. The renovation of the 830 Building is an effort to help reposition this property within the office market as the building is currently unleased. Improvements to the building entrance and the creation of leasable office space at the basement level are intended to help attract new tenants. These approaches are valuable for preserving the building and elements that contribute to the area character. *This guideline has been met.*

B1-2. Incorporate Additional Lighting. Incorporate project lighting in a manner that reinforces the pedestrian environment and which provides design continuity to an area by enhancing the drama and presence of architectural features.

C12. Integrate Exterior Lighting. Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

B6. Develop Weather Protection. Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

B6-1. Provide Pedestrian Rain Protection. Rain protection is encouraged at the ground level of all new and rehabilitated commercial buildings located adjacent to primary pedestrian routes. In required retail opportunity areas, rain protection is strongly recommended.

B7. Integrate Barrier-Free Design. Integrate access systems for all people with the building's overall design concept.

C6. Develop Transitions between Buildings and Public Spaces. Develop transitions between private development and public open space. Use site design features such as movement zones, landscape elements, gathering places, and seating opportunities to develop transition areas where private development directly abuts a dedicated public open space.

C8. Differentiate the Sidewalk-Level of Buildings. Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

Findings for B1-2, C12, B2, B6, B6-1, B7, C6 & C8: Revisions to the north building entrance will expand the entry and provide for more graceful ADA compliant access to the building. Weather protection will be provided for pedestrians entering and exiting the building with the proposed new entry canopy. This new canopy projects over the adjacent sidewalk right-of-way and spans the full width of the entrance.

The proposed exterior entry canopy will incorporate new LED lighting to enhance the building entrance. Lighting is proposed to be integrated with the canopy on the north entry elevation; three parallel 1" stripes trim the edge of the canopy and project slightly from the face to provide interest and depth. The overall design and articulation of the canopy lighting help to activate and identify the entrance and use of the building. The addition of the proposed lighting within the canopy contributes to a pedestrian environment that is inviting, safe and comfortable without impact on the skyline. *These guidelines have been met.*

B4. Provide Stopping and Viewing Places. Provide safe, comfortable places where people can stop, view, socialize and rest. Ensure that these places do not conflict with other sidewalk uses.

B5. Make Plazas, Parks and Open Space Successful. Orient building elements such as main entries, lobbies, windows, and balconies to face public parks, plazas, and open spaces. Where provided, integrate water features and/or public art to enhance the public open space. Develop locally oriented pocket parks that incorporate amenities for nearby patrons.

Findings B4 & B5: The proposal includes creation of a sunken garden space, accessed from interior leased space. Removal of the existing stage structure along the west façade creates usable, active space for building occupants and visitors to socialize. The addition of a guard rail assembly along this wall provides pedestrian protection, while landscaping at the ground level softens the hard edge. These alterations create a strong edge for the adjacent public space, home to an active year-round farmers market. *These guidelines have been met.*

C1. Enhance View Opportunities. Orient windows, entrances, balconies and other building elements to surrounding points of interest and activity. Size and place new buildings to protect existing views and view corridors. Develop building façades that create visual connections to adjacent public spaces.

C2-1. Maximize View Opportunities.

C11. Integrate Roofs and Use Rooftops. Integrate roof function, shape, surface materials, and colors with the building’s overall design concept. Size and place rooftop mechanical equipment, penthouses, other components, and related screening elements to enhance views of the Central City’s skyline, as well as views from other buildings or vantage points. Develop rooftop terraces, gardens, and associated landscaped areas to be effective storm water management tools.

Findings for C1, C2-1 & C11: The proposed alterations will activate the rooftop and provide excellent view opportunities of the neighborhood for building tenants and visitors. Stuc-o-Flex acrylic coating will be used as a finish on the proposed mechanical screen the portions of the roof stair and elevator overruns that are not adjacent to the roof deck. The texture and color of this material relates to the primary building cladding and minimizes long-term maintenance. The highly resilient acrylic polymer compound will be applied over 5/8” cementitious board in this limited application.

Wood cladding is used on the east facing wall of the elevator lobby, as well as the north and south walls of the overrun, where visible from the roof deck. The wood in this application will be tongue and groove oak, stained dark brown. Rooftop mechanical equipment is concentrated centrally, set back from the building edges, and fully screened to obscure the view of rooftop mechanical equipment from roof deck users and pedestrians. *These guidelines have been met.*

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

C10-1. Use Masonry Materials. Except for window glazing, use masonry types of materials as the predominant exterior material for building walls. Use modular stone or masonry materials on the building base or first floor of buildings whenever possible.

C10-2. Design Exterior Building Walls that are Transparent in Glazed areas and Sculptural in Surface. Design exterior building walls that are transparent or translucent in the glazed areas and which are textural, sculptural and articulated in surface character.

C10-3. Use Light Colors. The use of light color values is preferred for the predominant exterior building materials. Darker value materials should be used to accent or articulate the design.

Findings for C2, C10-1, C10-2 & C10-3: The proposed alterations include materials that respect the architectural integrity of the original structure while promoting quality and permanence. Stuc-o-Flex acrylic coating will be used as a finish on the proposed mechanical screen the portions of the roof stair and elevator overruns that are not adjacent to the roof deck. The highly resilient acrylic polymer compound will be applied over 5/8” cementitious board in limited this application. The wood cladding on the east facing wall of the Elevator Lobby, as well as the north and south walls of the overrun where visible from the roof deck, will be tongue and groove oak, stained dark brown. Both materials are of a high quality and are applied in an appropriate manner at the rooftop.

The proposed entry renovation also increases the amount of glazing at the building entrance. New windows will be dual glazed with a square profile and black finish. These windows will be installed within the existing vertical bands, maintaining a consistent architectural element on all street facing façades. Spandrel glazing will be replaced with vision glass along both street facing elevations. Where spandrel remains, black glass will

be replaced with a light gray toned spandrel to appear more translucent. *These guidelines have been met.*

C1-2. Integrate Signs.

Carefully place signs and sign supports on and for buildings to integrate with the scale, color and articulation of the building design. Avoid large, excessively illuminated or freestanding signs that contribute to visual clutter.

Demonstrate how signage is one of the design elements of a new or rehabilitation project and has been coordinated by the project designer/architect. Submit a master signage program as a part of every Design Review application.

Incorporate signage that compliments and supports the pedestrian scale and use of the Broadway/Weidler Corridor and Holladay Street. While recognizing the dimensional provisions in the Code, size and scale of signs should be moderated in these pedestrian-oriented areas.

C13. Integrate Signs. Integrate signs and their associated structural components with the building's overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

Findings for C1-2 & C13: No signage is currently included in this proposal except for the repair and update of the building number "830". Future signage could be added as the building is leased. Any signage under 32 SF will be exempt from Design Review per the Portland Zoning Code 33.420.041.F. The simple building facades are well composed to receive integrated signage should tenant identification be necessary or desired. *These guidelines have been met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all requirements of Title 11 can be met, and that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review, prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

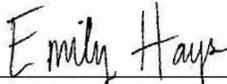
Approval of Design Review for exterior alterations to an office building in the Lloyd Subdistrict of the Central City Plan District, including:

- New storefront entrance at the north building entry
- New canopy at the north entry
- New roof deck amenity:
 - Extension of existing elevator shaft, overrun, and machine room to create new elevator stop at the roof
 - Construction of new roof top lobby to provide weather protection for elevator
 - Extension of south exit stair enclosure to provide code-required second exit from the roof
 - Construction of new trellis over portion of roof deck
- Replacement of roof with new ballasted roof
- Removal of existing stage structure along the west facade to create a sunken light well
- New guardrail along wall of sunken light well for pedestrian protection
- New and replacement screened rooftop mechanical equipment
- Selective replacement of spandrel glass with vision glass

Approval per the approved site plans, Exhibits C-1 through C-13, signed and dated July 6, 2018, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 18-169496 DZ." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

Staff Planner: Emily Hays

Decision rendered by:  **on July 6, 2018**
By authority of the Director of the Bureau of Development Services

Decision mailed: July 11, 2018

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on May 11, 2018, and was determined to be complete on June 6, 2018.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on May 11, 2018.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: October 4, 2018.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on July 25, 2018** at 1900 SW Fourth Ave. Appeals can be filed at the 5th floor reception desk of 1900 SW 4th Avenue Monday through Friday between 8:00 am and 4:30 pm. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized

organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **July 26, 2018** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

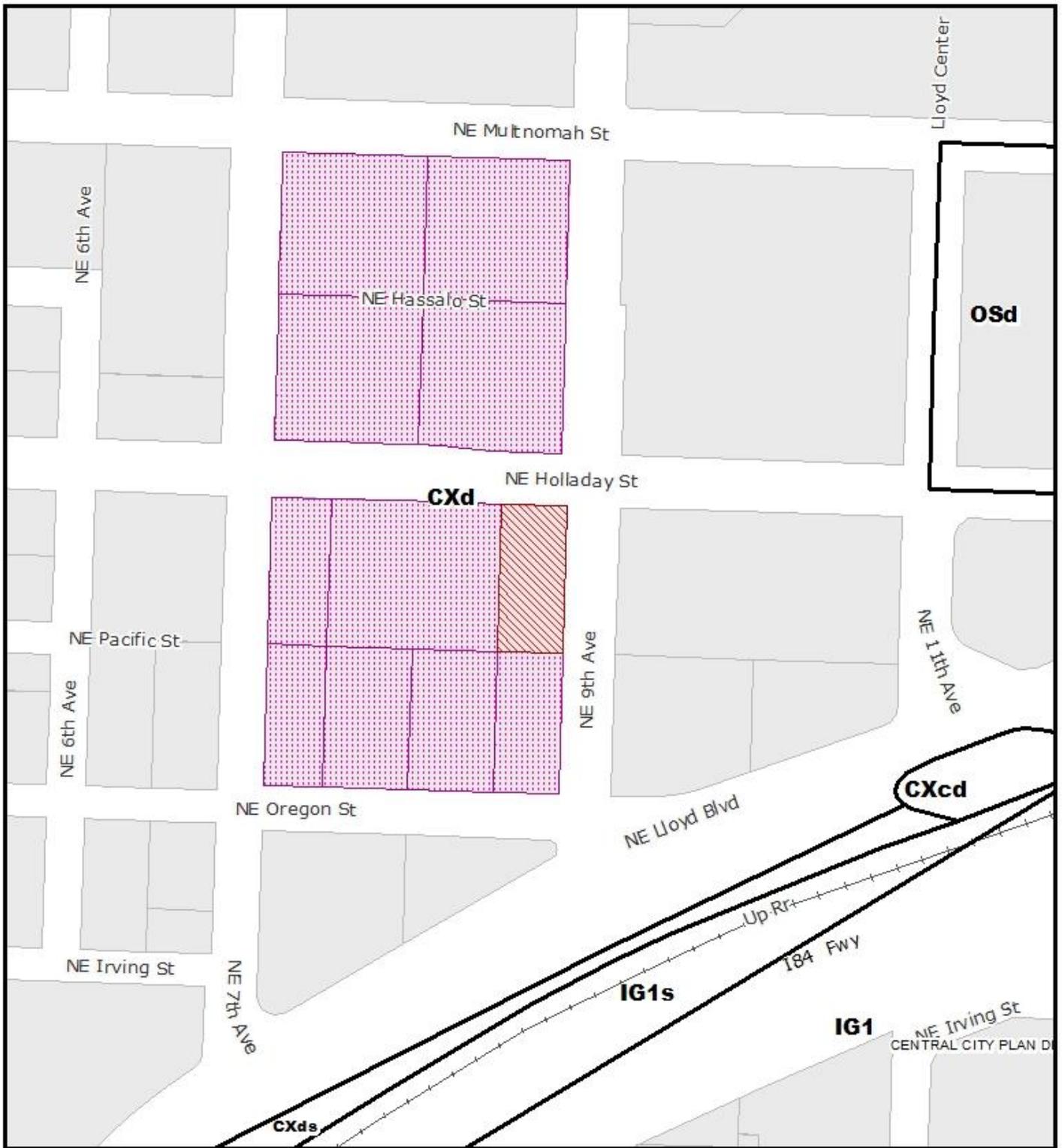
Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS
NOT ATTACHED UNLESS INDICATED

- A. Applicant's Submittal
 - 1. Original Drawing Set
 - 2. Revised Drawing Set, dated June 6, 2018
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Ground Floor – Proposed Plan
 - 3. Roof Terrace – Mechanical Penthouse Plan
 - 4. Exterior Elevations – North & East (attached)
 - 5. Exterior Elevations – South & west
 - 6. North Entry Elevation & Section
 - 7. North Entry Canopy Details
 - 8. Light Well/Sunken Garden Section
 - 9. Roof Deck/Trellis Details
 - 10. Spandrel Glass Cutsheet
 - 11. Stuc-o-flex Cutsheet
 - 12. Skylight Cutsheet
 - 13. Steel Window Cutsheet
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Life Safety Review Section of BDS
 - 2. Fire Bureau
- F. Correspondence: None.
- G. Other:
 - 1. Original LU Application
 - 2. Email Correspondence

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

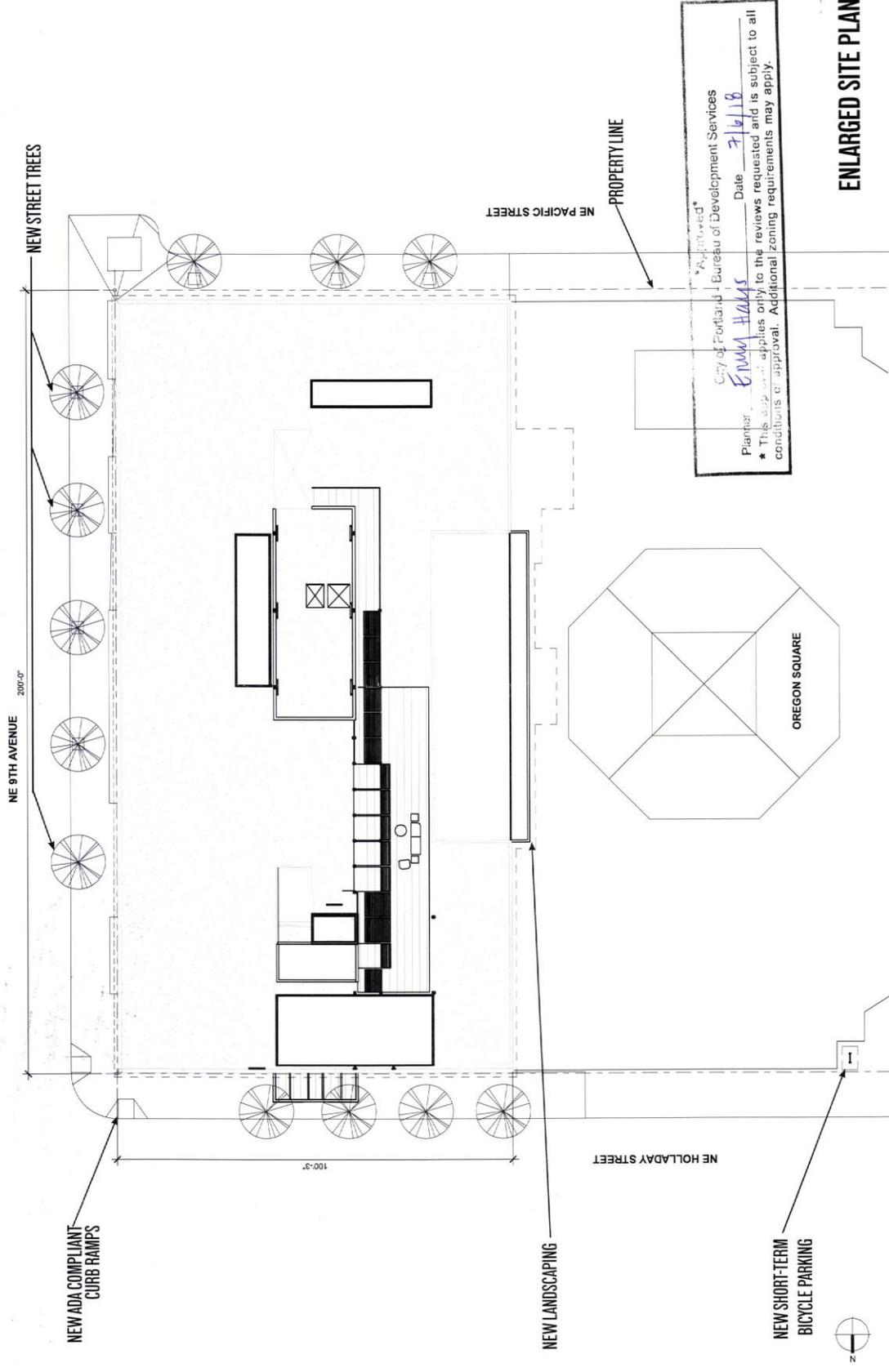


ZONING 
 NORTH

THIS SITE LIES WITHIN THE:
 CENTRAL CITY PLAN DISTRICT
 LLOYD DISTRICT SUBDISTRICT

-  Site
-  Also Owned Parcels

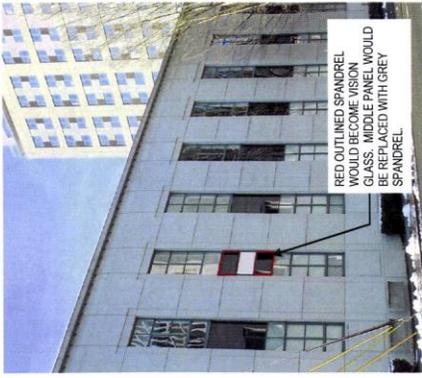
File No.	LU 18-169496 DZ
1/4 Section	2931
Scale	1 inch = 200 feet
State ID	1N1E35BC 100
Exhibit	B May 15, 2018



ENLARGED SITE PLAN

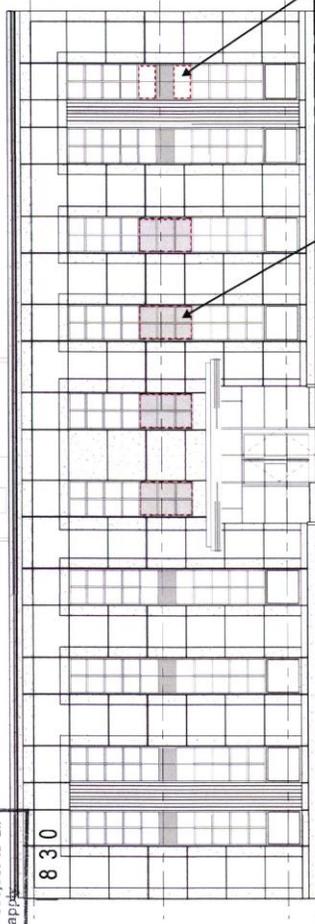
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EXHIBIT C-1
LU 18-167496 DZ

City of Portland - Bureau of Development Services
 Planned by: EMMA HARR Date: 7/10/18
 * This plan is only for the reviews requested and is subject to all
 conditions of approval. Additional zoning requirements may apply.

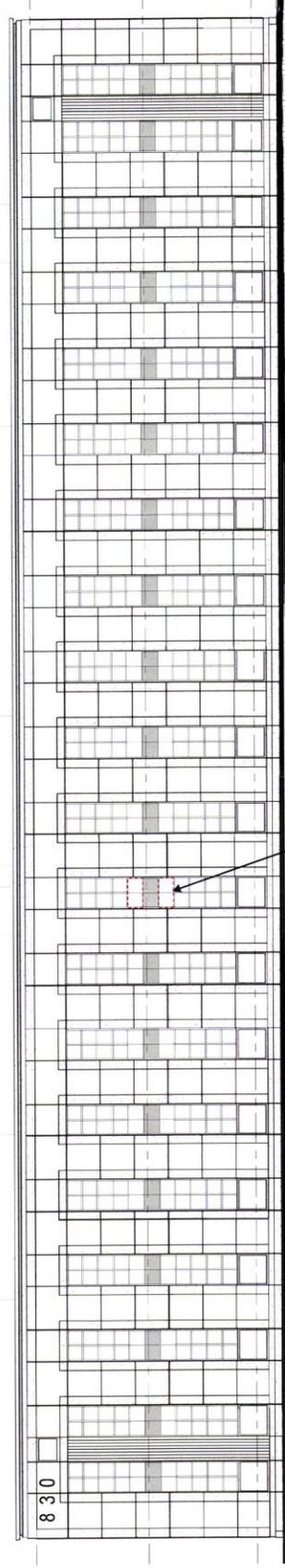


AT ALL VERTICAL WINDOW BAYS, OWNER WISHES TO REPLACE THE TWO DASHED SPANDREL GLAZING WITH VISION GLAZING. EXISTING BLACK SPANDREL GLASS WOULD BE REPLACED WITH A LITE GREY-TONED SPANDREL TO LOOK MORE LIKE VISION GLASS.

SHADED AREA INDICATES REPLACEMENT OF SPANDREL GLAZING FOR VISION GLASS.



NORTH ELEVATION



EAST ELEVATION

AT ALL VERTICAL WINDOW BAYS, OWNER WISHES TO REPLACE THE TWO DASHED SPANDREL GLAZING WITH VISION GLAZING. EXISTING BLACK SPANDREL GLASS WOULD BE REPLACED WITH A LITE GREY-TONED SPANDREL TO LOOK MORE LIKE VISION GLASS.

EXTERIOR ELEVATIONS - NORTH & EAST