



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

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Date: October 24, 2018
To: Interested Person
From: Meriam Rahali, Land Use Services
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NOTICE OF A TYPE Ix DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 18-187706 HR – VOLUNTEER OF AMERICA BUILDING EXTERIOR ALTERATIONS

GENERAL INFORMATION

Applicant: Christopher Lonigro | Diloreto Architecture, LLC
200 NE 20th, Ste. 200 | Portland, OR 97232
503-736-9979 | clonigro@diloretoarchitecture.com

Owner: 538 Ash LLC
70 NW Couch Street #207 | Portland, OR 97209-4038

TVOA LLC
PO Box 12145 | Portland, OR 97212

Site Address: **538 SE Ash Street**

Legal Description: BLOCK 119 E 1/2 OF LOT 7&8, EAST PORTLAND
Tax Account No.: R226508090
State ID No.: 1N1E35CC 06600
Quarter Section: 3031

Neighborhood: Buckman, contact Richard Johnson at buckmanlandusepdx@gmail.com

Business District: Central Eastside Industrial Council, contact Dan Yates at dan@portlandspirit.com; ceic@ceic.cc

District Coalition: Southeast Uplift, contact Leah Fisher at 503-232-0010.

Plan District: Central City - Central Eastside
Other Designations: Contributing Resource in the East Portland/Grand Avenue Historic District

Zoning: **EX d** – Central Employment with Design Overlay and Historic Resource Protection Overlay

Case Type: HR – Historic Resource Review
Procedure: **Type Ix**, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

Proposal:

The applicant is seeking Historic Resource Review approval for exterior alterations to the Volunteer of America building located in the East Portland/Grand Avenue Historic District. The work proposed includes the following:

1. North Elevation:

- Removal of an existing non-original wood door, canopy, and area of brick.
- Installation of a recessed new wood frame glass door and transom.
- Reversal of existing door swing partially into the Right-of-Way.
- Installation of two new concrete planters in the Right-of-Way.
- Renovation of an existing sign.
- Installation of a new parapet cap flashing at the north and east elevations.
- Installation of two new rooftop mechanical units.

2. East Elevation:

- Removal of four existing ground floor windows and areas of brick.
- Removal of an existing metal door and metal roll up garage door.
- Removal and relocation of the electrical meter to the basement.
- Installation of three operable casement wood windows and transoms.
- Installation of a new glass paneled overhead door with transom windows.
- Installation of a new opening within the brick wall that includes a new steel frame and transom beam matching the overhead door steel frame and transom beam.

Four long-term bike parking spaces are provided in the basement.

All door and window trim, casing, and sill will match materials and detailing of existing original storefront materials and detailing. Any wall patching will match existing brick wall.

Historic Resource Review is required because the proposal is for non-exempt exterior alterations within East Portland/Grand Avenue Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- *Central City Fundamental Design Guidelines*
- *Adopted Design Guidelines East Portland/Grand Avenue Historic Design Zone*

ANALYSIS

Site and Vicinity: The subject property, a two-story brick warehouse building occupying a 50' x 100' eighth block site, was completed in 1927 for the Volunteers of America. The building is detailed with Colonial Revival brick coursing at the 2nd-floor line. The primary façade faces SE Ash and is divided into two bays on the main floor. A recessed entry is found in the east bay, and a single door is located west of the west bay. Most of the original wood storefront on the main floor remains, as well as the 2nd floor windows. Alterations to the building have been minimal.

The East Portland/Grand Avenue Historic District is significant for its associations with broad patterns of historic development, especially as it relates to commerce and transportation. This area, stretching north-south along Grand Avenue parallel to the Willamette River was, until its consolidation with Portland in 1893, the core of a separate

community known as East Portland. The area was historically an excellent location for warehousing because of its proximity to both the river, the railroad (until 1912 limited to the east side), and the newly opened Steel and Hawthorne bridges.

Portland's Transportation System Plan (TSP) classifies both SE Ash Street and SE 6th Avenue as Minor Emergency Response Streets, Local Service Bikeways, and Local Service Walkways. The site is within the Freight District.

Zoning: The Central Employment (EX) zone allows mixed-uses and is intended for areas in the center of the City that have predominantly industrial type development. The intent of the zone is to allow industrial and commercial uses which need a central location. Residential uses are allowed but are not intended to predominate or set development standards for other uses in the area. The development standards are intended to allow new development which is similar in character to existing development.

The "d" overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in the region and preserves significant parts of the region's heritage. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region's citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

The Central City Plan District implements the Central City Plan and other plans applicable to the Central City area. These other plans include the Downtown Plan, the River District Plan, the University District Plan, and the Central City Transportation management Plan. The Central City plan district implements portions of these plans by adding code provisions which address special circumstances existing in the Central City area. The site is within the Central Eastside Subdistrict of this plan district.

East Portland/Grand Avenue Historic District is listed in the National Register of Historic Places under two of the eligibility criteria: "A" for its association with the development of the City of East Portland (which was annexed into Portland in 1893) and "C" for its examples of commercial architectural styles from the period 1883 to 1939.

Land Use History: City records indicate no prior land use reviews.

Agency Review: A Notice of Proposal in your Neighborhood was mailed on **August 17, 2018**. The following Bureaus have responded with no issues or concerns about the proposal:

The Life Safety Section of BDS responded with the following: Life Safety Plan Review does not object to the approval of this proposal. The applicant should be aware that several building code requirements may impact the final design of this building.

- A separate building permit is required for the work proposed and the proposal must be designed to meet all applicable building codes and ordinances.
- A separate Mechanical Permit is required.
- It is recommended that applicant visit the Development Services Center to research current Occupancy Classification and Building Code requirements associated with a possible change in occupancy, and seismic upgrades.

- A Building Permit is required to change the use of a building to a different occupancy classification.

Please see Exhibit E-1 for additional details.

The Fire Bureau responded with the following: A separate building permit is required for this proposal. All applicable Fire Code requirements shall be met at the time of permit review and development. Please see Exhibit E-2 for additional details.

The following bureau has responded with no issues or concerns:

- Site Development Section of BDS.

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on **August 17, 2018**. No written response has been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846.060 - Historic Resource Review

Purpose of Historic Resource Review

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Resource Review Approval Criteria

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the East Portland Grand Avenue Historic District and the proposal is for a non-exempt treatment. Therefore Historic Resource Review approval is required. The approval criteria are the *Design Guidelines - East Portland Grand Avenue Historic Design Zone*. Because the site is within the *Central City Plan District*, the *Central City Fundamental Design Guidelines* are also approval criteria.

Staff has considered all guidelines and addressed only those applicable to this proposal. The Design Guidelines - East Portland Grand Avenue Historic Design Zone and the Central City Fundamental Design Guidelines are addressed concurrently.

Design Guidelines - East Portland Grand Avenue Historic Design Zone **Central City Fundamental Design Guidelines**

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

A5. Enhance, Embellish, and Identify Areas. Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

Findings for A4 and A5: The proposed alterations are consistent with the design of the Volunteers of America building itself as well as the district in form, function, and materials. The changes proposed will reflect the local character of the neighborhood and be consistent with the simplicity of the existing building.

These guidelines are met.

A6. Reuse/Rehabilitate/Restore Buildings. Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

A6-1. Use Special East Portland/Grand Avenue Historic Design Zone Guidelines

Introduction: Scale and Proportion. A building's bulk in conjunction with its proportional height and width will have a significant impact on the degree to which it fits in with its historic neighbors. Structures which are much wider, taller or just are significantly bigger than neighboring structures will disrupt the continuity of the area and may damage the area's historic integrity.

A6-1a. Scale and Proportion

1. The added height or width of an alteration should be compatible with the original scale and proportion first of the affected building and second of adjacent buildings.
2. The scale and proportion of altered or added building elements, such as the size and relationship of new windows, doors, entrances, columns and other building features should be visually compatible with the original architectural character of the building.
3. The visual integrity of the original building should be maintained when altering or adding building elements including the vertical lines of columns, piers, the horizontal definition of spandrels and cornices, and other primary structural and decorative elements.

Findings for A6 & A6-1a: The proposed exterior renovations are visually compatible with the original character of the building. The new windows on the east façade will match the sill height and transom height of the existing storefront. The new windows will be custom built wood windows painted and designed to match the existing storefront system. The face of the new window and the existing storefront window will be in the same plane, recessed within the brick façade. The brick sill beneath the new windows will match the detailing of the existing brick sill beneath the existing storefront. The new windows will be compatible with the scale and proportion of the existing storefront by incorporating transom windows at the same height and material as the existing and including brick sills detailed to match the existing.

The existing overhead garage door will be replaced with a new glass paneled overhead door with wood transom windows above. The new overhead door will be compatible with the original scale and proportion of the existing overhead door and will provide more glazing on the east façade of the building.

The new east façade entry will match the height of the overhead garage door and continue the wood transom beam. The entry will be recessed with a custom wood storefront system.

On the north façade of the building, the entry door on the far-right will be recessed and retain the transom windows matching the original storefront system to the left. These alterations will maintain the visual integrity of the building, while adding additional glazing and visual interest on the east façade.

These guidelines are met.

Introduction: Exterior Building Materials. After issues of height, mass and bulk the building characteristic having the greatest impact on the District's character will be its exterior materials. Maintaining the integrity of exterior materials is important to protecting the character of the District.

A6-1b. Exterior Building Materials. Exterior surfaces need to be repaired and maintained in a manner that is compatible first with the original building and second with the District.

Findings for A6-1b: The existing building is primarily composed of brick with wood windows and a wood storefront system. The proposed alterations respect the original building with new custom-built wood windows and brick sill detailing to match the existing. Additionally, brick will be repaired on the north façade of the building once the existing sign is removed. *This guideline is met.*

Introduction: Rear and Side Walls. Portland and the East Portland/Grand Avenue Historic District share a pattern of orienting corner building entrances to the adjacent north-south street. Within the Historic District city blocks are small resulting in most buildings extending to one or more of the block's corners. Orientations to King Boulevard and Grand Avenue are characteristic of the East Portland/Grand Avenue District. Building alterations should respect this pattern.

A6-1c. Rear and Side Walls

1. Side and rear walls should be compatible with building facades or public street elevations, but can be simple and basically blank.
2. New window and door openings may be added in moderation and when compatible in size, scale, proportion and detailing with the original building. New openings should be designed to be subtly distinguishable from the original building.
3. Where possible, avoid filling openings with concrete block, wood or other material that will change the overall appearance of the wall and/or create blank walls along pedestrian ways.

Findings for A6-1c: Neither the west nor south walls will be altered. *This guideline is met.*

Introduction: Exterior Mechanical Systems and Auxiliary Service Elements.

The character of the district may be damaged by the introduction of distracting visual elements which clutter building exteriors. When updating a building's mechanical systems, locating its trash areas and installing electronic communications equipment, care must be taken to avoid visual clutter.

A61-d. Exterior Mechanical Systems and Auxiliary Service Elements. Avoid unnecessary clutter and unsightliness of mechanical systems, auxiliary structures, and service elements such as trash containers, storage sheds, satellite dishes, etc.

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

C11. Integrate Roofs and Use Rooftops. Integrate roof function, shape, surface materials, and colors with the building's overall design concept. Size and place rooftop mechanical equipment, penthouses, other components, and related screening elements to enhance views of the Central City's skyline, as well as views from other buildings or vantage points. Develop rooftop terraces, gardens, and associated landscaped areas to be effective stormwater management tools.

Findings for A6-1d, B2, and C11: The proposal will remove some existing roof-top mechanical units as well as add new roof-top mechanical units. Eleven new mechanical units will be added to the roof. The closest the mechanical units will be to the roof edge fronting SE Ash Street is 10'. The closest the mechanical units will be to the roof edge fronting SE 6th Avenue is 15'-8 1/2" Five of these units will project above the parapet with a maximum projection of 1'-2". The mechanical units are set back far enough that they will not be visible from the pedestrian environment. The mechanical units will be painted to match the roof to blend in and not detract from the buildings overall design. *These guidelines are met.*

Introduction: Color. All new color schemes should be reviewed. To choose appropriate colors, it is best to start with a paint analysis on the building to determine its original color. Though it may not be possible to duplicate that color, the color should at least be compatible with the original color. (See Appendix B for guidance on how to do a paint analysis and consult local paint companies for assistance). Experimenting with colors in small sample locations is encouraged. For additional guidance, consult the State Historic Preservation Office in Salem at 1 (503) 378-6508, or the East Portland Historic District Advisory Board.

A6-1e. Color

1. When painting a building or making color changes, colors chosen should be visually compatible with the architectural character of the District represented by both the primary (1870-1914) and secondary (1915-1935) historic periods of development. A broad range of color schemes may be acceptable.
2. The colors should be compatible with the original architectural style of the building. If the building has no apparent style, use the surrounding buildings and any character-defining features on the building itself as a guide.

Findings for A6-1e: The new wood windows and doors will be painted black to match the existing wood storefront. The new overhead door will be black to match the existing storefront. The new metal door next to the overhead door will also match. *This guideline is met.*

Introduction: Signs. All exterior signs are reviewed. Signs must meet all applicable provisions of the City of Portland's ordinances and guidelines.

A6-1f. Signs

1. Exterior building signs should be visually compatible in size, scale, proportion, color and materials with the original architectural character of the building.
2. A variety of signs within the District are encouraged, incorporating excellence in graphic design and lettering, careful color coordination with the building, mounting, and readability.
3. Prominent signs that are creative yet compatible with the building and the District are encouraged, particularly on simple concrete buildings.
4. Sign lighting that is creative and compatible with the building and the District is acceptable. Plastic signs and backlit plastic signs are generally not acceptable.

C13. Integrate Signs. Integrate signs and their associated structural components with the building's overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

Findings for A6-1f and C13: The existing abandoned sign is proposed to be removed. No new signs are included in this proposal. *This guideline is not applicable.*

Introduction: Lighting. Lighting should be compatible with the overall character of the building first and the District second. Lighting should not detract from the character defining features of the building, introduce radically incompatible design elements or damage the building through its installation.

A6-1g. Lighting

1. Repair or replace damaged period lighting with the same or similar lighting fixtures and design elements.
2. Lighting in entryways and doorways and other highly visible public areas should match the original fixtures where possible, or be designed in a manner that is compatible with the historic building and with the district.
3. Bathing a historic building with light or the use of exterior spotlights on the major facade is discouraged, unless historic precedence exists to support such display.

Findings for A6-1g: There are no existing exterior light fixtures, and none are proposed. *This guideline is not applicable.*

Introduction: Awnings, Canopies, and Marquees. Traditionally, awnings, canopies and marquees were found throughout the District. Awnings were usually sloped at an angle and were attached on the first and second levels of buildings, at entrances, and above storefronts. They should be compatible first with the building and second with the District in size, shape, color, material and overall design. Oversized, inappropriately detailed and shaped awnings, canopies or marquees detract from the historic and architectural character of the building. Though the owner is not required to create an exact duplicate of the historic

awning, canopy or marquee, the use of historic photographs of the building or the District that offer precedent for the use and design are highly encouraged in providing a basis to work from.

A6-1h. Awnings, Canopies, and Marquees.

1. Awnings, Canopies, and Marquees should enhance the character-defining features of the original building.
2. Awnings, Canopies, and Marquees should not re-orient the public's perception of the main entry to the building by over emphasizing a minor or secondary facade.
3. Two-story awnings, extremely long horizontal awnings and highly unusually shaped awnings were not part of the traditional character of the District and generally are not in harmony with the District.
4. Awnings should be placed between pilasters or in window bays, not across an entire building, and should be installed below the mezzanine windows.
5. Preferably, awnings and canopies should be made of fabric except when there is historic evidence that the original was made of a material other than fabric. Plastic and aluminum should not be used.
6. Awnings and canopies should be installed in the least destructive manner, generally with a lightweight frame, installed within the window frame. However, it must be recognized that installation of even the most sensitive awning system may result in some damage to the historic fabric. Special care should be taken to avoid harm to decorative features. Retractable awnings are acceptable.
7. Illuminated awnings of a sign-like character are not historic and should be avoided.

B6. Develop Weather Protection. Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

Findings for A6-1h and B6: No new awnings or canopies are proposed, but all entries are recessed and provide a weather protection area. *This guideline is met.*

Guidelines for Street System and Parking Improvements

Introduction: Sidewalk Improvements. An important character giving aspect of the District is the improvements in District's sidewalks. Retaining historic sidewalk details is as important to preserving the District's character as preservation of one of its buildings.

A6-1q. Sidewalk Improvements

1. When repairs are made in the vicinity of stamped sidewalk details, all intact details (even those with minor hairline cracks or flaws) should be preserved. This includes the names and dates of streets, addition names, parks, and names of contractors.
2. When possible wheelchair ramps should be located to avoid stamped details at sidewalk intersections.
3. When curb repairs are made, original horse rings or other such attachments should be reset in place. When original rings are badly damaged or missing, they should be replaced at their original spacing.
4. Maintain glass blocks installed in sidewalks.

Findings for A6-1q: No alterations to the sidewalk are currently proposed. *This guideline is not applicable.*

Introduction: Streets. The streets of the City of East Portland were paved with cobblestones during the 19th and early 20th centuries. Restoring some of the texture, which this paving imparted will enhance the District's identity and the historic quality.

A6-1r. Streets

1. Existing evidence of cobblestone streets should be retained.

2. Where streets are being rebuilt and the historic cobblestone paving has, in the past, been removed or covered over the rebuilt street should include details that use cobblestones. Where practical, and with the prior approval of the appropriate highway or street authority, cobblestone paving supports the district.

Findings for A6-1r: No streets will be rebuilt with this proposal. *This guideline is not applicable.*

Introduction: Street Light Standards and Public Utility Features. The East Portland/Grand Avenue Historic District's character will be greatly enhanced when its street lights are all Portland's distinctive cast iron standards. Other historic public utility features should also be retained.

A6-1s. Street Light Standards and Public Utility Features

1. Portland's historic twin-ornamental lighting fixtures should be retained and whenever existing street lighting is upgraded, twin-ornamentals should be installed.
2. Original public utility features, such as water meter covers, manhole covers and hydrants should be retained.

C12. Integrate Exterior Lighting. Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

Findings for A6-1s and C12: No streetlights or public utility features are proposed to be upgraded or removed. No exterior lighting is proposed. *This guideline is not applicable.*

Introduction: Street Embellishments. Street embellishments, such as historic markers, grates around trees and publicly displayed garbage cans play a significant role in creating the District's character.

A6-1t. Street Embellishments

1. Street embellishments, such as historic markers, grates around trees and garbage receptacles, should be chosen to emphasize the historic character of the District.
2. Street embellishments should be consistent through the District. If the design of such features as the grates around street trees is changed, it should be changed District-wide.
3. If one or more street trees must be replaced, they must be replaced with a tree of the appropriate species as identified in the City Forester's listing of street trees.

Findings for A6-1t: No street trees or historic markers will be removed or altered. *This guideline is not applicable.*

A8. Contribute to a Vibrant Streetscape. Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

B1. Reinforce and Enhance the Pedestrian System. Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

C7. Design Corners that Build Active Intersections. Use design elements including, but not limited to, varying building heights, changes in façade plane, large windows, awnings, canopies, marquees, signs and pedestrian entrances to highlight building corners. Locate flexible sidewalk-level retail opportunities at building corners. Locate stairs, elevators, and other upper floor building access points toward the middle of the block.

Findings: The new windows and new glazed overhead door will provide a significant increase in the amount of clear glazing along SE 6th Avenue. This will provide a

visual connection from the sidewalk and pedestrian environment into the interior of the historic building. The existing large storefront windows on the north and east facades contribute to an active intersection and vibrant streetscape and will not be altered. *This guideline is met.*

B7. Integrate Barrier-Free Design. Integrate access systems for all people with the building's overall design concept.

Findings: There are multiple points of entry to this building and at least one will be accessible and barrier-free. *This guideline is met.*

C1. Enhance View Opportunities. Orient windows, entrances, balconies and other building elements to surrounding points of interest and activity. Size and place new buildings to protect existing views and view corridors. Develop building façades that create visual connections to adjacent public spaces.

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

C8. Differentiate the Sidewalk-Level of Buildings. Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

Findings for C1, C2, C3, C4, C5, and C8: The new windows, doors and transom windows will all be custom build wood windows designed to match the existing wood storefront. These materials promote the quality and permanence of the building while respecting its historic architectural integrity. The existing wooden storefront and 2nd floor wooden windows on the north façade will be retained and provide a connection to the contributing building across the street. The new windows are integrated to achieve a coherent composition by maintaining the transom, sill height and detail, and wood materials. The entry doors will also maintain the transom windows and wooden storefront system. None of the windows on the second floor will be altered and will remain differentiated from the first floor. *These guidelines are met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all requirements of Title 11 can be met, and that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review, prior to the approval of a building or zoning permit.

CONCLUSIONS

The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of exterior alterations of the Volunteer of America building, per the approved site plans, Exhibits C-1 through C-18, signed and dated October 19, 2018, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the four required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE- Case File LU 18-187706 HR." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

Staff Planner: Meriam Rahali

Decision rendered by: Meriam Rahali **on October 19, 2018**
By authority of the Director of the Bureau of Development Services

Decision mailed October 24, 2018

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on June 15, 2018, and was determined to be complete on August 15, 2018.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on June 15, 2018.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant requested that the 120-day review period be extended 28 days, as stated with Exhibit A-6 and A-7. Unless further extended by the applicant, **the 148 days will expire on: January 10, 2019.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any

project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

This decision, and any conditions associated with it, is final. It may be appealed to the Oregon Land Use Board of Appeals (LUBA), within 21 days of the date the decision is mailed, as specified in the Oregon Revised Statute (ORS) 197.830. Among other things, ORS 197.830 requires that a petitioner at LUBA must have submitted written testimony during the comment period for this land use review. Contact LUBA at 775 Summer St NE Suite 330, Salem, OR 97301-1283 or phone 1-503-373-1265 for further information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Recording the final decision.

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded on or after **October 25, 2018** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

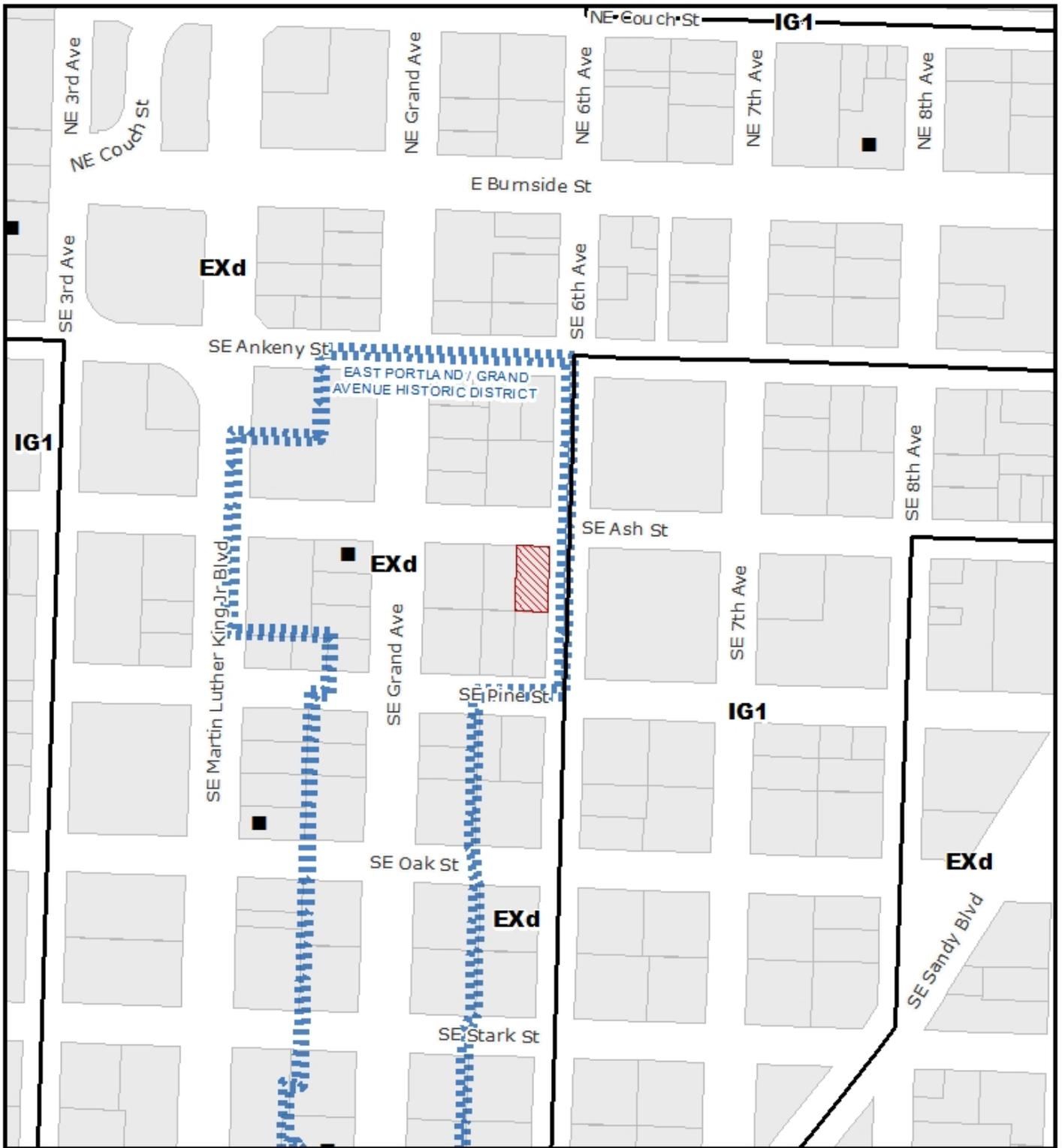
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code for the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's:
 - 1. Statement
 - 2. Original Drawings
 - 3. East Elevation, dated 7/28/2018
 - 4. Drawing Set Used for the Notice, dated 8/14/2018
 - 5. Custom Site-Built Wood Storefront Details
 - 6. Request for a 14-Day Extension, dated 9/25/2018
 - 7. Request for a 14-Day Extension, dated 10/5/2018
 - 8. Photos
 - 9. Miscellaneous Emails
 - 10. Proposed Floor Egress Diagrams
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Proposed Basement Floor Plan
 - 3. Proposed Main Floor Plan
 - 4. Proposed Second Floor Plan
 - 5. Proposed Roof Plan
 - 6. Proposed East Elevation (attached)
 - 7. Proposed North Elevation (attached)
 - 8. Existing West Elevation
 - 9. Proposed Building Section
 - 10. Proposed Building Sections
 - 11. Proposed Building Sections
 - 12. Sections at East and North Entries
 - 13. Details
 - 14. Existing Plans
 - 15. Existing Elevations
 - 16. Overhead Door Cutsheet
 - 17. Skylight Cutsheet
 - 18. Mechanical Units Cutsheets
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Life Safety Section of BDS
 - 2. Fire Bureau
- F. Correspondence: None
- G. Other:
 - 1. Original LU Application
 - 2. Incomplete Letter, dated 7/6/2018
 - 3. Oregon Historic Site Record and National Register
 - 4. Photos
 - 5. Miscellaneous Emails

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING



THIS SITE LIES WITHIN THE:
 CENTRAL CITY PLAN DISTRICT
 CENTRAL EASTSIDE SUBDISTRICT
 EAST PORTLAND / GRAND AVENUE
 HISTORIC DISTRICT

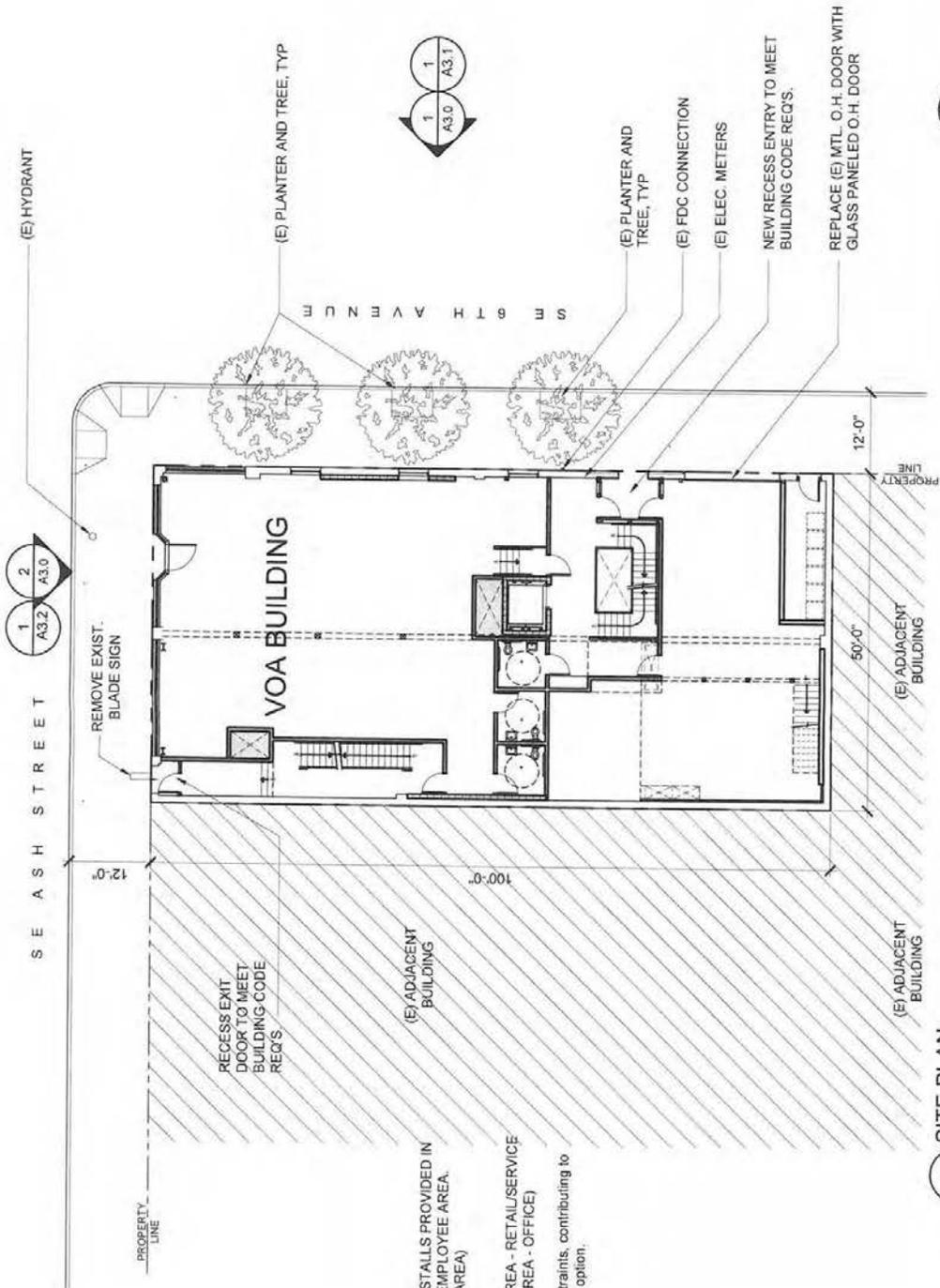


Site



Historic Landmark

File No.	LU 18-187706 HR
1/4 Section	3031
Scale	1 inch = 200 feet
State ID	1N1E35CC 6600
Exhibit	B Jun 19, 2018



BIKE PARKING (TABLE 266-6)
 LONG TERM STALLS: 4 REQUIRED - 4 STALLS PROVIDED IN BASEMENT IN CLEAR VIEW OF EMPLOYEE AREA.
 (2 PER 12,000 SQ. FT. OF BLDG AREA)

SHORT TERM STALLS: 6 REQUIRED*
 (2 PER 5,000 SQ. FT. OF BLDG AREA - RETAIL/SERVICE)
 (2 PER 40,000 SQ. FT. OF BLDG AREA - OFFICE)

*Short term bike parking: Due to site constraints, contributing to the Bicycle Parking Fund is only available option.

1 A10 SITE PLAN
 SCALE: 1/16"=1'-0"

Approved: _____
 City of Portland - Bureau of Development Services
 Date: 10/19/18
 Meriam Rahala
 This approval applies only to the reviews requested and is void without the signature of approval. Additional zoning requirements may apply.

VOA - Renovations
 538 SE Ash Street
 Portland, OR 97214

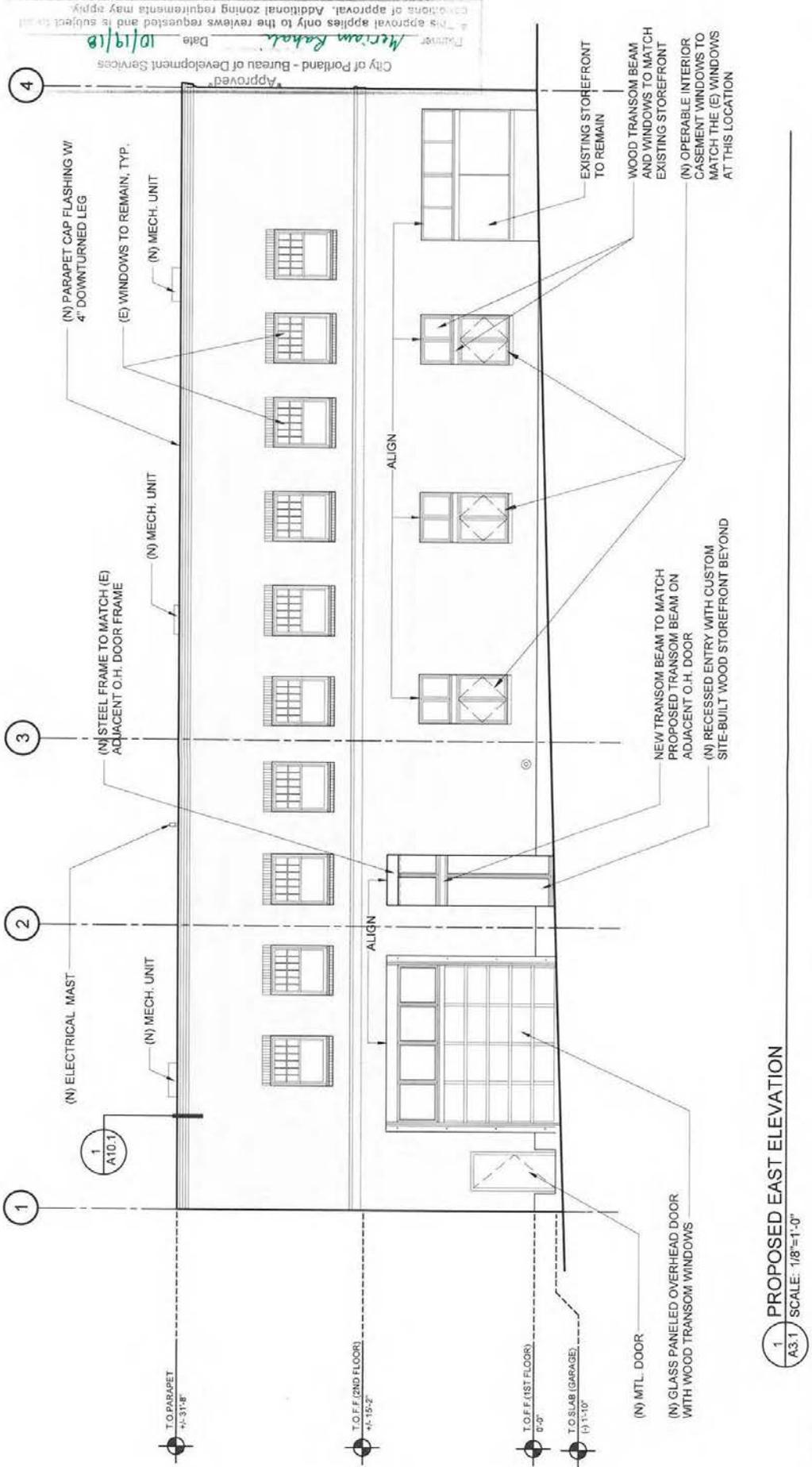
di Ioreto ARCHITECTURE llc
 200 NE 20TH AVENUE, SUITE 200
 PORTLAND, OR 97232

ISSUANCE: LU 18-187706 HR
 DATE: 10.08.18
 SCALE: AS NOTED

SHEET NO. A1.0

Exh. C.1

LU 18-187706 HR



1 PROPOSED EAST ELEVATION
A3.1 SCALE: 1/8"=1'-0"

City of Portland - Bureau of Development Services
 Approved: *Miriam Kahal* Date: *10/19/18*
 Reviewer: *Miriam Kahal*
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

VOA - Renovations
 538 SE Ash Street
 Portland, OR 97214

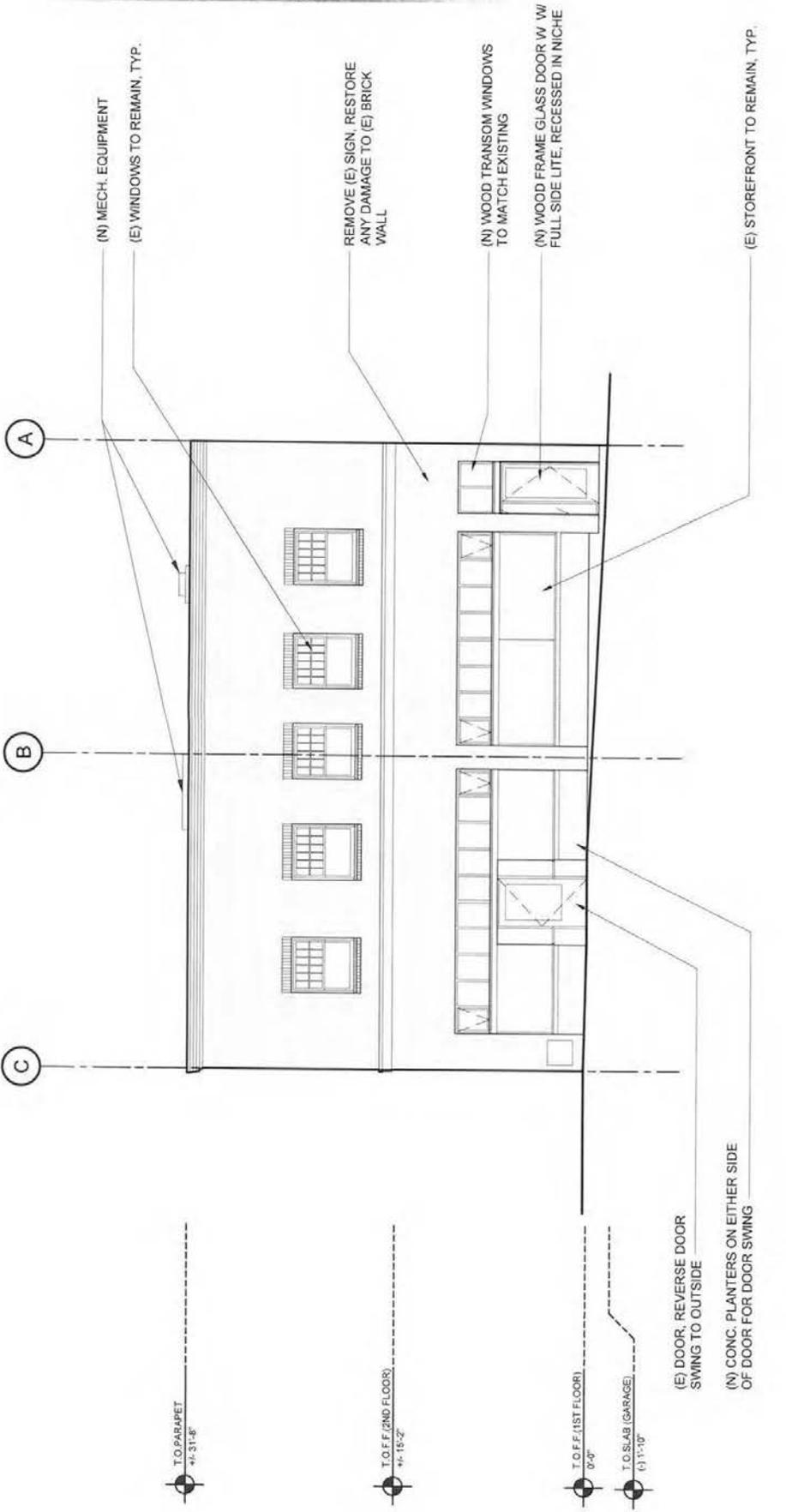
dl loreto ARCHITECTURE, llc
 200 NE 20TH AVENUE, SUITE 200
 PORTLAND, OR 97232

ISSUANCE: LU 18-187706 HR
 DATE: 10.06.18
 SCALE: AS NOTED

SHEET NO. A3.1

LU 18-187706 HR

Exh. C.6



PROPOSED EAST ELEVATION
 SCALE: 1/8"=1'-0"
 NORTH

City of Portland - Bureau of Development Services
 Approved
 Meravim Kaban
 Date: 10/19/18
 This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.

VOA - Renovations
 538 SE Ash Street
 Portland, OR 97214

dl loreto ARCHITECTURE, llc
 200 NE 20TH AVENUE, SUITE 200
 PORTLAND, OR 97232

ISSUANCE: LU 18-187706 HR
 DATE: 10.08.18
 SCALE: AS NOTED

SHEET NO. A3.2

LU 18-187706 HR

Exh. C.7