



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
Rebecca Esau, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: 10/31/2018
To: Interested Person
From: Tanya Paglia, Land Use Services
503-823-4989/Tanya.Paglia@portlandoregon.gov

NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, **we need to receive your written comments by 5 p.m. on 11/21/2018**. Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 18-219904 HR, in your letter. It also is helpful to address your letter to me, Tanya Paglia. You can also e-mail your comments to me at my e-mail address identified above. Please note that all correspondence received will become part of the public record.

CASE FILE NUMBER: LU 18-219904 HR – NEW SECOND FLOOR DORMER ON BACK OF HOUSE

Applicant: Eva D Danon
3234 NE 25th Avenue, Portland, OR 97212
evaddanon@gmail.com

Owner: Eva D Danon & Alon Danon
3234 NE 25th Avenue, Portland, OR 97212

Site Address: **3234 NE 25th Avenue**

Legal Description: BLOCK 5 LOT 19, EDGEMONT
Tax Account No.: R237501370
State ID No.: 1N1E25BB 09300
Quarter Section: 2733

Neighborhood: Alameda, contact Dave Johansen at johansendr@gmail.com. Irvington, contact Dean Gisvold at 503-284-3885.

Business District: Soul District Business Association, contact at info@nnebaportland.org
District Coalition: Northeast Coalition of Neighborhoods, contact Jessica Rojas at 503-388-5030.

Plan District: None
Other Designations: Contributing Resource in the Irvington Historic District

Zoning: **R5** – Residential 5,000 with Historic Resource Protection Overlay
Case Type: **HR** – Historic Resource Review

Procedure: **Type II**, an administrative decision with appeal to the Landmarks Commission.

Proposal:

The applicant is seeking Historic Resource Review approval for a proposal to add a second-floor rear dormer and make several window replacements on a contributing resource in the Irvington Historic District. The subject house is a single-family, one and a half-story house in the English Cottage style. It was built in 1929 and features shingle cladding with stucco, brick and half timbering accents on the front façade. The house has two existing gabled dormers and sits slightly back from the street on a 5,000 SF lot facing west onto NE 25th Ave.

The proposed alterations include the following:

- New shed dormer with six over one double hung window on second floor of east (rear) elevation with 18” shingle cladding to match existing with 12” exposure and woven corners;
- New twin casement windows on north elevation;
- Replace window in existing dormer on south elevation with new casement window; and
- New skylight on east side of roof.

Historic Resource Review is required because the proposal is for non-exempt exterior alterations in the Irvington Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- 33.846.060.G *Other approval criteria*

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on August 14, 2018 and determined to be complete on 10/26/2018.

DECISION MAKING PROCESS

The Bureau of Development Services will make a decision on this proposal.

After we consider your comments we will do one of the following:

- Approve the proposal;
- Approve the proposal with conditions; or
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment by making a request online or contacting me.

- Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. Copies of all information in the file can be obtained for the cost of making copies during the appointment.

- If you would like to request a copy of the file online, please visit <https://www.portlandoregon.gov/bds/54732>. The fee for this service varies based on the size of the case file and how long it would take to scan or copy documents.
- I can provide some information over the phone or through email.

Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandoregon.gov.

APPEAL PROCESS

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Landmarks Commission. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

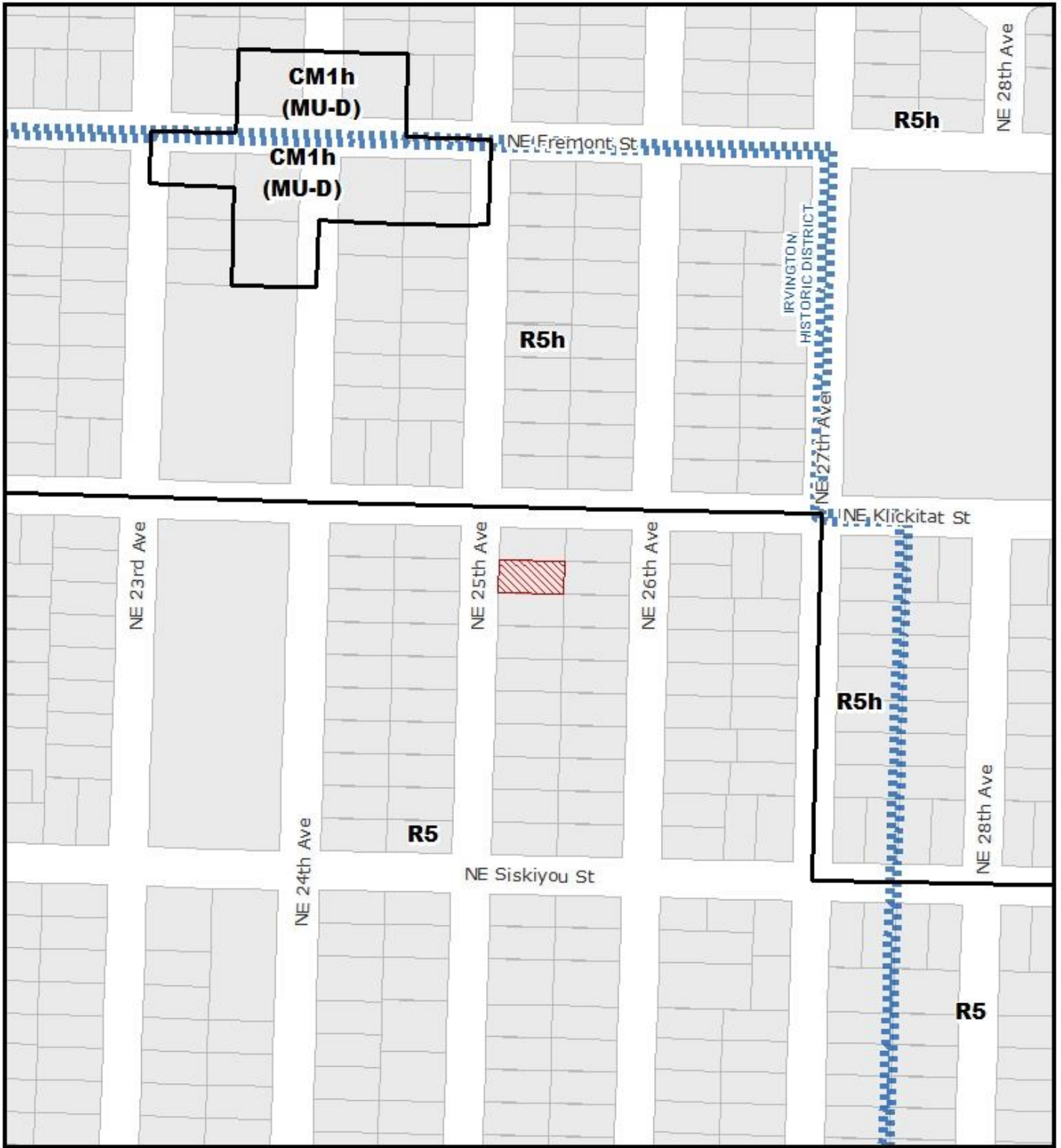
There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

APPEAL OF THE FINAL CITY DECISION

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures: Zoning Map; Site Plan; Existing Elevations – North, South, East; Proposed Elevations – North, South, East



ZONING



THIS SITE LIES WITHIN THE:
IRVINGTON HISTORIC DISTRICT

File No.	LU 18-219904 HR
1/4 Section	2733
Scale	1 inch = 200 feet
State ID	1N1E25BB 9300
Exhibit	B Aug 16, 2018

The Design Department
 Creating Your Perfect Space

Pat Stauer
 Designer
 3234 NE 25th Ave
 Portland, Oregon 97212
 503.332.3798

ASBUILT PLANS OF:
 3234 NE 25th Ave
 Portland, Oregon 97212

Asbuilt Elevations

REVISIONS

NO.	DATE	DESCRIPTION
	02.01.17 <td> </td>	

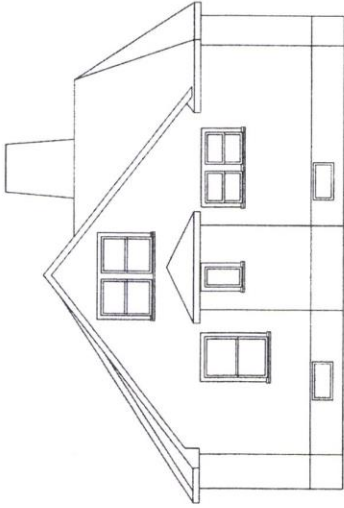
DATE: 02.01.17
 DATE LAST PRINTED: 03/17

PROJECT NO: 0317

SHEET

2

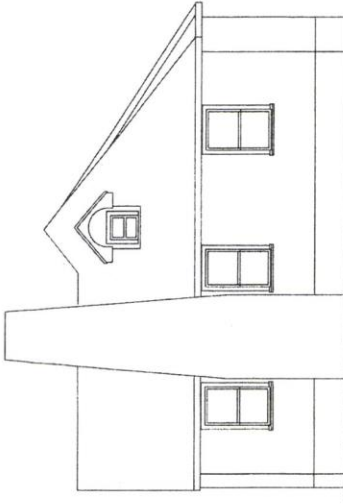
ASBUILT



NORTH ELEVATION

1

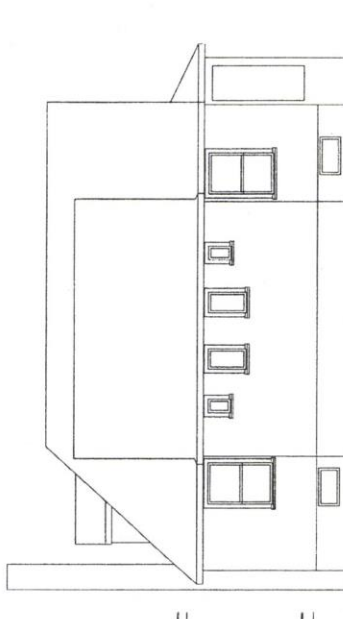
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

1

SCALE: 1/4" = 1'-0"



EAST ELEVATION

1

SCALE: 1/4" = 1'-0"

LU 18-219904 HR

LV18 - 21 9904HR

The Design Department
 1100 NE Oregon Street
 Portland, Oregon 97232

Pat Sauer Designer
 PO Box 639
 Lake Oswego, Oregon 97034
 503.535.3796

Remodel Plans:
 324 NE 25th Ave
 Portland, Oregon 97212

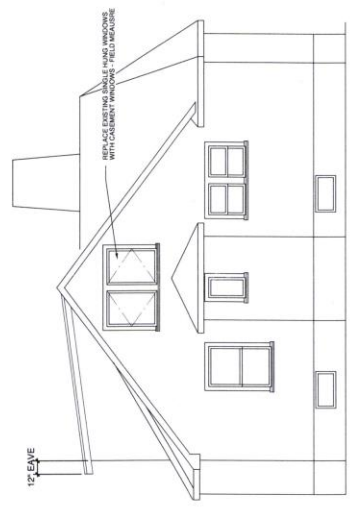
Shed Dormer
 Exterior
 Elevations

REVISIONS
02.13.17
03.17.17
09.20.17
10.17.18
10.26.18
02.01.17

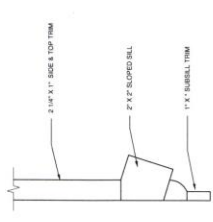
DATE LAST PRINTED
 PROJECT NO
 0317

SHEET
4

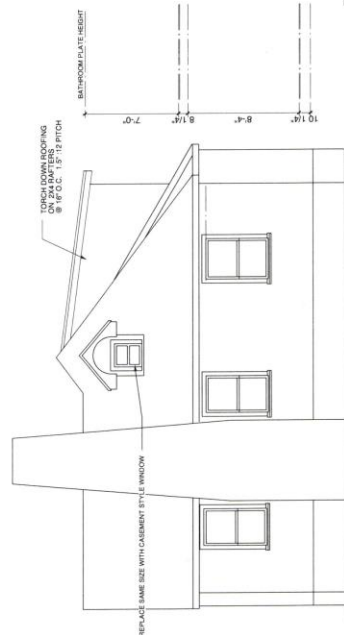
ABBREVIATIONS
 1/4" = 1'-0" FINISH
 1/8" = 1'-0" NEW



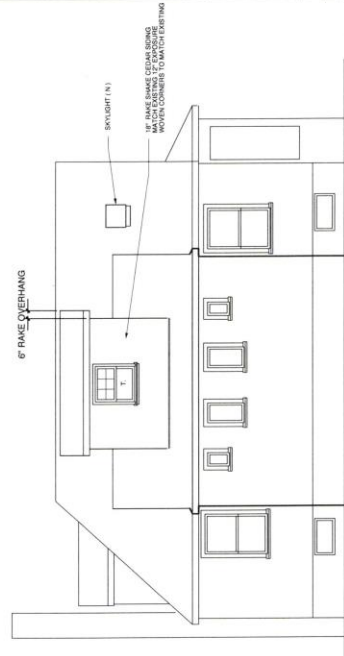
3 NEW NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



4 EXISTING WINDOW TRIM PROFILE
 SCALE: 3/4" = 1'-0"



2 NEW SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



1 NEW EAST ELEVATION
 SCALE: 1/4" = 1'-0"

ATTENTION FRAMER!
 SEE OTHER SHEETS FOR
 STRUCTURAL
 INFORMATION

NOTE:
 Written dimensions on this drawing shall take precedence over any other dimensions shown on these drawings. Any such variation shall be the responsibility of the Contractor. The Contractor shall accept full responsibility for cost to rectify same.

LU 18-219904 HR