



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor  
Rebecca Esau, Director  
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[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** February 14, 2019  
**To:** Interested Person  
**From:** Rodney Jennings, Land Use Services  
503-823-5088 / [Rodney.Jennings@portlandoregon.gov](mailto:Rodney.Jennings@portlandoregon.gov)

## **NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

### **CASE FILE NUMBER: LU 18-258928 AD**

#### **GENERAL INFORMATION**

**Applicant:** Kraig Lemay  
Mountainwood Homes  
8324 SW Nimbus Ave  
Beaverton OR 97008

**Owners:** Robert G. Martindale & Gwyneth L. Paulson  
619 NW Alpine Ter  
Portland, OR 97210

**Site Address:** 619 NW ALPINE TER

**Legal Description:** BLOCK 25 SLY 35' OF LOT 5 NLY 25' OF LOT 6 SLY 10' OF NLY 35' OF LOT 6 EXC WLY 4', KINGS HTS & RPLT

**Tax Account No.:** R452004970  
**State ID No.:** 1N1E32AC 09400  
**Quarter Section:** 2926

**Neighborhood:** Hillside, contact Kevin Kohnstamm at [kevin.kohnstamm@comcast.net](mailto:kevin.kohnstamm@comcast.net)  
**Business District:** None  
**District Coalition:** Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

**Plan District:** None

**Zoning:** R7 – Single Dwelling Residential 7,000 Zone

**Case Type:** AD – Adjustment

**Procedure:** Type II, an administrative decision with appeal to the Adjustment Committee.

**Proposal:**

The applicant is proposing to create a second level storage space above an existing garage facing NW Alpine Terrace by replacing the existing flat roof with a gable roof. The applicant is also proposing to add a staircase inside the garage to allow access to the storage area from inside the garage.

Per Portland Zoning Code Section 33.110.220, the required setback from side lot lines at this site is 5'. The existing garage is located 3' from the south lot line, which is within the required 5' side setback. The second level storage addition also is proposed to be located 3' from the south lot line, and the eaves of the pitched roof are proposed to be located 2' 8" from the south lot line. An Adjustment to Section 33.110.220 is required to allow the second level addition and eaves within the required 5' setback.

Per Portland Zoning Code Section 33.266.120.D.1, a parking space is required to be at least 9' wide by 18' deep. The width of the interior of the existing garage is 18' 3", which is wide enough to allow for two 9' wide parking spaces within the garage. The addition of the interior staircase that will provide access to the new second level storage area will allow for only one 9' wide by 18' deep parking space within the garage. An Adjustment to Section 33.266.120.D.1 is required to allow a 2<sup>nd</sup> parking space within the garage that is less than 9 feet wide. The width of this 2<sup>nd</sup> space inside the garage will be approximately 6' 3".

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33. Adjustment requests will be approved if the review body finds that the applicant has shown that approval criteria A. through F. of Section 33.805.040, Adjustment Approval Criteria, have been met.

**ANALYSIS**

**Site and Vicinity:** The site includes two tax lots that are each 7,700 square feet in area, for a total area of 15,400 square feet. The site slopes steeply up from NW Alpine Terrace, with a grade from front line to rear lot line exceeding 40%. There is an existing house located at the rear higher portion of the site. An existing asphalt driveway leads up to an existing detached carport and paved vehicle area located north of this house. There is also a paved pathway and stairs leading up to the main entrance of the house from NW Alpine Terrace. The existing garage that is the subject of this Adjustment request is built into the hillside facing NW Alpine Terrace. It is set back 15' 9" from NW Alpine Terrace. There is a 3' wide staircase path leading up along the south side of this garage and beyond to the existing house. The hillside between the garage and the house is landscaped with shrubs and groundcover. NW Alpine Terrace, on which the site is located, runs upwards for about 540', connecting NW Ariel Terrace, at about 550' elevation, with NW Macleay Boulevard, at about 630' elevation. Development along NW Ariel Terrace consists of single family dwellings. Most of the dwellings along the east side of NW Alpine Terrace are built close to the street at the top of the slope that runs from NW Alpine Terrace down to NW Ariel Terrace and include attached two car garages also located close to the NW Alpine Terrace. Along the west side of NW Alpine Terrace, existing dwellings include a mix of houses facing NW Alpine Terrace with one and two car attached garages built close to the street and other houses on through lots with main entrances and garages facing NW Macleay Terrace, which is located upslope from NW Alpine Terrace.

**Zoning: Residential 7,000 (R7)**

The R7 zone is a medium density single-dwelling zone. The R7 Zone allows attached and detached single-dwelling structures and duplexes.

**Land Use History:** City records indicate there are no prior land use reviews for this site.

**Agency Review:** A "Notice of Proposal in Your Neighborhood" was mailed **January 10, 2019**. The following Bureaus have responded with no issues or concerns:

- Bureau of Environmental Services (Exhibit E.1);
- Bureau of Transportation (Exhibit E.2);
- Fire Bureau (Exhibit E.3);
- Site Development Section of BDS (Exhibit E.4);
- Life Safety Section of BDS (Exhibit E.5); and
- Water Bureau (Exhibit E.3).

**Neighborhood Review:** No written responses have been received from either the Neighborhood Association or notified property owners in response to the Notice of Proposal. The applicant provided 2 letters in support of the proposal (Exhibit A.2). One letter is signed by the owner of the property abutting the site on the south. The other letter is signed by the owner of the property across the street from the site.

## ZONING CODE APPROVAL CRITERIA

### 33.805.040 Approval Criteria

Adjustment requests will be approved if the review body finds that the applicant has shown that approval criteria A. through F. below have been met.

- A.** Granting the adjustment will equally or better meet the purpose of the regulation to be modified; and

**Findings:** The applicant is requesting an Adjustment to **Section 33.110.220, Setbacks**, to build an upper level addition to an existing garage located 3' from the south side lot line, with eaves located 2' 8" from the south lot line. The purposes for this regulation, followed by findings addressing how these purposes are equally or better met, are as follows:

*The building setback regulations serve several purposes:*

- *They maintain light, air, separation for fire protection, and access for fire fighting;*

At its closest point, the footprint of the existing garage is sited 10' away from the existing house located on the lot south of the site. The base of this house is located on a hill 6' to 8' above the base of the garage, such that the existing roof of the garage is about equal to the existing ground floor of the house. The house on the adjacent south lot is also set back just a few feet from NW Alpine Terrace, whereas the garage on the subject site is set back 15' 9" from NW Alpine Terrace. Due to the existing 10' separation between this house on the adjacent south lot and the subject garage, and the difference in slope between this house and the garage, light and air will be maintained with the upper level gable roof addition to the garage. Maintenance of views is not a purpose of the setback regulations. However, eastward views from the first floor windows of the adjacent house will be maintained with the garage addition, as the first floor windows of this house are located towards the front of the house, forward of the garage. The applicant provided a letter signed by the owner of this adjacent house, indicating no concerns with the change in the roofline of the garage (Exhibit A.2). The Fire Bureau (Exhibit E.3) response indicates no concerns with this request, and access to garage for fire fighting is available from NW Alpine Terrace. The Life Safety Section of BDS (Exhibit E.5) does not object to approval of the Adjustments, indicating that separation for fire protection is adequate.

- *They reflect the general building scale and placement of houses in the City's neighborhoods;*

There are steep slopes on lots facing both sides of NW Alpine Terrace and, consequently, the majority of the houses facing this street are set back 0' to 10' from the front lot lines. Most of these houses also include attached two car garages with designs that are architecturally consistent with the respective houses. Unlike these other houses, the existing house on the subject site is set back over 70' towards the back of the lot on flat area upslope from the street, and the garage is located towards the front at the NW Alpine Terrace street level. The new street facing façade proposed with the upper level

storage area addition to the garage includes a gable with windows that match in form the most prominent gable on the existing house.



The addition of the gable roof to the garage will match the pattern and placement of existing houses in this neighborhood that include two car garages close to the street that are similar in style to the respective houses. This purpose is equally or better met.

- *They promote a reasonable physical relationship between residences;*

The existing footprint of the garage is 3' from the south lot line and is 10' from the house on the neighboring south lot at its closest point. A separation of 10' is a typical and expected pattern of separation between structures in Portland's residential neighborhoods and this reasonable physical relationship exists now and will continue to exist with approval of the Adjustment to the south lot line setback requirement. Furthermore, the gable end faces the street, allowing the tallest portion of the roof to be approximately 13' from the south side lot line. This purpose is equally or better met.

- *They promote options for privacy for neighboring properties;*

The south wall of the garage with the added upper story storage area that is proposed with the south side setback faces an existing exterior staircase and path located in the south side yard. There are no windows, doors, or other openings proposed in this south wall that would alter or reduce existing options for privacy on the adjacent property located south of this site. This purpose is equally met.

- *They require larger front setbacks than side and rear setbacks to promote open, visually pleasing front yards;*

This purpose is specific to the front setback standards and is not applicable to this request for an Adjustment to the side yard setback. The garage is existing, and no Adjustment to the front yard setback standards is requested. As this site is a steeply sloping lot, the required front setback for dwellings may be reduced to 10 feet, and the garage entrance setback to 5 feet. However, the existing garage is set back 15' 9" from the front lot line at its closest point, which would comply with the front setback requirement in the R7 zone of 15' that would apply if this site was not a steeply sloping lot.

- *They provide adequate flexibility to site a building so that it may be compatible with the neighborhood, fit the topography of the site, allow for required outdoor areas, and allow for architectural diversity; and*

The proposal is to add an upper level storage room above an existing garage structure located within the south side setback. The existing garage is located at the street level of a steeply sloping lot. The proposal includes adding an attractive gable roof to the existing flat roofed garage, which provides architectural diversity. Consistent with and equally meeting this purpose, approval of the Adjustment will provide the flexibility to modify the existing garage in a manner that fits the existing steep topography of the site and that adds architectural diversity to the garage.

- *They provide room for a car to park in front of a garage door without overhanging the street or sidewalk, and they enhance driver visibility when backing onto the street.*

This purpose is specific to the garage entrance setback standards and is not applicable to this request for an Adjustment to the side yard setback. The garage is existing, and no Adjustment to the setback standard for garages is requested. As this site is a steeply sloping lot, the minimum required garage entrance setback is 5 feet and the existing garage entrance setback, which ranges from 15' 9" to 17' 3", complies with this standard.

This criterion is met for the requested Adjustment to reduce the setback for upper level garage addition to 3' and to reduce the setback for the eaves to 2' 8".

The applicant is also requesting an Adjustment to **33.266.120, Development Standards for Houses and Duplexes**. Specifically, the applicant requests an Adjustment to the standard in section 33.266.120.D.1 that requires that a parking space be at least 9' wide by 8' deep. At present, there are two parking spaces inside the garage that are at least 9' wide by 8' deep. The applicant's proposal includes constructing an internal stairway from the ground floor of the garage to the new upper level storage area. Construction of the stairway will reduce the width of one of the internal parking spaces to approximately 6' 3". The purpose statement for this regulation is as follows:

*Purpose: The size and placement of vehicle parking areas are regulated in order to enhance the appearance of neighborhoods.*

As the parking space is located within the existing garage, it is not visible to the surrounding neighborhood and, therefore, a reduction in the width of the space will have no impact on the appearance of the neighborhood. Maintaining the additional 2<sup>nd</sup> space within the garage will allow the existing garage door to be maintained as is, as City policy is to require the removal of garage doors if they do not access a parking space. The reduced width will still allow the use of the space as functional parking space. The minimum required number of off-street parking spaces at this site is one. One space that provides the required width of 9' and depth of 8' will continue to be provided in the garage. With this space and reduced width of remaining space, there will still be about 15.25' within the garage to park two smaller vehicles. Per the table below, the average width of a compact car is about 5.87'.

**Model Year 2018 Compact Car Dimensions**

<b>Compact Car Make and Model</b>	<b>Width</b>
Chevrolet Cruze	5.88'
Ford Focus	5.98'
Honda Civic	5.9'
Hyundai Elantra	5.9'
Kia Forte	5.84'
Mazda 3	5.89'
Nissan Sentra	5.83'

Subaru Impreza	5.83'
Toyota Corolla	5.83'
Volkswagen Jetta	5.83"
<b>Average</b>	<b>5.87'</b>

Source: Kelley Blue Book

Two compact cars with a combined width of 11.74' therefore could be parked in the garage and leave about 3.5' open for maneuvering and entering and exiting the vehicles. The existing two car garage door does not detract from the appearance of the neighborhood as most of the houses fronting this section of NW Alpine Terrace include 2 car garages with doors facing close to the street. As this approval will not change the existing appearance of the garage facing the street, this purpose is met, and the criterion is met for the request to reduce the width of one of the interior parking spaces to approximately 6' 3".

- B.** If in a residential, CI1, or IR zone, the proposal will not significantly detract from the livability or appearance of the residential area, or if in an OS, C, E, I, or CI2 zone, the proposal will be consistent with the classifications of the adjacent streets and the desired character of the area; and

**Findings:** There are steep slopes on lots facing both sides of NW Alpine Terrace and, consequently, the majority of the houses facing this street are set back 0' to 10' from the front lot lines. Most of these houses also include attached two car garages with designs that are architecturally consistent with the house. Unlike these other houses, the existing house on the subject site is set back over 70' towards the back of the lot on flat area upslope from the street, and the garage is located towards the front at the NW Alpine Terrace street level. The new street facing façade proposed with the upper level storage area addition to the garage includes a gable with windows that match in form the most prominent gable on the existing house. The addition of the gabled roof to the garage will enhance the appearance of this residential area by matching the pattern and placement of existing houses in this neighborhood that include two car garages close to the street that are similar in style to the houses.

Approval of the Adjustment to the south side setback will have no impacts on livability in the residential area. As discussed more fully in the findings under Criterion A, above, light, air, and options for privacy will be maintained on the lot south of the site, the property with the greatest potential to suffer impacts on livability due to the approval of the setback Adjustment.

This criterion is met for the Adjustment to reduce the south side setback for the upper level garage addition and eaves.

The proposed reduced width parking space is located inside the existing garage, and approval of this Adjustment will have no impact on the appearance of the residential area external to the garage. The required minimum number of parking spaces required at this site is one. In addition to the two spaces in the garage, there is additional parking available at this site in the vehicle area and carport located to north of the house. Allowing a reduced width for one parking space will not lead to livability impacts in the residential neighborhood related to on-street parking on neighborhood streets, as there is already more than the required number of off-street parking spaces located on the site. This criterion is met for the Adjustment to reduce the required width of one of the parking spaces in the garage from 9' to 6' 3".

- C.** If more than one adjustment is being requested, the cumulative effect of the adjustments results in a project which is still consistent with the overall purpose of the zone; and

**Findings:** R7 is a single-dwelling zone. Per Zoning Code Section 33.110.010, the purpose of the single-dwelling zones is to preserve land for housing and provide housing opportunities for individual households. The cumulative impact of approval of the two Adjustments to the south side setback requirement and to the parking space width requirement is consistent with this overall purpose in that approval will not reduce land available for housing on this lot which is already developed with housing, and will provide additional interior storage space for the existing house which will benefit this and future households residing at the site. This criterion is met.

**D.** City-designated scenic resources and historic resources are preserved; and

**Findings:** City designated resources are shown on the zoning map by the ‘s’ overlay; historic resources are designated by a large dot, and by historic and conservation districts. There are no such resources present on the site. Therefore, this criterion is not applicable.

**E.** Any impacts resulting from the adjustment are mitigated to the extent practical; and

**Findings:** There are no discernible impacts that would result from granting the requested adjustment. This criterion is met.

**F.** If in an environmental zone, the proposal has as few significant detrimental environmental impacts on the resource and resource values as is practicable;

**Findings:** Environmental overlay zones are designated on the Official Zoning Maps with either a lowercase “p” (Environmental Protection overlay zone) or a “c” (Environmental Conservation overlay zone). As the site is not within an environmental zone, this criterion is not applicable.

## DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all requirements of Title 11 can be met, and that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review, prior to the approval of a building or zoning permit.

## CONCLUSIONS

The proposed upper level addition to the existing garage includes a gabled roof with a window pattern matching the existing house. It is set at the street level below and behind the neighboring house on the lot south of this site. This design and position of the garage with the addition work to create an attractive street presence that is similar to other house facing NW Alpine Terrace in the neighborhood. The position of the garage with the upper level addition preserves light, air, fire access and safety, and options for privacy to the neighboring lot to the south. The reduced width of one of the existing two parking spaces in the garage will still allow for parking by a compact vehicle in the garage along with a larger vehicle.

## ADMINISTRATIVE DECISION

Approval of the following Adjustments:

- Reduce the minimum required building setback from the south side lot line (33.110.220 and Table 120-4) from 5’ to 3’ for the second level addition to the garage and 2’ 8” for the eaves; and

- Reduce the minimum required width of a non-required parking space within the garage (33.266.120) from 9' to 6' 3";

per the approved site plans, Exhibits C.1 through C.5, signed and dated February 12, 2019, subject to the following condition:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.5. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 18-258928 AD. No field changes allowed."

**Staff Planner: Rodney Jennings**

**Decision rendered by:**  **on February 12, 2019.**  
By authority of the Director of the Bureau of Development Services

**Decision mailed: February 14, 2019**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on October 29, 2018, and was determined to be complete on January 7, 2019.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on October 29, 2018.

*ORS 227.178* states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: May 7, 2019.**

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the

use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed to the Adjustment Committee, which will hold a public hearing. Appeals must be filed **by 4:30 PM on February 28, 2019** at 1900 SW Fourth Ave. Appeals can be filed at the 5<sup>th</sup> floor reception desk of 1900 SW 4<sup>th</sup> Avenue Monday through Friday between 8:00 am and 4:30 pm. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Adjustment Committee is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Adjustment Committee an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Recording the final decision.**

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **February 28, 2019** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

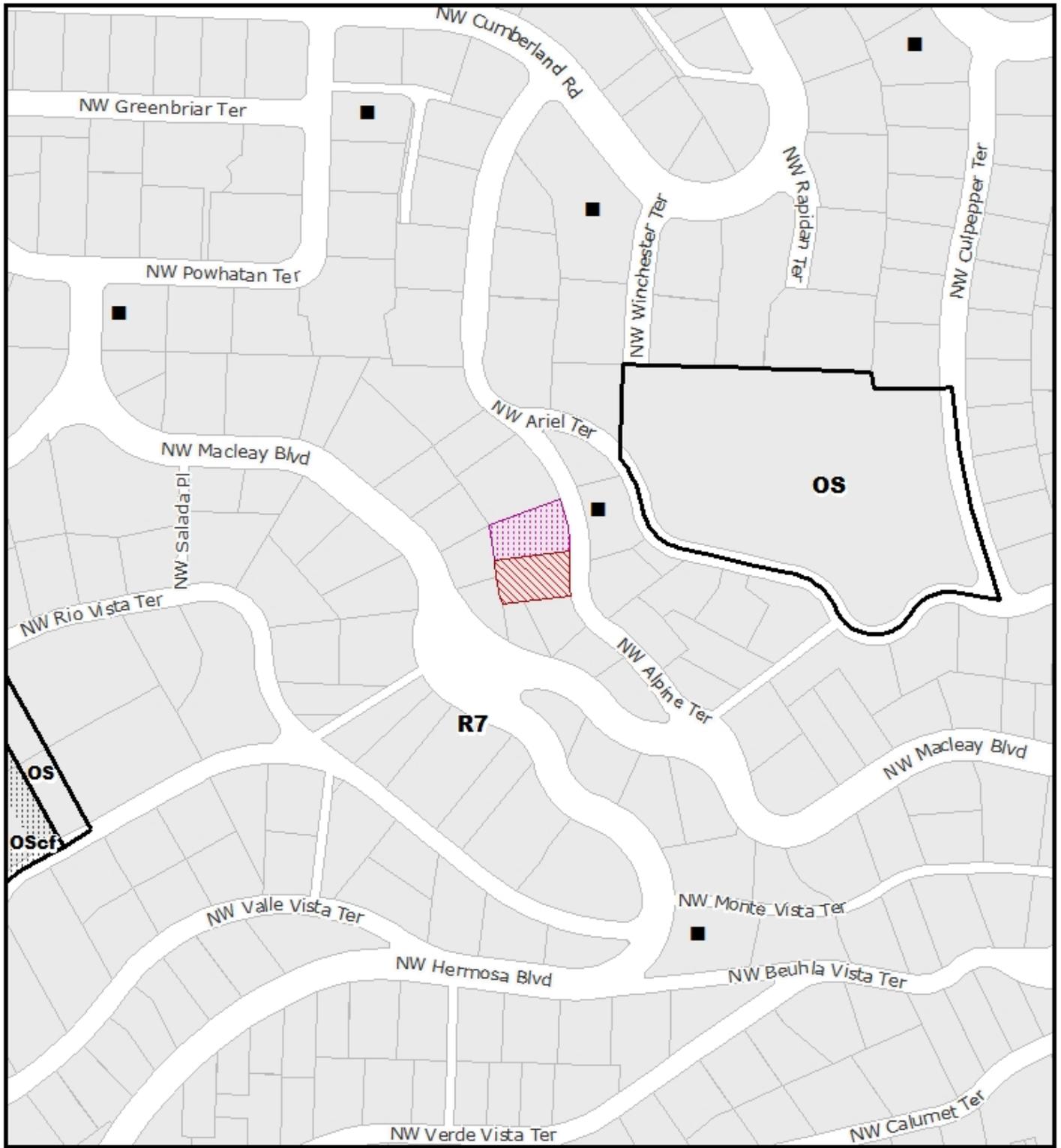
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

#### **EXHIBITS**

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statements
  1. Applicant's original statement and plans, received October 29, 2018
  2. Applicant's revised statement and letters of support, received December 20, 2018
- B. Zoning Map (attached)
- C. Plans/Drawings:
  1. Site Plan (attached)
  2. East (Front) Elevation (attached)
  3. West (Rear) Elevation (attached)
  4. South (Side) Elevation (attached)
  5. North (Side) Elevation (attached)
  6. Project info, schedules, & site plan – large scale
  7. Existing Plans & elevations – large scale
  8. Floor plans – large scale
  9. Exterior elevations – large scale
  10. Building sections & details – large scale
  11. Structural details – large scale
- D. Notification information:
  1. Mailing list
  2. Mailed notice
- E. Agency Responses:
  1. Bureau of Environmental Services
  2. Bureau of Transportation
  3. Fire Bureau
  4. Site Development Review Section of BDS
  5. Life Safety Section of BDS
  6. Water Bureau
- F. Correspondence:
  - None Received.
- G. Other:
  1. Original LU Application & Receipt
  2. Incomplete Letter

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**



# ZONING

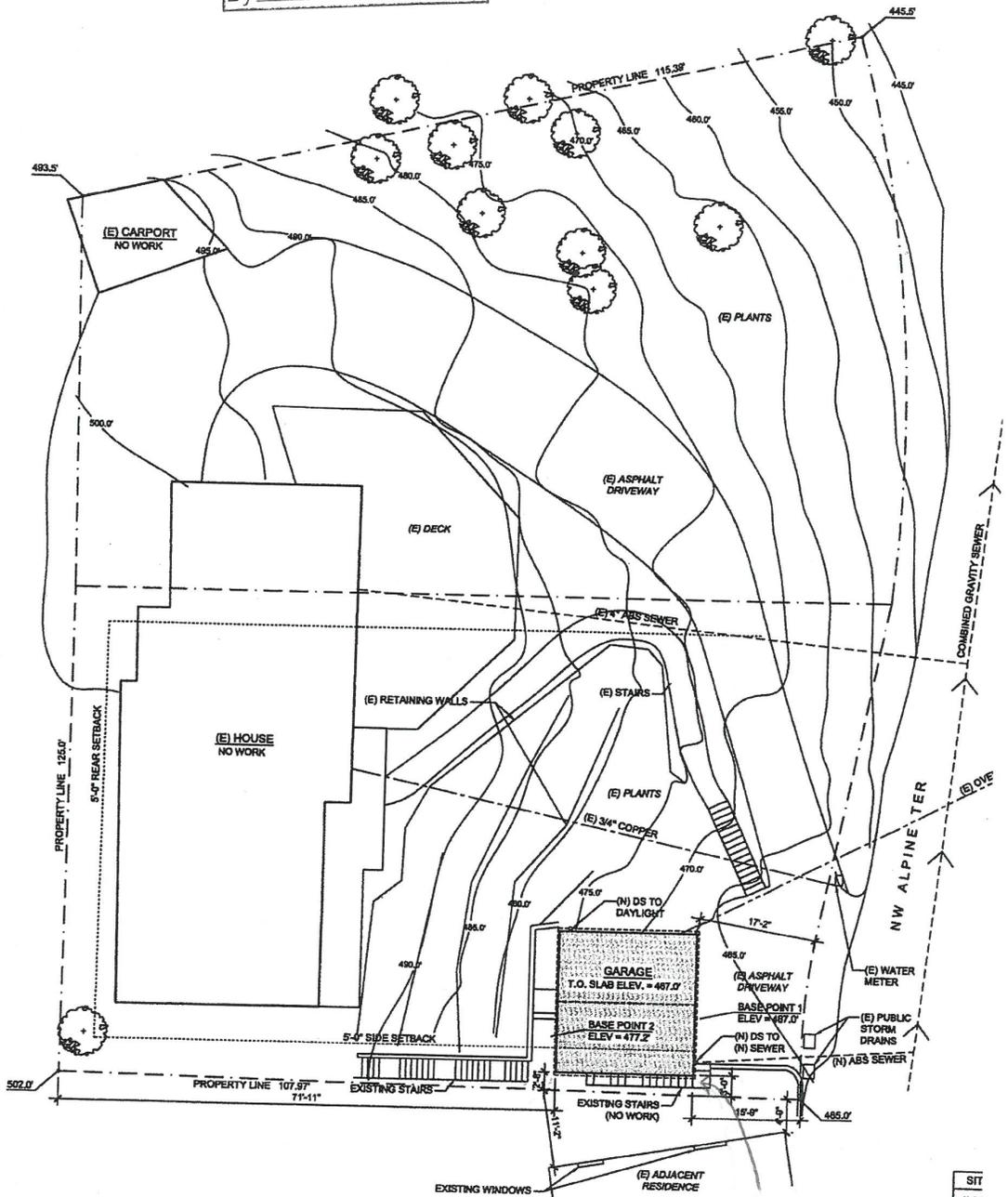


-  Site
-  Also Owned Parcels
-  Historic Landmark

File No.	LU 18-258928 AD
1/4 Section	2926
Scale	1 inch = 200 feet
State ID	1N1E32AC 9400
Exhibit	B Oct 31, 2018

RECEIVED  
 JAN 04 2019  
 By \_\_\_\_\_

Approved  
 City of Portland - Bureau of Development Services  
 Planner *Rochey Jenning* Date *2/12/2019*  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



PROPOSED 3' SETBACK  
 FOR 2ND STORY STORAGE AREA  
 AND 18" SETBACK FOR EAVES

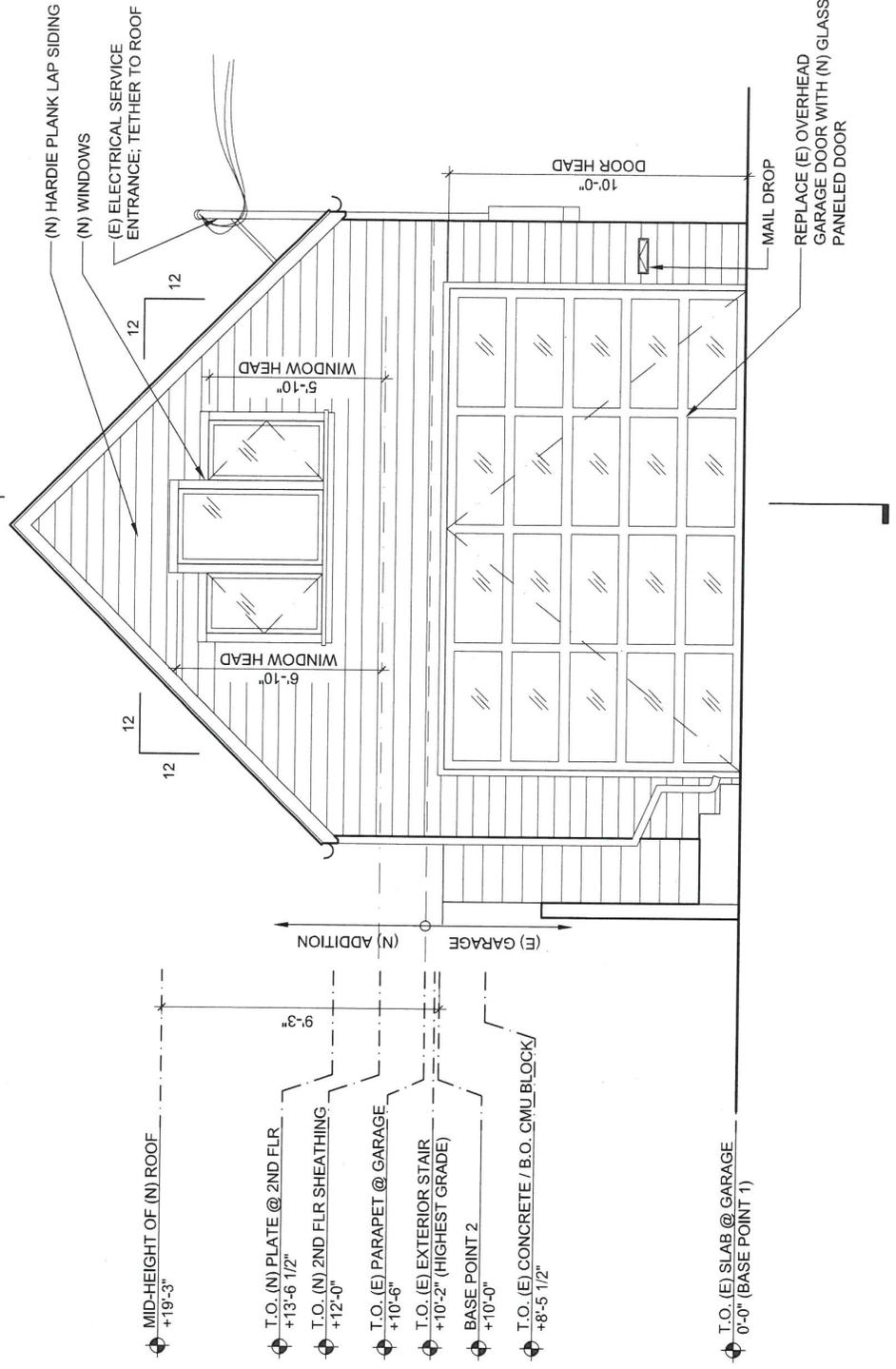
2 SITE PLAN  
 A0.0 SCALE: 1" = 10'-0"

CASE NO. 18-258922 AD  
 EXHIBIT C.1

SIT  
 1) CC  
 FOU  
 FOR



\*Approved\*  
 City of Portland - Bureau of Development Services  
 Planner Rodney Jennings Date 2/12/2019  
 \* This approval applies only to the reviews reflected and is subject to all conditions of approval. Additional zoning requirements may apply.



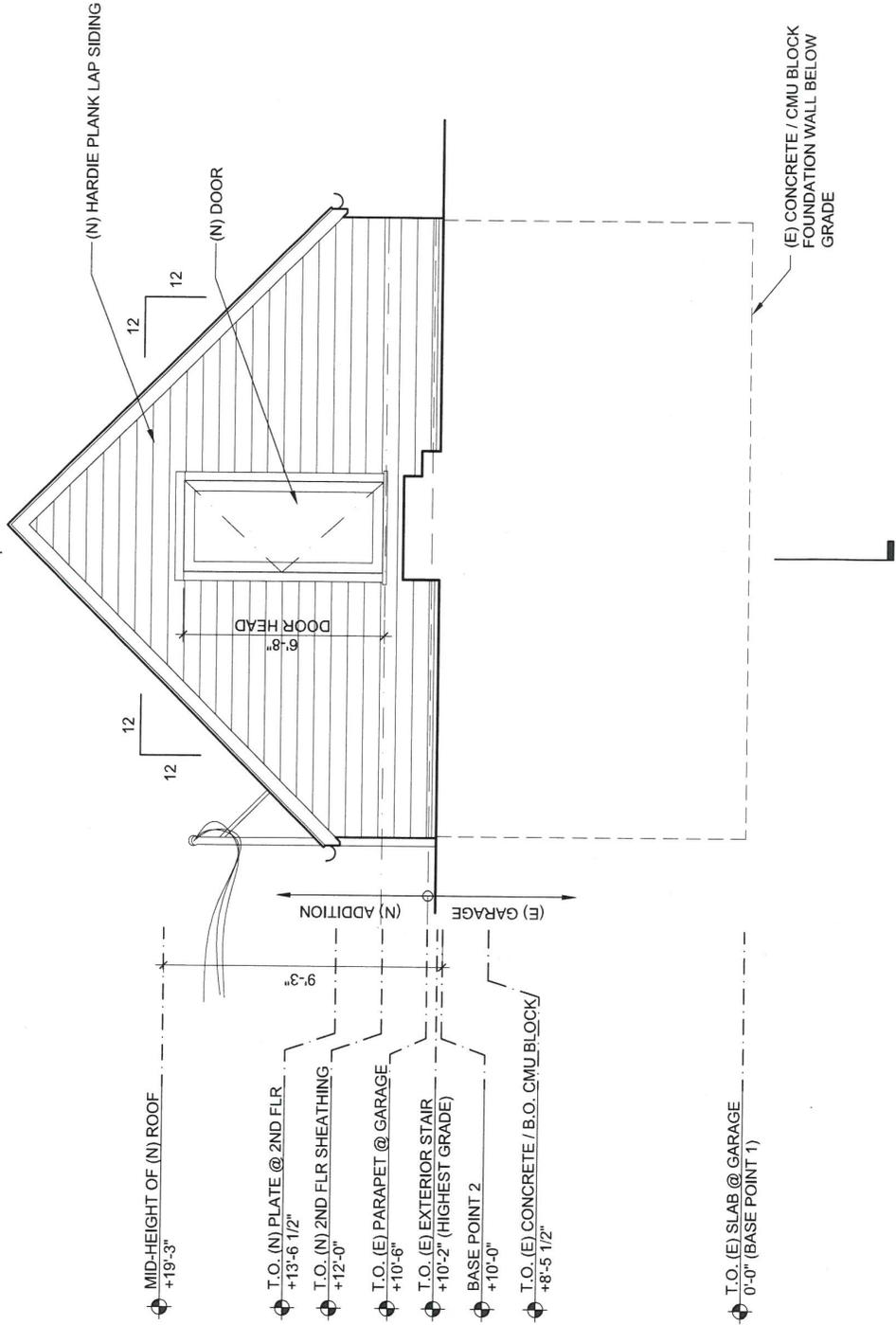
3 EAST (FRONT) ELEVATION  
 A3.0 SCALE: NTS

CASE NO. 18-255428 AD  
 EXHIBIT C.2

**RECEIVED**  
 JAN 03 2019  
 By



\*Approved\*  
 City of Portland - Bureau of Development Services  
 Planner Robney Jennings Date 2/12/2019  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



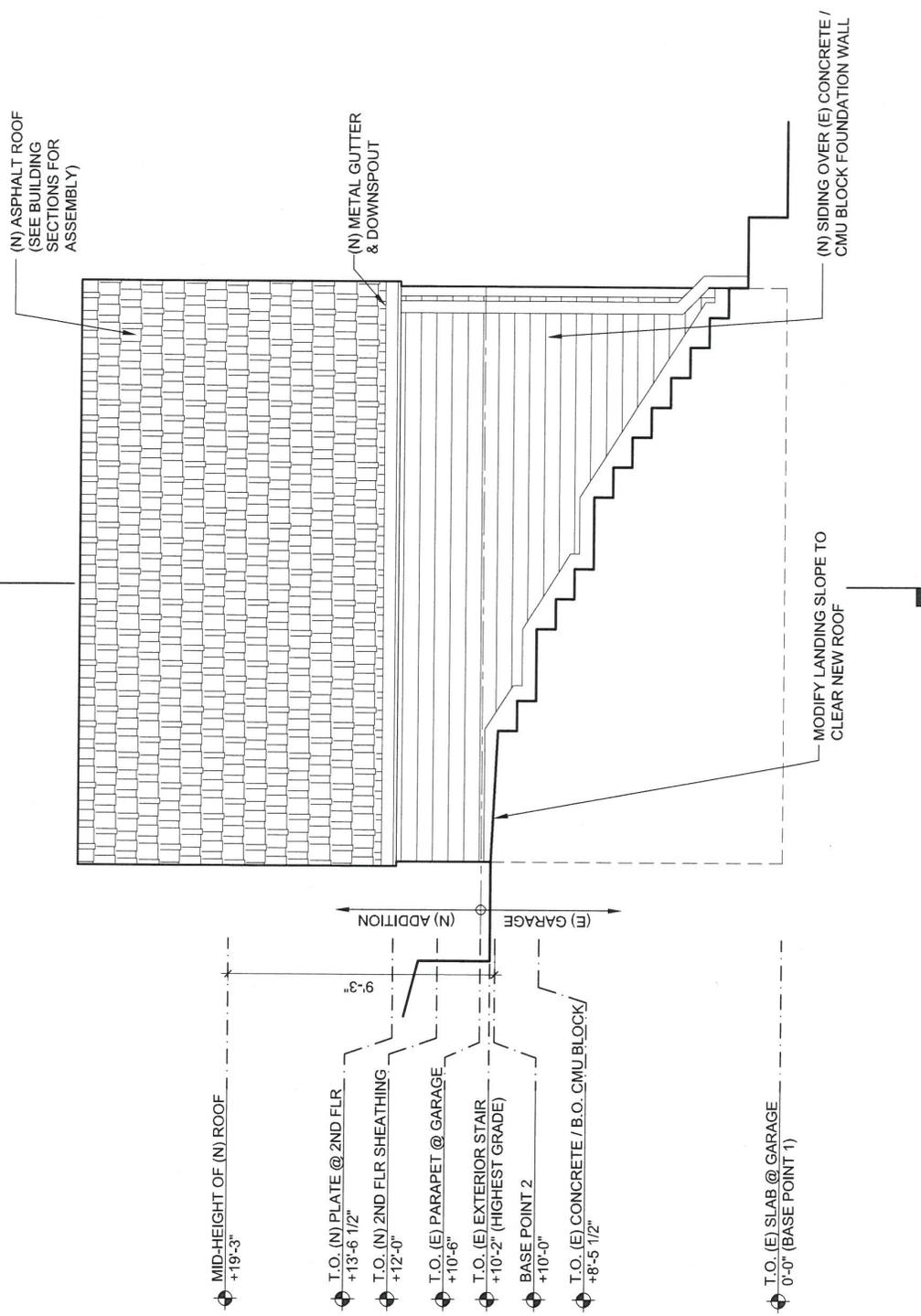
4 WEST (BACK) ELEVATION  
 A3.0 SCALE: NTS

CASE NO. 18-258923 AD  
 EXHIBIT C-3

REVIEW  
 By  
 JAN 03 2019

\* Approved\*  
 City of Portland - Bureau of Development Services  
 Planner *Rodney Jennings* Date *2/12/2019*  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

2  
 A40



- ◆ MID-HEIGHT OF (N) ROOF  
+19'-3"
- ◆ I.O. (N) PLATE @ 2ND FLR  
+13'-6 1/2"
- ◆ I.O. (N) 2ND FLR SHEATHING  
+12'-0"
- ◆ I.O. (E) PARAPET @ GARAGE  
+10'-6"
- ◆ I.O. (E) EXTERIOR STAIR  
+10'-2" (HIGHEST GRADE)
- ◆ BASE POINT 2  
+10'-0"
- ◆ I.O. (E) CONCRETE / B.O. CMU BLOCK  
+8'-5 1/2"
- ◆ I.O. (E) SLAB @ GARAGE  
0'-0" (BASE POINT 1)

1 SOUTH (SIDE) ELEVATION  
 A3.0 SCALE: NTS

CASE NO. *18-258923 AD*  
 EXHIBIT *C.4*