



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor  
Rebecca Esau, Director  
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Fax: (503) 823-5630  
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[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** February 19, 2019  
**To:** Interested Person  
**From:** Meriam Rahali, Land Use Services  
503-823-5363 / [Meriam.Rahali@portlandoregon.gov](mailto:Meriam.Rahali@portlandoregon.gov)

## **NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

### **CASE FILE NUMBER: LU 18-267806 HRM – EXTERIOR ALTERATIONS**

#### **GENERAL INFORMATION**

**Applicant/Owner:** Annie Usher | Modoc Properties LLC  
3338 NW Franklin Court | Portland OR 97210  
503-789-3209 | [annieusher@gmail.com](mailto:annieusher@gmail.com)

**Owner:** Donald B. Genasci & Sharon E. Genasci  
2217 NW Johnson St  
Portland, OR 97210-3229

**Site Address:** **2217 NW Johnson Street**

**Legal Description:** BLOCK 2 W 45' OF LOT 3&4, KINGS 2ND ADD  
**Tax Account No.:** R452300240  
**State ID No.:** 1N1E33BD 14600  
**Quarter Section:** 2927

**Neighborhood:** Northwest District, contact John Bradley at 503-313-7574.  
**Business District:** Nob Hill, contact Nob Hill at [nobhillportland@gmail.com](mailto:nobhillportland@gmail.com).  
**District Coalition:** Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

**Plan District:** Northwest  
**Other Designations:** Contributing Resource in the Alphabet Historic District, listed in the National Register of Historic Places in November 16, 2000

**Zoning:** **RH** – High Density Residential with Historic Resource Protection Overlay

**Case Type:** **HRM** – Historic Resource Review with Modification  
**Procedure:** Type II, an administrative decision with appeal to the Landmarks Commission.

**Proposal:**

The applicant is seeking Historic Resource Review approval for exterior alterations of a contributing resource built in 1907 and located in the Alphabet Historic District. The proposal includes the following:

1. East Elevation:
  - Installation of three new basement windows: one replacement, one new window in a new opening, and one new window in an enlarged existing opening.
2. North Elevation:
  - Removal and replacement of the one-story back porch/pantry enclosure with a two-story addition, including a new 1<sup>st</sup> floor wood French door, a 1<sup>st</sup> floor original wood window, and a new 2<sup>nd</sup> floor wood window.
  - Replacement of existing 1<sup>st</sup> floor fixed doors with a new wood French door.
  - Removal of a 2<sup>nd</sup> floor window.
  - Replacement of an attic window with a new enlarged casement wood window.
  - Installation of a new wood deck and guardrail.
3. West Elevation:
  - Removal of an entire set of four original windows at the 2<sup>nd</sup> floor master bedroom and replacement with one of the four original wood window in a smaller wall opening.
  - Removal and replacement of the one-story back porch/pantry enclosure with a two-story addition that includes a new 2<sup>nd</sup> floor window.
  - New skylight on the new roof addition.
4. Front of Property:
  - Replacement of the existing concrete retaining wall located in the front right-of-way of the house with a new concrete retaining wall. This new wall is proposed to allow an opening to a new driveway that will run along the east property. The retaining wall is proposed three feet from the east property line.

Modification requests [PZC 33.846.070]:

1. Increase the amount that the eaves of the new addition can project into the 5' side setback to more than 20%, or from a maximum of 1' to 2' into the setback (33.120.220.D.1.a).

Historic Resource Review is required for the removal and replacement of the retaining wall, listed as a 'Noteworthy Landscape Feature' in the Historic Resource Inventory Form, per Section 33.445.320.B.2 of Title 33, Portland Zoning Code.

A detached accessory structure under 200 square feet with walls under 10 feet high is proposed at the NE corner of the site. Such structures are exempt from Historic Resource Review per Section 33.445.320.B.1.

Historic Resource Review is required because the proposal is for exterior alterations to a contributing structure within a Historic District.

*Staff Note: After the Public Notice was published, the applicant requested the following changes:*

1. *Two of the original wood windows that were proposed to be removed and replaced with new windows will be instead reused in place of the new windows. These two windows are referred as original windows in the description above.*
2. *Retrofitting glazing of all original 2<sup>nd</sup> floor windows per Exhibit Exh.A.11.*

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- *Community Design Guidelines*
- *Historic Alphabet District: Community Design Guidelines Addendum*
- *33.846.070 Modifications Considered During Historic Resource Review*

## ANALYSIS

**Site and Vicinity:** The 4,500 square foot site is located on NW Johnson Street, between NW 22<sup>nd</sup> and NW 23<sup>rd</sup> Avenues and within the Alphabet Historic District. The residential building is a contributing structure historically known as the A.S. Ellis House. It is a 1907 craftsman-style, two-and-one-half-story building. The structure is of wood construction with a concrete block foundation and wood shingle siding. The roof is gabled with significant eave overhangs and exposed rafters and purlins. The main entrance is on the NW Johnson Street-facing façade, which has a front porch with gabled roof and shingled piers and two projecting boxed bays adorning the 2<sup>nd</sup> floor. The primary window type on the west façade is nine-over-one, double-hung wood sash, and on the north, east, and west facades is casement wood windows with eight divided-lights. Both types have traditional profiles.

The site is well served by public transportation, with several options and alternatives. The street car runs two blocks to the north, on Lovejoy Street, continuing east to the Pearl District, Downtown and the University District. Frequent bus transit service operates on 21<sup>st</sup> Avenue through the #15 and on 23<sup>rd</sup> Avenue through the #15. Portland's Transportation Management Plan (TSP) classifies NW Johnson Street as City Bikeway and the area is within the Northwest Pedestrian District.

The Alphabet Historic District, recognized by listing in the National Register of Historic Places in 2000, encompasses an entire neighborhood. It is significant for associations with both individuals and historic trends, and also for its architectural expressions. The district includes a broad mix of building types, ranging from single-family residences to quarter-block apartment buildings to one and two-story commercial structures to substantial religious institutions. The period of significance is also quite broad, 1880 to 1940, meaning that a significant range of stylistic approaches, from Italianate to Art Deco, is represented. Overall district cohesiveness is supported by a regular pattern of tree-lined streets and a consistent mid-range scale of buildings punctuated by an occasional larger structure.

**Zoning:** The High Density Residential (RH) is a high-density multi-dwelling zone which allows the highest density of dwelling units of the residential zones. Density is not regulated by a maximum number of units per acre. Rather, the maximum size of buildings and intensity of use are regulated by floor area ratio (FAR) limits and other site development standards. Generally, the density will range from 80 to 125 units per acre. Allowed housing is characterized by medium to high height and a relatively high percentage of building coverage. The major types of new housing development will be low, medium, and high-rise apartments and condominiums. Generally, RH zones will be well served by transit facilities or be near areas with supportive commercial services. Newly created lots in the RH zone must be at least 10,000 square feet in area for multi-dwelling development. There is no minimum lot area for development with detached or attached houses or for development with duplexes. Minimum lot width and depth standards may apply.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in the region and preserves significant parts of the region's heritage. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region's citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

The Northwest Plan District implements the Northwest District Plan, providing for an urban level of mixed-use development including commercial, office, housing, and employment.

Objectives of the plan district include strengthening the area’s role as a commercial and residential center. The regulations of this chapter: promote housing and mixed-use development; address the area’s parking scarcity while discouraging auto-oriented developments; enhance the pedestrian experience; encourage a mixed-use environment, with transit supportive levels of development and a concentration of commercial uses, along main streets and the streetcar alignment; and minimize conflicts between the mixed-uses of the plan district and the industrial uses of the adjacent Guild’s Lake Industrial Sanctuary.

**Land Use History:** City records indicate no prior land use reviews for this site.

**Agency Review:** A “Notice of Proposal in Your Neighborhood” was mailed **December 28, 2018**.

The **Bureau of Transportation Engineering** responded with no objection to the subject request for Historic Review or Modification but noted that curb cuts and driveway construction must meet the requirements in Title 17. These requirements will be enforced during the review of Building Permits. PBOT also noted that the project is deemed a significant alteration, and as a condition of Building Permit approval, the applicant is required to reconstruct the sidewalk corridor to current City standards. A Minor Improvement Permit for the ROW upgrades must be obtained from PBOT as part of the excepted Building Permit process. Please see Exhibit E-1 for additional details.

The following Bureaus have responded with no issues or concerns:

- Bureau of Environmental Services (Exhibit E-2)
- Site Development Section of BDS (Exhibit E-3)
- Life Safety Section of BDS (Exhibit E-4)
- Water Bureau
- Fire Bureau

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on December 28, 2018. One written response has been received from a notified property owners in response to the proposal.

1. Frank Dixon, neighbor, on January 18, 2019, wrote with concerns regarding insufficient information on the proposed breach and replacement of the existing retaining wall that would show that it will not compromise the stability of the retaining wall on his property on or near their shared property line.

*Staff Response:* Staff emailed the neighbor the relevant detail provided in the drawing set. Staff also relayed these concerns to the applicant and asked if more information on the retaining wall can be shared.

## **ZONING CODE APPROVAL CRITERIA**

### **Chapter 33.846.060 - Historic Resource Review**

#### **Purpose of Historic Resource Review**

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

#### **Historic Resource Review Approval Criteria**

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

**Findings:** The site is located within the Alphabet Historic District and the proposal is for a non-exempt treatment. Therefore, Historic Resource Review approval is required. The approval criteria are the *Community Design Guidelines* and the *Historic Alphabet District Community Design Guidelines Addendum*.

**Community Design Guidelines (CDG)**

These guidelines provide the constitutional framework for all design review areas outside the Central City that are not covered by their own specific area design guidelines. The Community Design Guidelines focus on three general categories: **(P) Portland Personality**, which establishes Portland’s urban design framework; **(E) Pedestrian Emphasis**, which states that Portland is a city for people as well as cars and other transportation systems; and **(D) Project Design**, which assures that each development is sensitive to both Portland’s urban design framework and the users of the city.

**Historic Alphabet District - Community Design Guidelines Addendum (HAD-CDGA)**

These guidelines were adopted on September 5, 2000 and were developed to work with the Community Design Guidelines to provide a set of guidelines specific to the district.

*Staff has considered all guidelines and addressed only those applicable to this proposal.*

**2. Differentiate New from Old.** New additions, exterior alterations, or related new construction will retain historic materials that characterize a property to the extent practicable. Replacement materials should be reasonable facsimiles of the historic materials they replace. The design of new construction will be compatible with the historic qualities of the district as identified in the Historic Context Statement.

**3. Hierarchy of Compatibility.** Exterior alterations and additions will be designed to be compatible primarily with the original resource, secondarily with adjacent properties, and finally, if located within a historic or conservation district, with the rest of the District. Where practical, compatibility will be pursued on all three levels. New development will seek to incorporate design themes characteristic of similar buildings in the Historic Alphabet District.

**P2. Historic and Conservation Districts.** Enhance the identity of historic and conservation districts by incorporating site and building design features that reinforce the area’s historic significance. Near historic and conservation districts, use such features to reinforce and complement the historic areas.

**D6. Architectural Integrity.** Respect the original character of buildings when making modifications that affect the exterior. Make additions compatible in scale, color, details, material proportion, and character with the existing building.

**D8. Interest, Quality, and Composition.** All parts of a building should be interesting to view, of long-lasting quality, and designed to form a cohesive composition.

**Findings for 2, 3, P2, D6, and D8:** Except for the front retaining wall and basement windows, the proposed alterations are all located at the rear of this contributing structure, not visible from the street and will not impact the front of the contributing structure.

The proposed new driveway is thoughtfully integrated to the site and within the replaced retaining wall, and complement the contributing property as well as the Historic District. The new basement windows will match the look of the original windows while providing egress where needed. The new rear addition is compatible in scale, material, and character to the original contributing structure. The new gable end and massing have the same scale and eave detailing as the original adjacent gable end. The new addition has wood shingle siding that will match the existing wood shingle siding. Most of the original wood windows proposed to be removed will be reused in this proposal. The proposed new wood windows and doors are similar in detailing, material and look as the original windows of this contributing structure. They are also of good quality, long lasting and will add to the quality of the house. The new addition, windows and doors create a cohesive façade composition at the rear of the house.

The applicant has proposed retrofitting the glazing of all original 2<sup>nd</sup> floor windows. A window sample was provided to show the applicant’s intent. Staff found the sample poorly executed. A Condition of Approval C was added to ensure that these windows are not retrofitted.

Except for the proposed retrofitting of original window glazing, all of the materials and detailing proposed are compatible with the original building and will reinforce and complement the Alphabet Historic District as well. The proposed alterations will not create a false sense of history, but will instead allow the building the ability to convey its story.

*With Condition of Approval C, that no original windows shall be retrofitted, these guidelines are met.*

**E1. The Pedestrian Network.** Create an efficient, pleasant, and safe network of sidewalks and paths for pedestrians that link destination points and nearby residential areas while visually and physically buffering pedestrians from vehicle areas.

**D4. Parking Areas and Garages.** Integrate parking in a manner that is attractive and complementary to the site and its surroundings. Locate parking in a manner that minimizes negative impacts on the community and its pedestrians. Design parking garage exteriors to visually respect and integrate with adjacent buildings and environment.

**Findings for E1 and D4:** The existing retaining wall is in major need of repair, as large cracks are visible. The new retaining wall proposed to replace the existing one has the same profile, height, and detailing as the original one. This wall will complement the property, bring interest to the front yard, and enhance the pedestrian environment.

The location of the proposed retaining wall is historically appropriate in the District, matching the location of adjacent retaining walls. In addition, the addition of the driveway will help in locating the parking garage at the rear of the house, and thus help minimize any negative impact of the garage on the pedestrian realm along the adjacent sidewalk. *These guidelines are met.*

### **33.846.070 Modifications Considered During Historic Resource Review**

The review body may consider modification of site-related development standards, including the sign standards of Chapters 32.32 and 32.34 of the Sign Code, as part of the historic resource review process. These modifications are done as part of historic resource review and are not required to go through the adjustment process. Adjustments to use-related development standards (such as floor area ratios, intensity of use, size of the use, number of units, or concentration of uses) are required to go through the adjustment process. Modifications that are denied through historic resource review may be requested as an adjustment through the adjustment process. The review body will approve requested modifications if it finds that the applicant has shown that the following approval criteria are met:

- A. Better meets Historic Resource Review approval criteria.** The resulting development will better meet the approval criteria for Historic Resource Review than would a design that meets the standard being modified; and
- B. Purpose of the standard.**
  1. The resulting development will meet the purpose of the standard being modified; or
  2. The preservation of the character of the historic resource is more important than meeting the purpose of the standard for which a modification has been requested.

#### **Modification Request:**

Increase the amount that the eaves of the new addition can project into the 5' side setback to more than 20%, or from a maximum of 1' to 2' into the setback (33.120.220.D.1.a)

**Purpose Statement for 33.120.220. Setbacks:** The building setback regulations serve several purposes some of which are: to maintain light, air, separation for fire protection and access for firefighting, promote reasonable physical relationship between residences and privacy, and provide adequate flexibility to site a building so that it may be compatible with the neighborhood.

**Findings for Criterion A:** The modification to increase the eave projection into the 5' setback better meet CDG Guideline *D6: Architectural Integrity* and HADCDGA Guideline 3: *Hierarchy of Compatibility*, by allowing the eaves of the addition to match the historic eave projections of the contributing structure, the adjacent contributing structures, and the rest of the District.

**Findings for Criterion B:** Preservation of the integrity of the contributing structure and the character of the historic district is more important than meeting the purpose of the standard because, historically, eave projections are an important feature of the historic house and the Historic Alphabet District.

*The proposal better meets the approval criteria, and the preservation of the architectural integrity of the contributing resource as well as the historic character of the district is more important than meeting the purpose of the standard, therefore this Modification merits approval.*

## **DEVELOPMENT STANDARDS**

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all requirements of Title 11 can be met, and that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review, prior to the approval of a building or zoning permit.

## **CONCLUSIONS**

The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and Modification criteria and therefore warrants approval.

## **ADMINISTRATIVE DECISION**

Approval of a rear addition with two new wood French doors, two new 2<sup>nd</sup> floor double-hung wood windows, one new attic casement wood window, two original wood windows reused, one skylight, and seven new basement fiberglass wood windows, per the approved site plans, Exhibits C-1 through C-14, signed and dated February 12, 2019, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through D) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 18-267806 HRM." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No original windows shall be retrofitted.
- D. No field changes allowed.

**Staff Planner: Meriam Rahali**

**Decision rendered by:** Meriam Rahali **on February 12, 2019**  
By authority of the Director of the Bureau of Development Services

**Decision mailed: February 19, 2019**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on November 19, 2018, and was determined to be complete on December 24, 2018.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on November 19, 2018.

*ORS 227.178* states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: April 23, 2019.**

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on March 5, 2019** at 1900 SW Fourth Ave. Appeals can be filed at the 5<sup>th</sup> floor reception desk of 1900 SW 4<sup>th</sup> Avenue Monday through Friday between 8:00 am and 4:30 pm. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing

the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Recording the final decision.**

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **March 5, 2019** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

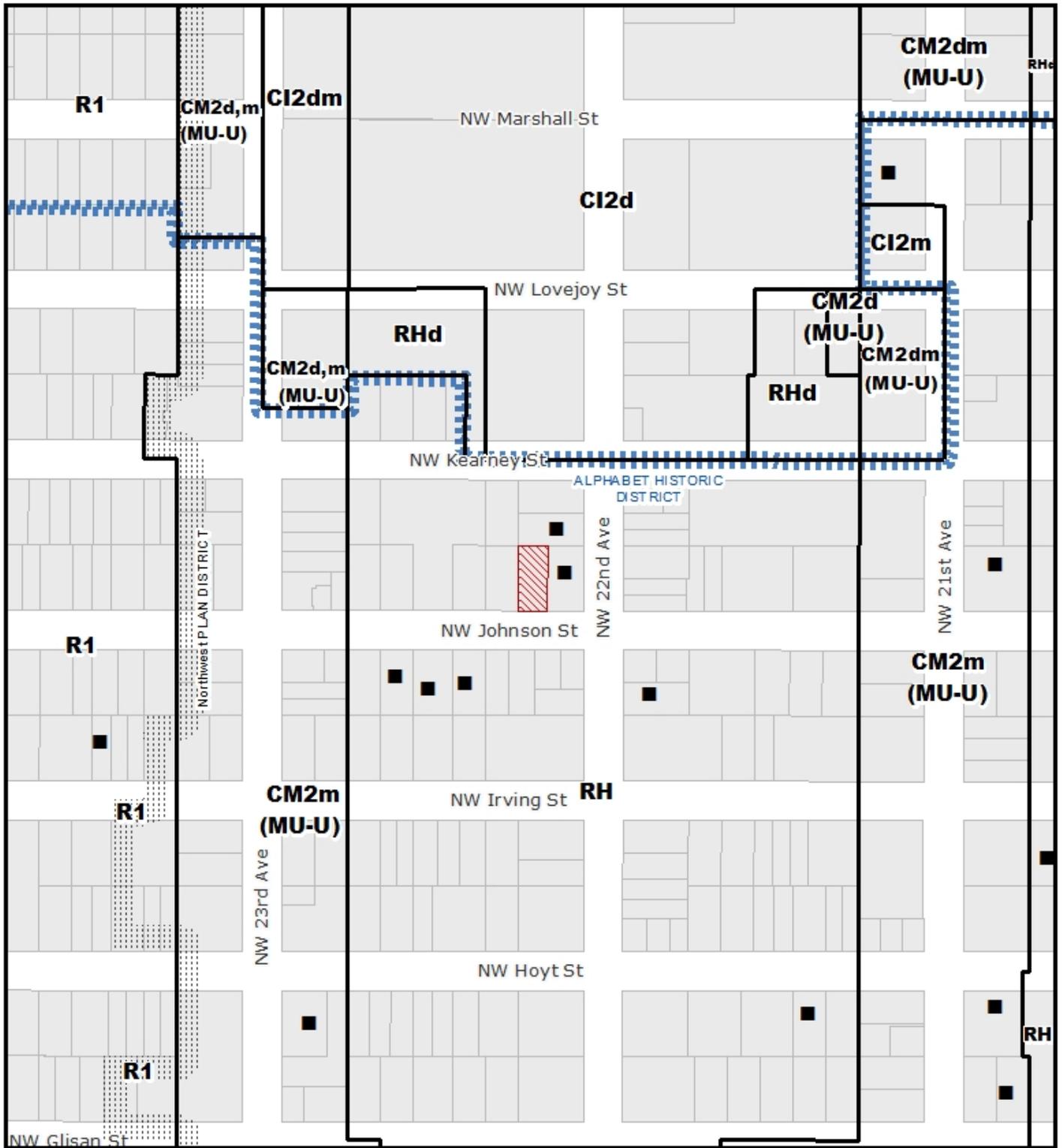
**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

**EXHIBITS**  
NOT ATTACHED UNLESS INDICATED

- A. Applicant's:
  - 1. Original Statement
  - 2. Original Drawing Set
  - 3. Response to Incomplete Letter, submitted 12/21/2018
  - 4. Response to Criteria, submitted 12/21/2018
  - 5. Photos
  - 6. Copy of Deed
  - 7. Drawing Set, submitted 12/10/2018
  - 8. Drawing Set, submitted 12/18/2018
  - 9. Site Plan and Elevations used for the Notice of Proposal
  - 10. Original Cutsheets
  - 11. Email & Drawings from Applicant Requesting Retrofitting 2<sup>nd</sup> Floor Original Windows
  - 12. Miscellaneous Emails
- B. Zoning Map (attached)
- C. Plans/Drawings:
  - 1. Site Plan (attached)
  - 2. Existing and Proposed South Elevations (attached)
  - 3. Existing and Proposed East Elevations (attached)
  - 4. Existing and Proposed North Elevations (attached)
  - 5. Existing and Proposed West Elevations (attached)
  - 6. Existing and Proposed Basement Plans
  - 7. Existing and Proposed First Floor Plans
  - 8. Existing and Proposed Second Floor Plans
  - 9. Existing and Proposed Third Floor Plans and Roof Plan
  - 10. Building Sections
  - 11. Door and Window Schedules
  - 12. Gable, Guardrail, and Retaining Wall Details
  - 13. Window Details
  - 14. Project Cutsheets
- D. Notification information:
  - 1. Mailing list
  - 2. Mailed notice
- E. Agency Responses:
  - 1. Portland Bureau of Transportation
  - 2. Bureau of Environmental Services
  - 3. Site Development Review Section of BDS
  - 4. Life Safety Section of BDS
- F. Correspondence:
  - 1. Frank Dixon, on January 18, 2019, wrote, noting that there was not sufficient information to be certain that the proposed breach and replacement of the existing retaining wall will not compromise the stability of the retaining wall on his property on or near their shared property line.
- G. Other:
  - 1. Original LU Application
  - 2. Incomplete Letter, dated December 3, 2018
  - 3. Memo, dated December 17, 2018
  - 4. Oregon Historic Site Record
  - 5. National Register Information
  - 6. Historic Resource Inventory
  - 7. Sanborn Map

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**



# ZONING

NORTH

THIS SITE LIES WITHIN THE:  
 NORTHWEST PLAN DISTRICT  
 ALPHABET HISTORIC DISTRICT

-  Site
-  Historic Landmark

File No.	LU 18-267806 HRM
1/4 Section	2927
Scale	1 inch = 200 feet
State ID	1N1E33BD 14600
Exhibit	B Dec 21, 2018



178-2806 HR

Exh. C-2

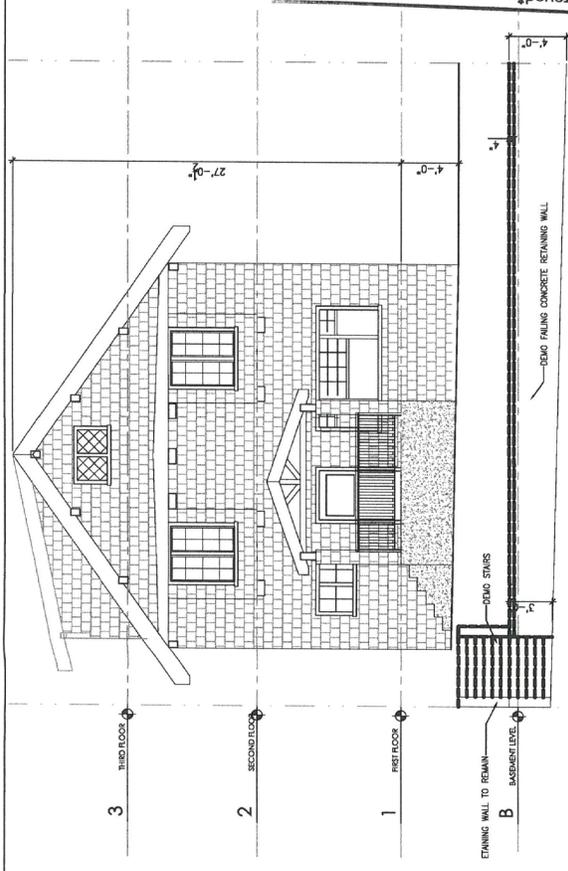
DATE	12.02.2018
REVISIONS	12.11.2018



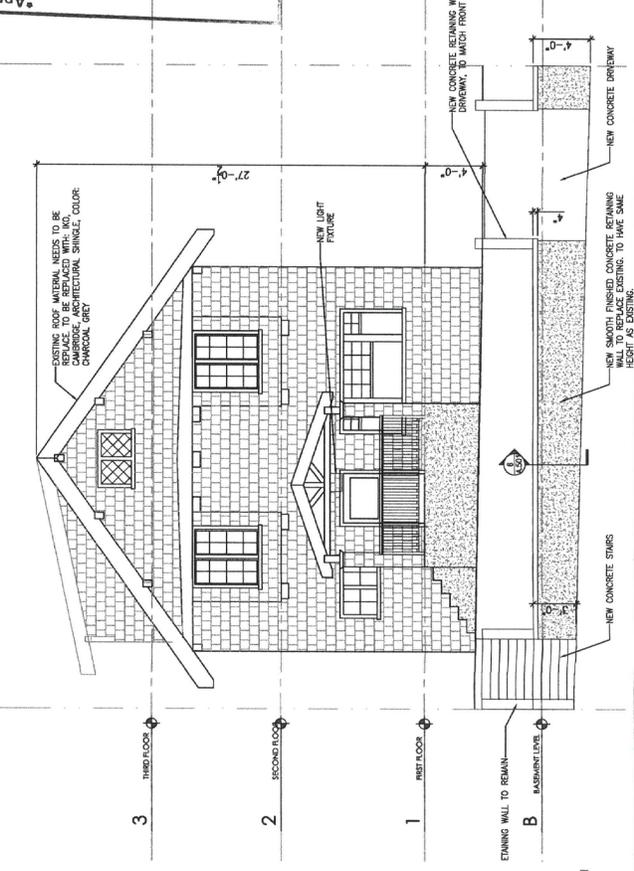
**PROJECT: JOHNSON HOUSE RENOVATION**  
**OWNER: MODOC PROPERTIES, LLC**  
**ADDRESS: 2217 NW JOHNSON STREET**  
**PORTLAND, OR 97210**

**A201**  
 SHEET TITLE  
 SOUTH EXTERIOR  
 ELEVATIONS:  
 SCALE: \* RENO  
 SCALE: \* DEMO  
 AS NOTED

City of Portland - Bureau of Development Services  
 Approved\*  
 Planner: *Mr. [Signature]* Date: *2/12/19*  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



**1 DEMO SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**2 RENOVATION SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

Lvl 8 - 267806 HR

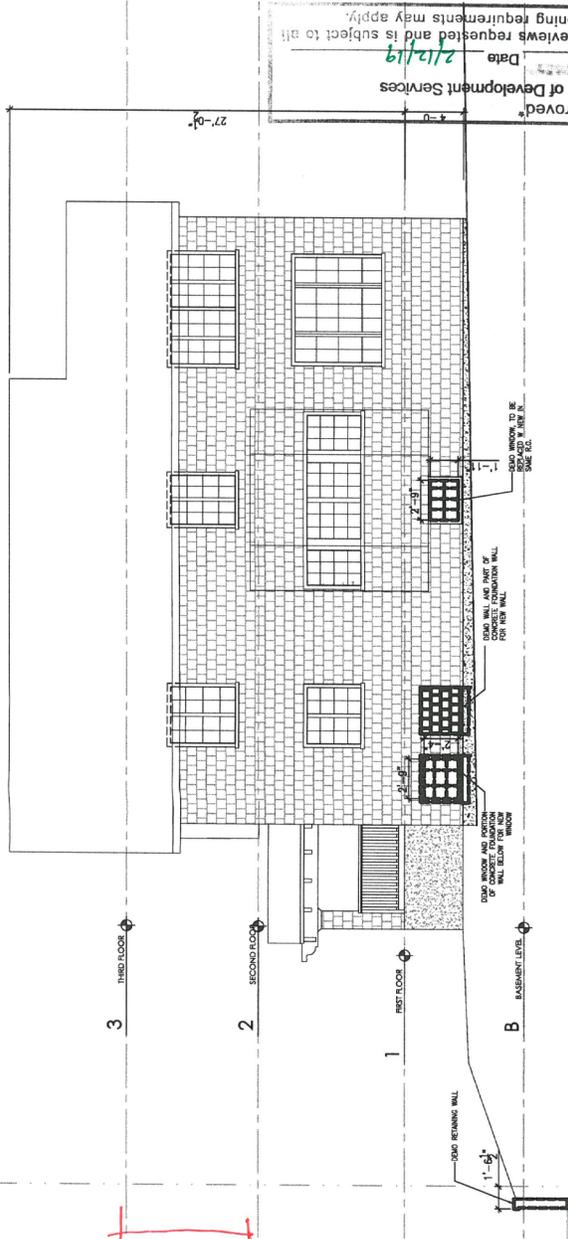
Exh. C.3

DATE	12.02.2018
REVISIONS	12.18.2018



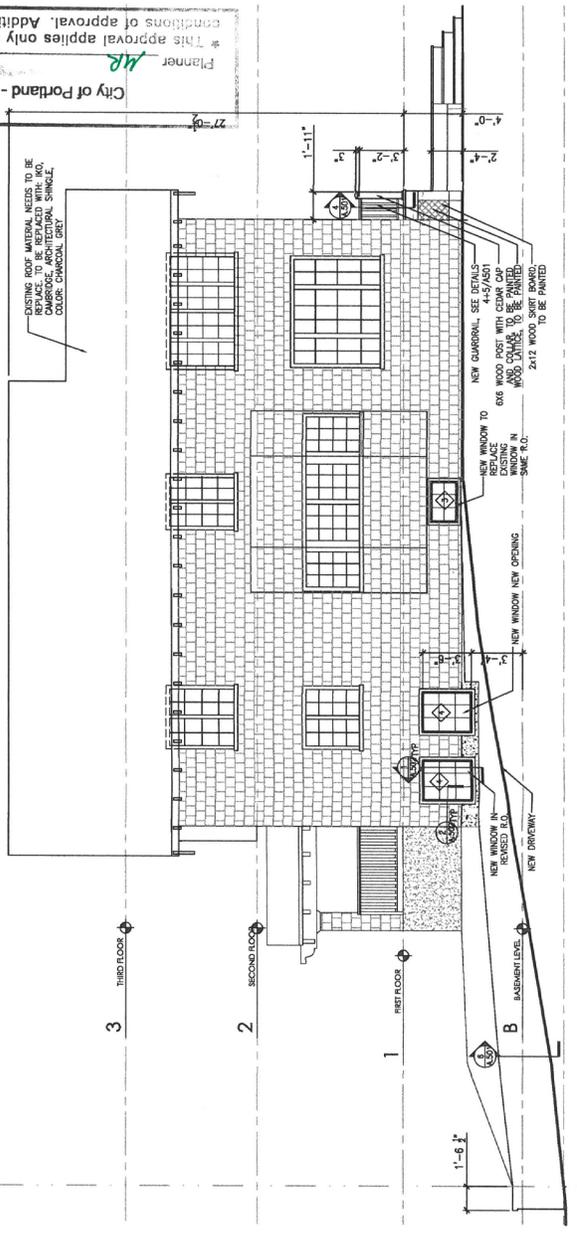
PROJECT: JOHNSON HOUSE RENOVATION  
 OWNER: MODOC PROPERTIES, LLC  
 ADDRESS: 2217 NW JOHNSON STREET  
 PORTLAND, OR 97210

THIS TITLE FOR ELEVATIONS: DEMO + RENO  
 SCALE AS NOTED  
**A202**



**1** EAST DEMO ELEVATION  
 SCALE: 1/8" = 1'-0"

*Condition of Approval C:  
 No original windows shall be retrofitted.*



**2** EAST RENOVATION ELEVATION  
 SCALE: 1/8" = 1'-0"

City of Portland - Bureau of Development Services  
 Approved  
 Planner: MR  
 Date: 2/12/19  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



