



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
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Date: February 20, 2019
To: Interested Person
From: Rodney Jennings, Land Use Services
503-823-5088 / Rodney.Jennings@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 18-276435 AD

GENERAL INFORMATION

Applicant: Emily Refi
Waterleaf Architecture
419 SW 11th Ave, Ste 200
Portland OR, 97205

Owners: Christopher C. Perkins & Jingzi Zhao
416 SE 27th Ave
Portland, OR 97214

Site Address: 2707 NE FLANDERS ST

Legal Description: LOT 2, PARTITION PLAT 2014-26
Tax Account No.: R649651020
State ID No.: 1N1E36CB 12702
Quarter Section: 2680

Neighborhood: Kerns, contact Elliott Mantell at commonchiro@yahoo.com
Business District: None
District Coalition: Southeast Uplift, contact Leah Fisher at 503-232-0010.

Plan District: None

Zoning: R1 – Multi Dwelling Residential 1,000

Case Type: AD – Adjustment
Procedure: Type II, an administrative decision with appeal to the Adjustment Committee.

Proposal:

The applicant is proposing to develop a new duplex on the lot at the northeast corner of NE Flanders Street and NE 27th Avenue. Section 33.120.220 of the Portland Zoning Code requires

a minimum building setback of 3' from street lot lines. Unit A of the proposed duplex includes an eave that extends up to 2' into the required 3' setback from NE 27th Ave. An Adjustment is required to allow this eave to extend into the required 3' setback.

Portland Zoning Code Section 33.120.220 also requires minimum building setbacks from side lot lines based on the area of the plane of the building wall that faces the lot line. Based on the wall plane area of the proposed duplex, the required setback from the east lot line is 5'. A portion of the second level of unit B of the proposed duplex is cantilevered over the 1st story, extending 1' 6" into the setback. A furred-out wall on the second level of Unit B that is about 1' 6" wide extends 6" into the required setback. Also, the eave of the roof on Unit B extends 2' into the required setback. Adjustments are required to allow these features to extend into the required 5' east side setback.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. Adjustment requests will be approved if the review body finds that the applicant has shown that approval criteria A. through F. of Section 33.805.040, Adjustment Approval Criteria, have been met.

ANALYSIS

Site and Vicinity: The site is a flat 2,680 square foot lot at the corner of NE Flanders St and NE 27th Ave. Due to the oblique angle at which NE 27th Ave intersects with the NE Flanders St, the lot has a trapezoidal shape, narrowing from 50.91' wide where it fronts on NE Flanders St to 42.64' at the north rear lot line. The lot is developed with a single-family dwelling that will be demolished. As required by the Land Division approval that created this lot and the lot immediately to the north, protective fencing will be placed on this site during construction of the duplex to protect an existing 14" Port Orford Cedar tree that is located on the lot to the north. This northern lot is 1,690 square feet in area, and is developed with a single-family dwelling with a contemporary style similar to the that of the new duplex proposed on this subject site. Other lots adjacent to the site and across NE Flanders Street and NE 27th Ave are zoned R1 like this subject site. They are developed mostly with a mix of 1½ and 2 story single-family dwellings and duplexes on lots ranging in size between 2,000 and 5,000 square feet.

Zoning: Residential 1,000 (R1)

The R1 zone is a medium density multi-dwelling zone. It allows approximately 43 units per acre. Density may be as high as 65 units per acre if amenity bonus provisions are used. Allowed housing is characterized by one to four story buildings and a higher percentage of building coverage than in the R2 zone. The major type of new housing development will be multi-dwelling structures (condominiums and apartments), duplexes, townhouses, and rowhouses. Generally, R1 zoning will be applied near Neighborhood Collector and District Collector streets, and local streets adjacent to commercial areas and transit streets.

Land Use History: City records indicate that prior land use reviews include the following:

LU 13-218572 LDP – Approval of a 2-lot land division. This land division created the lot on which the duplex that is the subject of this review is proposed. This land division approval includes a condition of approval requiring the preservation of a 14" Port Orford Cedar tree on the adjacent lot to the north. The site plan provided with this application (Exhibit C.1) includes the protective fencing for this tree, as required by the land division approval.

Agency Review: A "Notice of Proposal in Your Neighborhood" was mailed **January 11, 2019**. The following Bureaus have responded with no issues or concerns:

- Bureau of Environmental Services (Exhibit E.1);
- Fire Bureau (Exhibit E.2);
- Site Development Review Section of BDS (Exhibit E.3);
- Life Safety Section of BDS (Exhibit E.4);

- Bureau of Transportation (Exhibit E.5);
- Water Bureau (Exhibit E.6).

Neighborhood Review: One written response in support of the application has been received from the Kerns Neighborhood Association (Exhibit F.1) in response to the Notice of Proposal.

ZONING CODE APPROVAL CRITERIA

33.805.040 Approval Criteria

Adjustment requests will be approved if the review body finds that the applicant has shown that approval criteria A. through F. below have been met.

- A.** Granting the adjustment will equally or better meet the purpose of the regulation to be modified; and

Findings: The applicant proposes to develop a duplex on the subject site. Unit A of the proposed duplex includes an eave that extends up to 2' into the required 3' street building setback from NE 27th Ave. An Adjustment to Zoning Code Section **33.120.220 Setbacks** is required to allow this eave to extend into the required 3' street setback. A portion of the second level of unit B is cantilevered over the 1st story, extending 1' 6" into the required 5' east side building setback. A furred-out wall on the second level of Unit B, that is about 1' 6" wide, extends 6" into this required setback. Also, the eave of the roof on Unit B extends 2' into this required setback. Adjustments to Zoning Code Section **33.120.220 Setbacks** are required to allow these features to extend into the required 5' east side setback. There are several purposes for the setback regulations. They are listed separately below, followed by findings addressing how they are equally or better met by the proposal.

Purpose: The building setback regulations serve several purposes:

- *They maintain light, air, separation for fire protection, and access for fire fighting;*

NE 27th Ave intersects with NE Flanders St at less than a 90° angle (approximately 82°) so that the rear lot line of the site, at 42.64' in length, is shorter than the front lot line at 50.91'. Due to this trapezoidal shape of the lot, duplex Unit A is offset from Unit B towards the corner intersection of the two streets. This offset results in a triangular portion of the eave of Unit A extending from 0' up to 2' into the 3' required NE 29th Ave setback (Exhibit C.1). The impacts to light and air of this overhanging eave are minimal, as they fall on the NE 27th Ave right-of-way and are more than offset by the light and air provided by the area not covered by the more substantial portions of the eaves of Units A and B that are located outside of the setback.

The duplex offset also allows Unit A to be set back 15' 5" from the east side lot line. Also, Unit B is set back 9' 3" from the north rear lot line, which is nearly twice the 5' setback required from this lot line. Together, the increased setback for Unit A from the east lot line and Unit B from the north lot line more than compensate for the reduction in air and light that result from the furred-out wall, the eaves, and the portion of the second level of Unit B that cantilevers over into the east side setback.

The Life Safety Section of BDS responded with no objection to approval of the Adjustments (Exhibit E.4) and notes that a building permit for this project has been submitted and is currently under review including review for applicable building code requirements for fire separation. The Fire Bureau responded with no concerns with the requested Adjustments (Exhibit E.2). In the event of fire, accessibility for fire equipment in front of and around the perimeter of the duplex is available from both NE 27th Ave and NE Flanders Street.

This purpose is equally or better met for the proposed Adjustments to the street building setback and the east side building setback.

- *They reflect the general building scale and placement of multi-dwelling development in the City's neighborhoods;*
- *They promote a reasonable physical relationship between residences;*

This neighborhood is characterized by a mix of 1½ and 2 story single-family homes and duplexes located on lots in the range of 2,000 to 5,000 square feet. The proposed duplex development is consistent with this pattern. The street lot line along NE 27th Ave is angled relative to NE Flanders Street, which results in the site narrowing from 50.91' at the front lot line on NE Flanders St to 42.64' at the rear north lot line. To accommodate the duplex on this trapezoidal shaped lot, Unit A is set closer to the NE 27th St frontage than Unit B. All of the eave for Unit B is set back about 4½' to 7' from NE 27th St, outside of the 3' required setback. Because of the oblique angle of NE 27th Street, the eave facing NE 27th on the north half of Unit A extends into the 3' setback from 0' to 2'. The effect of this minor extension into the setback on the overall scale of the duplex building is offset by the placement of Unit B and its eaves further back from the street than required.

The building offset that places Unit A closer to NE 27th Ave also allows Unit A to be set back 15' 5" from the east side lot line. Also, Unit B is set back 9' 3" from the north rear lot line, which is nearly twice the 5' setback required from this lot line. Together, the increased setback for Unit A from the east lot line and Unit B from the north lot line, provide open areas that more than compensate for the placement of the eaves, the furred-out wall, and the portion of the second level of Unit B that cantilevers into the east side setback. The offset design of Unit A and Unit B is a creative way of accommodating the duplex on this unusually shaped lot that is reflective of the general building scale expected in the City's multi-dwelling neighborhoods and that also provides a reasonable physical relationship between residences. The Adjustments to the street building setback and the east side building setback equally or better meet this purpose.

- *They promote options for privacy for neighboring properties;*

The Unit A eaves proposed to extend up to 2' into the street side setback from NE 27th St will have no effect on options for privacy to neighboring properties as the street itself is a public area. There are no windows or other openings proposed along the wall of the portion of the second level living area of Unit B that cantilevers into the east side setback, nor are there any openings in the furred-out portion of the well extending into the east side setback. The absence of windows or other openings preserves options for privacy on the neighboring lot to the east by assuring that no views from the cantilevered area onto the neighboring property are possible. This purpose is equally or better met for the proposed Adjustments to the street building setback and the east side building setback.

- *They require larger front setbacks than side and rear setbacks to promote open, visually pleasing front yards;*

The front lot line on this corner lot faces NE Flanders Street. The required front setback from NE Flanders Street at this site is 3'. No Adjustments to the front setback are requested or necessary for the proposed duplex. This purpose does not apply to the requested Adjustments.

- *They provide adequate flexibility to site a building so that it may be compatible with the neighborhood, fit the topography of the site, allow for required outdoor areas, and allow for architectural diversity; and*

The site is an unusually shaped trapezoidal corner lot that is 42.64' wide at the rear lot line and 50.91' at the front lot line. The narrower width at the back of the lot provides reduced flexibility to site a building at the rear of the lot. Unit B of the proposed duplex is located at this narrower rear portion of the lot. It is also offset towards the east of the site from Unit A, which is located at the wider front portion of the lot and nearer the corner intersection of NE 27th Ave and NE Flanders St. The proposed duplex design also includes wide eaves and cantilevered living spaces on the second level extending over the first level. These design features provide interest by breaking up the otherwise solid wall of the duplex. Because of the narrowness of the northern portion of the lot, at Unit B these eaves and cantilevered spaces extend over into the required 5' east side setback. On the west side, a portion of the eaves of Unit A extend into the angled 3' required street setback. Approval of the Adjustments provide flexibility to include the eaves and cantilevered living spaces on this unusually shaped lot, which provide architectural diversity, and which is consistent with this purpose of the setback requirements.

- *Setback requirements along transit streets create an environment that is inviting to pedestrians and transit users.*

Neither NE Flanders Street nor NE 27th Avenue is classified as a transit street in the Transportation System Plan. This purpose is not applicable at this site.

The Criterion is met for the requested Adjustments to reduce the required street building setback along NE 27th Ave for the eaves and for the requested Adjustments to reduce the required east side building setback for the furred-out wall, eaves, and cantilevered 2nd story living area of Unit B.

- B.** If in a residential, CI1, or IR zone, the proposal will not significantly detract from the livability or appearance of the residential area, or if in an OS, C, E, I, or CI2 zone, the proposal will be consistent with the classifications of the adjacent streets and the desired character of the area; and

Findings: The site is in the R1 residential zone. Livability concerns that could detract from the residential area include loss of light, air, and privacy. As discussed more fully in the findings for Criterion A, above, the offset placement of Unit A and Unit B will allow for light and air on other portions of the site along NE 27th Ave, and along the north side and east side lot lines, that will provide light and air that compensates for light and air that is reduced by the eaves, furred-out wall and 2nd story cantilevered living area extending into the required setbacks. Also, privacy is maintained as the 2nd story cantilevered living area extending into the east side setback includes no windows or other openings from which residents of Unit B could observe activity on the neighboring lot.

This R1 neighborhood is characterized by a mix of 1½ and 2 story single-family homes and duplexes located on lots in the range of 2,000 to 5,000 square feet. The proposed duplex development is consistent with this pattern. The street lot line along NE 27th Ave is angled relative to NE Flanders Street, which results in the site narrowing from 50.91' at the front lot line on NE Flanders St to 42.64' at the rear north lot line. To accommodate the duplex on this trapezoidal shaped lot, Unit A is set closer to the NE 27th St frontage than Unit B. All of the eave for Unit B is set back about 4½' to 7' from NE 27th St, outside of the 3' required setback. Because of the oblique angle of NE 27th Street, the eave facing NE 27th on the north half of Unit A extends into the 3' setback from 0' to 2'. The effect of this minor extension into the setback on the overall scale of the duplex building is offset by the placement of Unit B and its eaves further back from the street than required.

The building offset that places Unit A closer to NE 27th Ave also allows Unit A to be set back 15' 5" from the east lot line. Also, Unit B is set back 9' 3" from the north lot line,

which is nearly twice the 5' setback required. Together, the increased setback for Unit A from the east lot line and Unit B from the north lot line, provide open area that more than compensate for the placement of the eaves, the furred-out wall, and the portion of the second level of Unit B that cantilevers over into the east side setback. The offset design of Unit A and Unit B is a creative way of accommodating the duplex on this unusually shaped lot that is attractive and does not detract from the residential appearance of this neighborhood. Also, the proposed duplex design features requiring the setback Adjustments, the wide eaves, furred-out walls, and cantilevered living spaces on the second level extending over the first level, provide interest that add to the residential appearance of the area by breaking up the otherwise solid walls of the duplex. This criterion is met.

- C.** If more than one adjustment is being requested, the cumulative effect of the adjustments results in a project which is still consistent with the overall purpose of the zone; and

Findings: Two Adjustments are requested, therefore this criterion is applicable. R1 is a multi-dwelling zone. Per Zoning Code Section 33.120.010, the purpose of the multi-dwelling zones is to preserve land for urban housing and provide housing opportunities for multi-dwelling housing. The cumulative impact of approval of the two Adjustments to the street building setback requirement and to east side building setback requirement is consistent with this overall purpose in that approval will not hinder development of this lot with housing at the density intended in the R1 zone. The maximum density allowed on the lot is 2 units, which will be provided by the proposed duplex. This criterion is met.

- D.** City-designated scenic resources and historic resources are preserved; and

Findings: City designated resources are shown on the zoning map by the 's' overlay; historic resources are designated by a large dot, and by historic and conservation districts. There are no such resources present on the site. Therefore, this criterion is not applicable.

- E.** Any impacts resulting from the adjustment are mitigated to the extent practical; and

Findings: There are no discernible impacts that would result from granting the requested adjustment. This criterion is met.

- F.** If in an environmental zone, the proposal has as few significant detrimental environmental impacts on the resource and resource values as is practicable;

Findings: Environmental overlay zones are designated on the Official Zoning Maps with either a lowercase "p" (Environmental Protection overlay zone) or a "c" (Environmental Conservation overlay zone). As the site is not within an environmental zone, this criterion is not applicable.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all requirements of Title 11 can be met, and that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review, prior to the approval of a building or zoning permit.

CONCLUSIONS

The proposed duplex is located on an unusually shaped trapezoidal lot. Unit A and Unit B of the duplex are offset to fit onto the trapezoidal lot. The impacts of the eaves of Unit A that extend into the required setback along NE 27th Ave and the eaves, furred-out wall and 2nd level cantilevered living area of Unit B, that extend into the required east side setback are compensated for by the additional open area provided between Unit A and the east lot line and between Unit B and the north lot line and NE 27th Ave street lot line. The duplex design is an attractive contemporary design. The wide eaves and cantilevered living spaces on the second level extending over the first level provide interest that add to the residential appearance of the area by breaking up the otherwise solid walls of the duplex.

ADMINISTRATIVE DECISION

Approval of the following Adjustments:

- Reduce the minimum required street building setback from the NE 27th Ave street lot line (33.120.220 and Table 120-3) from 3' to 1' for the Unit A eave; and
- Reduce the minimum required building setback from the east side lot line (33.120.220 and Table 120-3) from 5' to 3' 6" for the portion of the second level of unit B of the duplex that is cantilevered over the 1st story, from 5' to 3' for the eave on Unit B, and from 5' to 4' 6" for the furred-out wall on Unit B.

per the approved site plans, Exhibits C.1 through C.3, signed and dated February 14, 2019, subject to the following condition:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.3. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 18-276435 AD. No field changes allowed."

Staff Planner: Rodney Jennings

Decision rendered by:  **on February 14, 2019.**

By authority of the Director of the Bureau of Development Services

Decision mailed: February 20, 2019

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on December 11, 2018, and was determined to be complete on January 8, 2019.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on December 11, 2018.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: May 8, 2019.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Adjustment Committee, which will hold a public hearing. Appeals must be filed **by 4:30 PM on March 6, 2019** at 1900 SW Fourth Ave. Appeals can be filed at the 5th floor reception desk of 1900 SW 4th Avenue Monday through Friday between 8:00 am and 4:30 pm. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Adjustment Committee is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Adjustment Committee an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **March 6, 2019** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

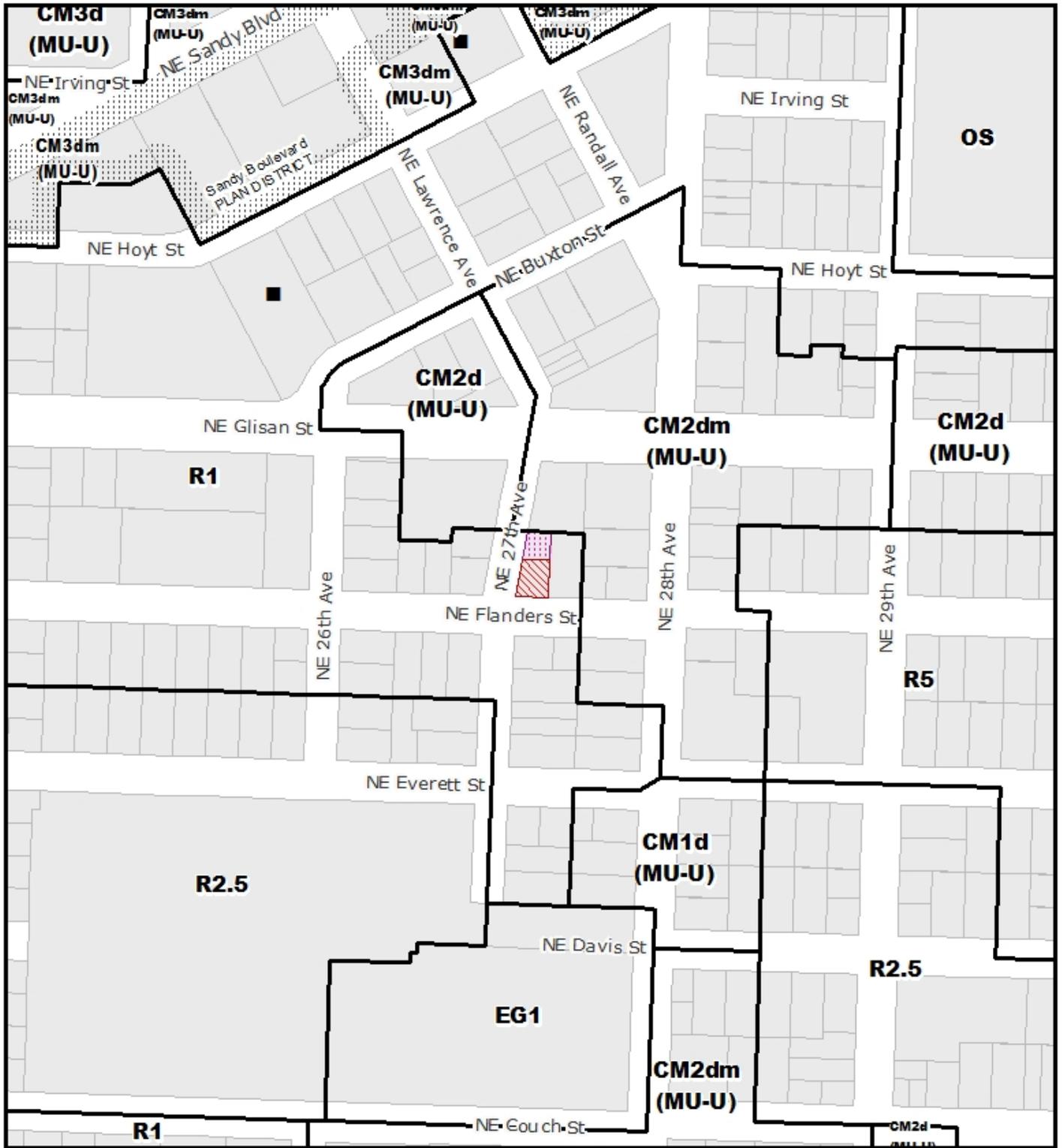
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statements
 - 1. Original statement and plans, received December 11, 2019
 - 2. Revised statement and plans, received January 7, 2019
 - 3. Supplemental email, received January 8, 2019
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. East (rear) and North (Side) Elevations (attached)
 - 3. West (NE 27th Ave) and South (NE Flanders St) Elevations (attached)
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Bureau of Environmental Services
 - 2. Fire Bureau
 - 3. Site Development Review Section of BDS
 - 4. Life Safety Section of BDS
 - 5. Bureau of Transportation
 - 6. Water Bureau
- F. Correspondence:
 - 1. Ben Karr on behalf of Kerns Neighborhood Association, January 25, 2019, in support
- G. Other:
 - 1. Original LU Application & Receipt
 - 2. Incomplete Letter

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING



-  Site
-  Also Owned Parcels
-  Historic Landmark

File No.	LU 18-276435 AD
1/4 Section	3033
Scale	1 inch = 200 feet
State ID	1N1E36CB 12702
Exhibit	B Dec 13, 2018



Waterleaf
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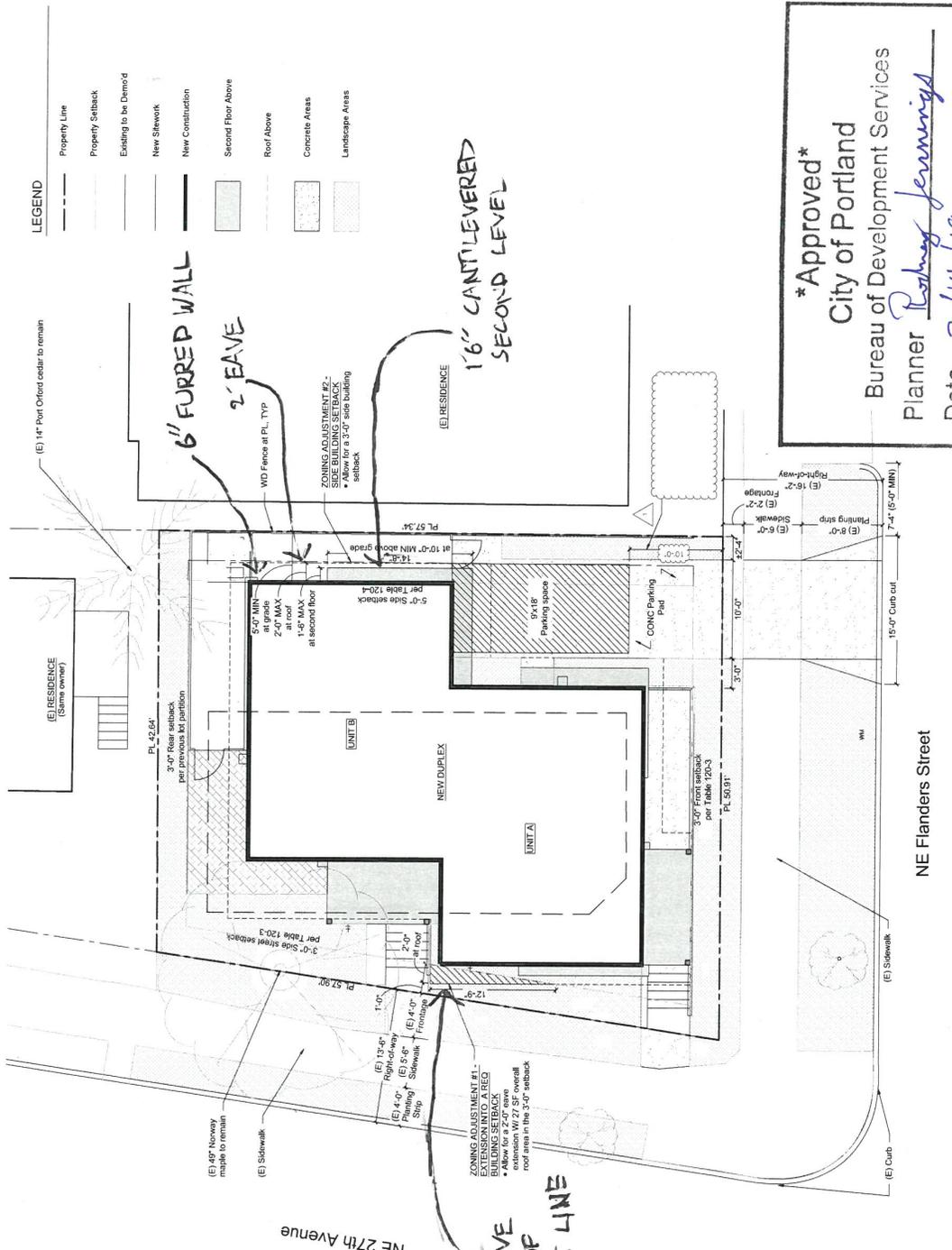
27th & Flanders Duplex
 Type II Adjustment Review

2707 NE Flanders Street
 Portland, OR 97232

Type II
 Adjustment Review
 Project # 1317.01
 Date 12.07.2018
 Remarks

SITE PLAN

A1.0



LEGEND

- Property Line
- Property Setback
- Existing to be Demol'd
- New Silewalk
- New Construction
- Second Floor Above
- Roof Above
- Concrete Areas
- Landscape Areas

Approved
 City of Portland
 Bureau of Development Services
 Planner *Rothney Jennings*
 Date 2/14/19
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



1.1 SITE PLAN
 A1.0 SCALE: 1" = 5'-0"

CASE NO. 18-276435 AD
 EXHIBIT C.1

LU 18-276435 AD

AREA OF EAVE WITHIN 3' OF STREET LOT LINE

6" FURRED WALL
 2" EAVE

16" CANTILEVERED SECOND LEVEL

ZONING ADJUSTMENT #1 - CONCRETE BUILDING SETBACK
 • Allow for a 2'-0" eave extension w/ 27 SF overall roof drop on the 3'-0" setback

ZONING ADJUSTMENT #2 - SIDE BUILDING SETBACK
 • Allow for a 3'-0" side building setback

(E) 14" Post Offset cedar to remain

(E) RESIDENCE (Same owner)

(E) RESIDENCE

NEW DUPLEX

UNIT A

UNIT B

CONC Parking Pad

9'x18' Parking space

15'-0" Cube out

NE Flanders Street

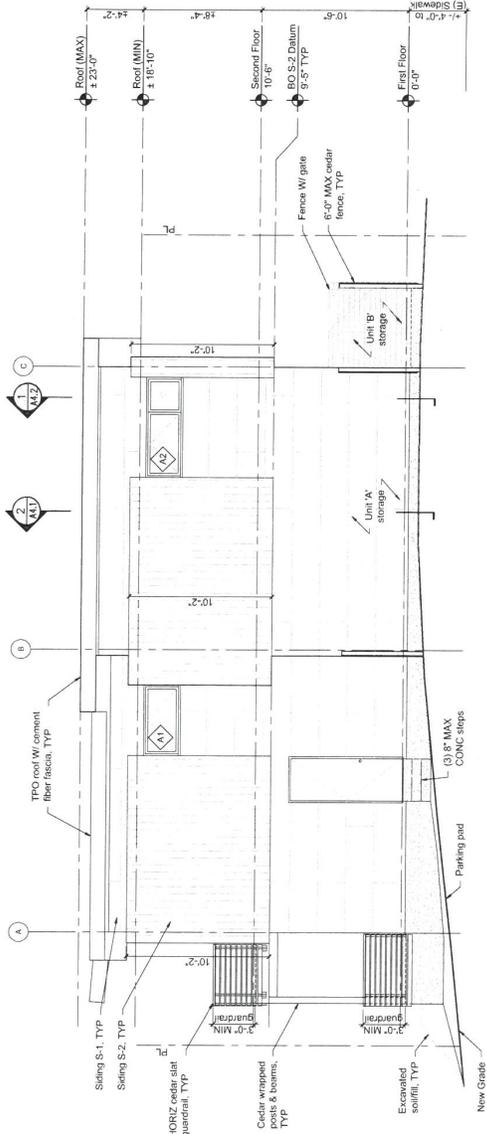
NE 27th Avenue



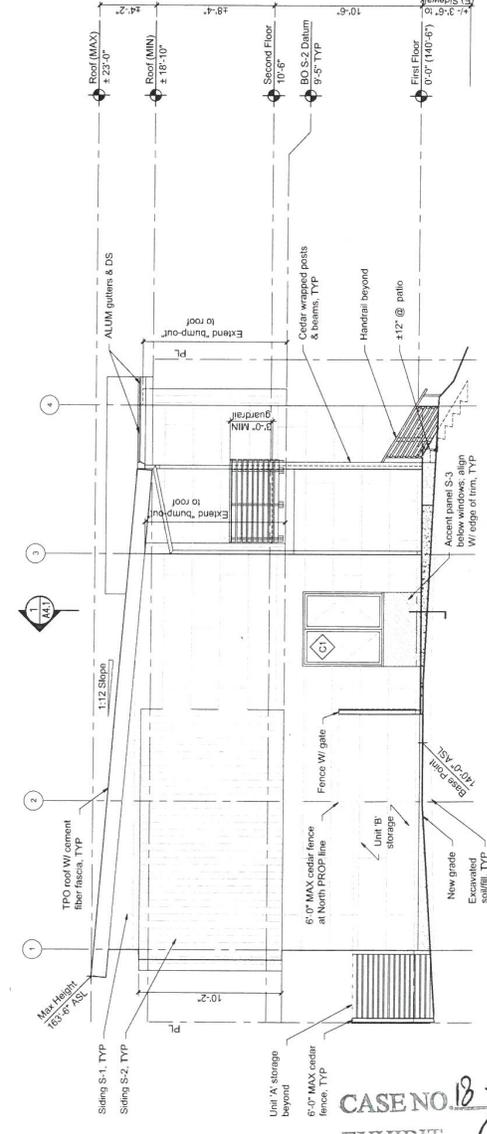
Waterleaf
 architectural, interior & planning
 417 S.W. 11th Ave. Suite 200
 Portland, OR 97205
 P: 503.228.7273
 F: 503.228.7273
 www.waterleaf.com

SHEET NOTES

1. Non-opening DIMS are to face of structure, UNO.
2. Opening DIMS are to RO of windows or to door panels, UNO.
3. Horizontal joint of siding S-1 is to align with inside CO window/door head trim at first floor, TYP (8'-0" AFF VPY); see elevations for vertical joint monument.
4. See sheet A5.1 for window schedule & all heights.



1 EAST (REAR) ELEVATION
 A3.2 / SCALE: 1/4" = 1'-0"



2 NORTH (SIDE) ELEVATION
 A3.2 / SCALE: 1/4" = 1'-0"

27th & Flanders Duplex
 Permit Set
 2707 NE Flanders Street
 Portland, OR 97232

Permit Set
 Project #: 1377.01
 Date © 10.11.2018

Approved
 City of Portland
 Bureau of Development Services
 Planner Rodney Jennings
 Date 2/14/19

* This approval applies only to the reviews requested and is subject to all conditions of approval.
 Additional zoning requirements may apply.

EXTERIOR ELEVATIONS

A3.2

LU 18-276435 AD

CASE NO. 18-276435 AD
 EXHIBIT C.2

LU 18-276435 AD



waterleaf
 415 W 11th St
 Portland, OR 97205
 503.222.8891

- SHEET NOTES**
1. Non-spanning DIMS are to face of structure, UNO.
 2. Opening DIMs are to RO of windows or to door openings, UNO.
 3. Horizontal joint of siding S-1 is to align with inside FO window/door head trim at first floor, TYP (6'-0" AFF VFY); see elevations for vertical joint monument.
 4. See sheet A3.1 for window schedule & all heights.
 5. See 2(A)3.2 for Base Point & Max Height above grade.

2707 NE Flanders Street
 Portland, OR 97232

27th & Flanders Duplex
 Permit Set

Permit Set
 Project #: 1317.01
 Date @ 10.11.2018

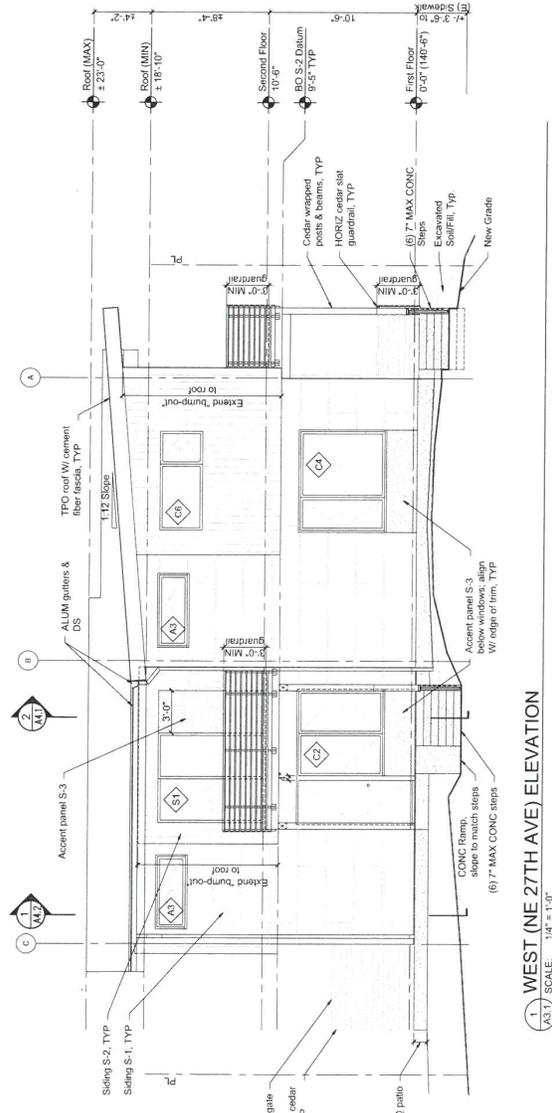
EXTERIOR ELEVATIONS

A3.1

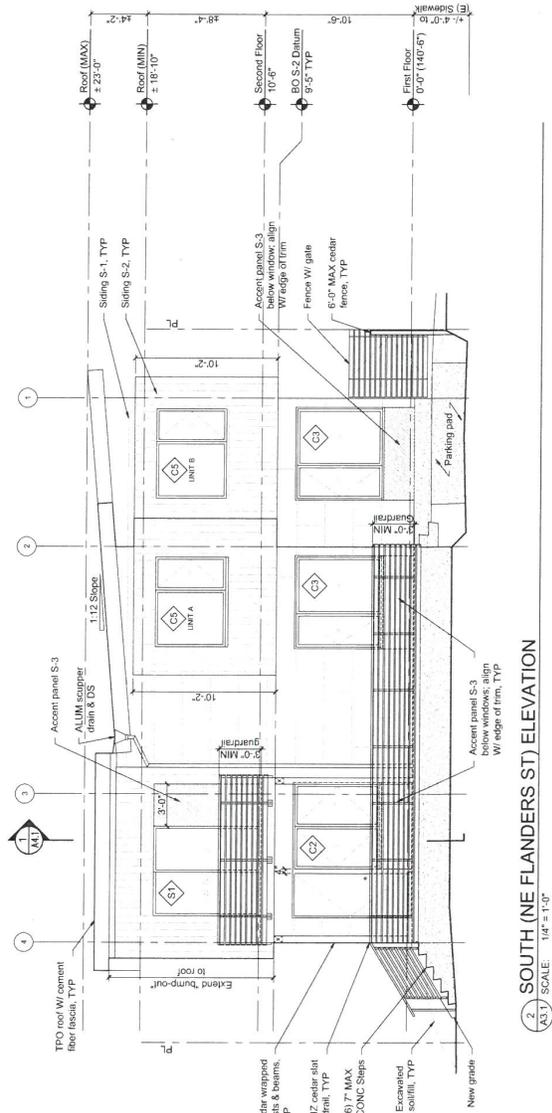
LM 18-276435 AD

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 City of Portland
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1. WEST (NE 27TH AVE) ELEVATION
 A3.1 SCALE: 1/4" = 1'-0"



2. SOUTH (NE FLANDERS ST) ELEVATION
 A3.1 SCALE: 1/4" = 1'-0"

LM 18-276435 AD

CASE NO. 18-276435 AD
 EXHIBIT C-3