



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor  
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**NOTICE OF PROPOSED  
DEVELOPMENT IN AN ENVIRONMENTAL ZONE**

**Date:** 4/10/19

**To:** Neighborhood Association and Interested Persons

**From:** Tyler Mann, City Planner, 503-823-5062,  
[Tyler.Mann@portlandoregon.gov](mailto:Tyler.Mann@portlandoregon.gov)

**Re:** The City has received a building permit application for development within an **environmental zone**. The purpose of this notice is to inform neighbors and interested persons of permitting activities and projects within the environmental zones that will utilize the Environmental Development Standards of Zoning Code Chapter 33.430. This is not a Land Use Review notice.

**Permit Number:** 19-140913 & 914 RS

**Project Description:** Proposal for Resource Enhancement within an Environmental Conservation Zone.

**Applicant:** Cory Tipton, City of Portland - Bureau of Environmental Services

**Site Location:** 15440 SE Martins Street

**Legal Description:** SYCAMORE AC, LOT 32&33 TL 600

**Zone:** OSc, Johnson Creek Basin, South      **Quarter Section Map:** 3646  
**Tax Account #:** R282532

The permit is being reviewed for compliance with the following environmental development standards:

- Resource enhancement projects subject to Section 33.430.170;

**The site plan is enclosed and displayed on a notice board on site.** Plans may be examined at **BDS Permitting Services, second floor of 1900 SW 4<sup>th</sup> Avenue**, Monday – Wednesday and Fridays from 8:00 AM to 3:00 PM and Thursdays from 8:00 AM to Noon. Copies of the site plans and development standards can be obtained for a fee. The development standards are available online at [www.portlandonline.com/zoningcode](http://www.portlandonline.com/zoningcode).

Any interested person may comment on the application by writing and specifically identifying errors or non-compliance with development standards. Comments should be directed to the staff person noted above. Comments may be used to clarify or improve the accuracy of the site plan, but may not be used by the City to influence the issuance of a permit for a project that meets development standards. **An inspector will visit the site to verify the accuracy of the site plan prior to issuance of any permits.**

**Contact Tyler Mann at the above phone number or email address with any questions. Please reference the permit number and your request.**

# E10770 - Martins G2G LAND ACQUISITION - DEMOLITION PLAN -

## General Notes:

1. THIS HOME DOES NOT CONTAIN A BASEMENT. THERE IS NO NET FILL BROUGHT ON SITE ONCE CEMENT FLOOR IS REMOVED THE AREA WILL CONFORM TO THE NATURAL LANDSCAPE. THEREFORE THIS SITE DOES NOT NEED TO MEET THE BACKFILL AND COMPACTION SECTION FROM BOS HOME DEMOLITION.
2. THE HOME AND GARAGE ARE TO BE DEMOLISHED BOTH BY MECHANICAL MEANS AND HAND DECONSTRUCTION WHERE NEEDED WITHIN THE BOUNDS OF THE TITLE. 11 TREE REPORT.
3. THE CURRENT FINISHED FLOOR ELEVATION IS 248' IN THE GARAGE AND 247' IN THE HOUSE.
4. THERE WILL BE NO NEW FINISHED FLOOR AFTER DEMO. THE SURFACE ELEVATION AFTER DEMO WILL BE 247.5' IN THE GARAGE AREA, AND 246.5' IN THE DWELLING AREA. FEMA 100 YR BASE FLOOD ELEVATION IS 246'.
5. ELEVATION DATA WAS FOUND VIA THE FOLLOWING: THAT INFO IS FROM THE METADATA ON ON THE GIS LAYER 'CONTOURS\_2FT\_LIDAR\_PDF'. OUR PROCEDURE ON THE USE OF THAT LAYER IS TO SUBTRACT 2.1FT (WHICH WAS DONE).

## Environmental Notes:

- TREE PROTECTION FENCING (TPF) MUST COMPLY WITH PCC 11.60.080.C.2 AS DESCRIBED IN THE ARBORIST REPORT. ABSOLUTELY NO DEVELOPMENT ACTIVITY WITHIN THE TPF AND NO EQUIPMENT OR VEHICLES ALLOWED IN THE WOOD CHIP AREA. ALL SITE TREES (SEE TABLE 1) TO REMAIN.
- SITE IS WITHIN THE C OF THE EC ZONE. PLEASE SEE NARRATIVE IN PACKET. WE CONFIRM THE NARRATIVE MEETS THE EC ZONE STANDARD.
- SILT FENCE TO BE INSTALLED AROUND SOUTH PROPERTY LINE EXCEPT FOR IMPERVIOUS SURFACE/ DRIVEWAY.
- DETAILING BMP'S ATTACHED TO THIS MAP FOR SILT FENCING.
- ROUTINE MAINTENANCE OF BMP'S: SITE WALK DAILY AROUND THE SILT FENCE TO CHECK FOR PROPER INSTALLATION AND USE. ANY AND ALL ERRORS WILL BE FIXED IMMEDIATELY, AND A DAILY LOG WILL BE KEPT BY THE WINNING CONTRACTOR OF THE BID.
- POST SIGNAGE ON THE SITE OF THE PERMITTED GROUND DISTURBING ACTIVITY THAT IDENTIFIES THE CITY'S EROSION CONTROL COMPLIANT HOTLINE NUMBER. EROSION CONTROL HOTLINE: 503-423-CODE (2683). THE SIGNAGE ON THE SITE MUST BE CLEARLY VISIBLE FROM THE RIGHT-OF-WAY. THE SIGN SHALL BE AT LEAST 18" BY 18" AND MADE OF MATERIALS THAT SHALL WITHSTAND WEATHER FOR THE DURATION OF THE PROJECT. LETTERING SHALL BE AT LEAST 3" HIGH AND EASILY READABLE. (PCC 10.30.020).
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO THE STORMWATER COLLECTION SYSTEM SHALL BE REMOVED OR CLEANED UP IMMEDIATELY AND NO LATER THAN END OF THE WORK DAY. THE USE OF WATER TRUCKS TO WASH THE MATERIAL OFF THE ROADWAY IS NOT ALLOWED. WATER TRUCKS MAY BE USED IMMEDIATELY BEFORE SWEEPERS OR VACUUM SYSTEMS TO LOOSEN SEDIMENT, PROVIDED THAT DISCHARGE TO THE STORMWATER COLLECTION SYSTEM DOES NOT OCCUR.
- NO VEGETATION ON THE PORTLAND PLANT LIST WILL BE REMOVED.
- THERE IS NO FILL OR EXCAVATION IN ANY WETLAND OR WATER BODY.
- ALL DISTURBED AREAS ARE TO BE REPLANTED.

LEGEND	
	ROOT PROTECTION ZONE
	TREE PROTECTION FENCING
	WOOD CHIPS
	DITCH STORM DITCH
	EDGE OF PAVEMENT
	ENVIRONMENTAL CONSERVATION (EC)
	ENVIRONMENTAL PROTECTION
	ENVIRONMENTAL TRANSITION
	FENCE
	PERMANENT EASEMENT
	PROPERTY LINE
	RIGHT-OF-WAY
	CONCRETE
	AC PAVEMENT

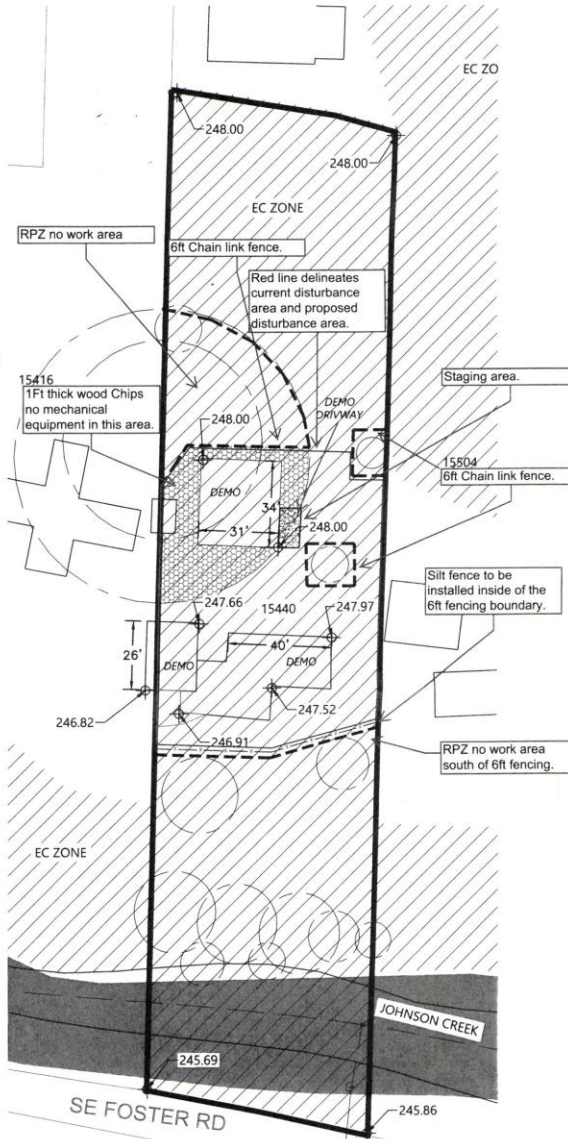
LOT AREA.....	34,689 SQ FT
<b>IMPERVIOUS AREA</b>	
DRIVEWAY.....	100 SQ FT
<b>BUILDING COVERAGE</b>	
BUILDING FOOTPRINTS.....	2,955 SQ FT

## LEGAL DESCRIPTION

SYCAMORE AC,  
LOT 32 & 33 TL 600  
R28253Z

## SITE ADDRESS

15440 SE MARTINS ST  
PORTLAND, OR  
97236



SITE PLAN



19-140914-RS Garage  
19-140913-RS SFR