



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

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[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** April 17, 2019

**From:** Sean Williams, Land Use Services  
503-823-7612 / [Sean.Williams@portlandoregon.gov](mailto:Sean.Williams@portlandoregon.gov)

## **REQUEST FOR RESPONSE**

**Case File:** LU 19-130312 LDS  
**Pre App:** PC # 18-274120

This notice is being sent to all service and technical review agencies for their input on the proposal described below. Neighborhood Associations also receive this advance notice via e-mail. Your timely response, as indicated below, will help the assigned planner determine if applicable approval criteria can be met, or what conditions might be required.

- The approval criteria are listed below. Although we are interested in any comments you may have, please consider your response in terms of these criteria.
- All agencies are encouraged to use this as an opportunity to inform the applicant of any additional requirements that may be imposed by your agency during building permit phase – especially those that would significantly affect the proposal.
- Please note in your response which requirements are specifically associated with the applicable land use review approval criteria, and which requirements you have the independent authority to impose at time of building permits.
- Neighborhood Associations are encouraged to submit comments by the deadline noted below. To comment, you may write to Sean Williams at 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201. You can also e-mail your comments to me at my e-mail address identified above. After the staff report is published, please submit your comments to the Hearings Officer at 1900 SW Fourth Ave., Suite 3100, Portland, OR 97201 and fax them to 503-823-4347.

The Bureau of Development Services recommendation will be published ten days before the scheduled hearing date. You will also receive a Notice of Public Hearing for this proposal, with hearing date and time confirmed, mailed twenty days prior to the hearing.

- **Please send your response to BDS no later than: May 17, 2019 – 30 days after the date of this RFR**
- **We must publish our report by: TBD**
- **A public hearing before the Hearings Officer has not been scheduled**

**Applicant:** Paul Del Vecchio, Ethos Development LLC  
2222 NE Oregon Street, #209, Portland, OR 97232

**Owner:** Pyco LLC  
5949 NE Cully Blvd, Portland, OR 97218-3354

**Engineer:** Chris Deslauriers, WDY Structural-Civil Engineers  
6443 SW Beaverton-Hillsdale Hwy., Suite 210, Portland, OR 97221

**Site Address:** NE 74<sup>th</sup> and Roselawn

**Legal Description:** TL 9200 3.81 ACRES, SECTION 20 1N 2E  
**Tax Account No.:** R942200630  
**State ID No.:** 1N2E20AB 09200  
**Quarter Section:** 2538  
**Neighborhood:** Cully, contact David Sweet at 503-493-9434.  
**Business District:** None  
**District Coalition:** Central Northeast Neighbors, contact Sandra Lefrancois at 503- 823-2780.

**Plan District:** North Cully  
**Zoning:** Residential 5,000 (R5) w/ Aircraft Landing Zone (h) Overlay  
**Case Type:** Land Division Subdivision (LDS)  
**Procedure:** Type III, with a public hearing before the Hearings Officer. The decision of the Hearings Officer can be appealed to City Council.

**Proposal:**

The applicant is proposing to subdivide the subject property into 26 lots for detached single family homes. Public streets to be improved as a part of this proposal include NE 74<sup>th</sup> Avenue, NE 75<sup>th</sup> Avenue, NE Roselawn Street, and NE Sumner Street. Sewer and water improvements are proposed within the new public street extensions. Stormwater management for individual lots is proposed to be collected and treated on-site then discharged into a new public storm main. The site is void of any improvements or trees.

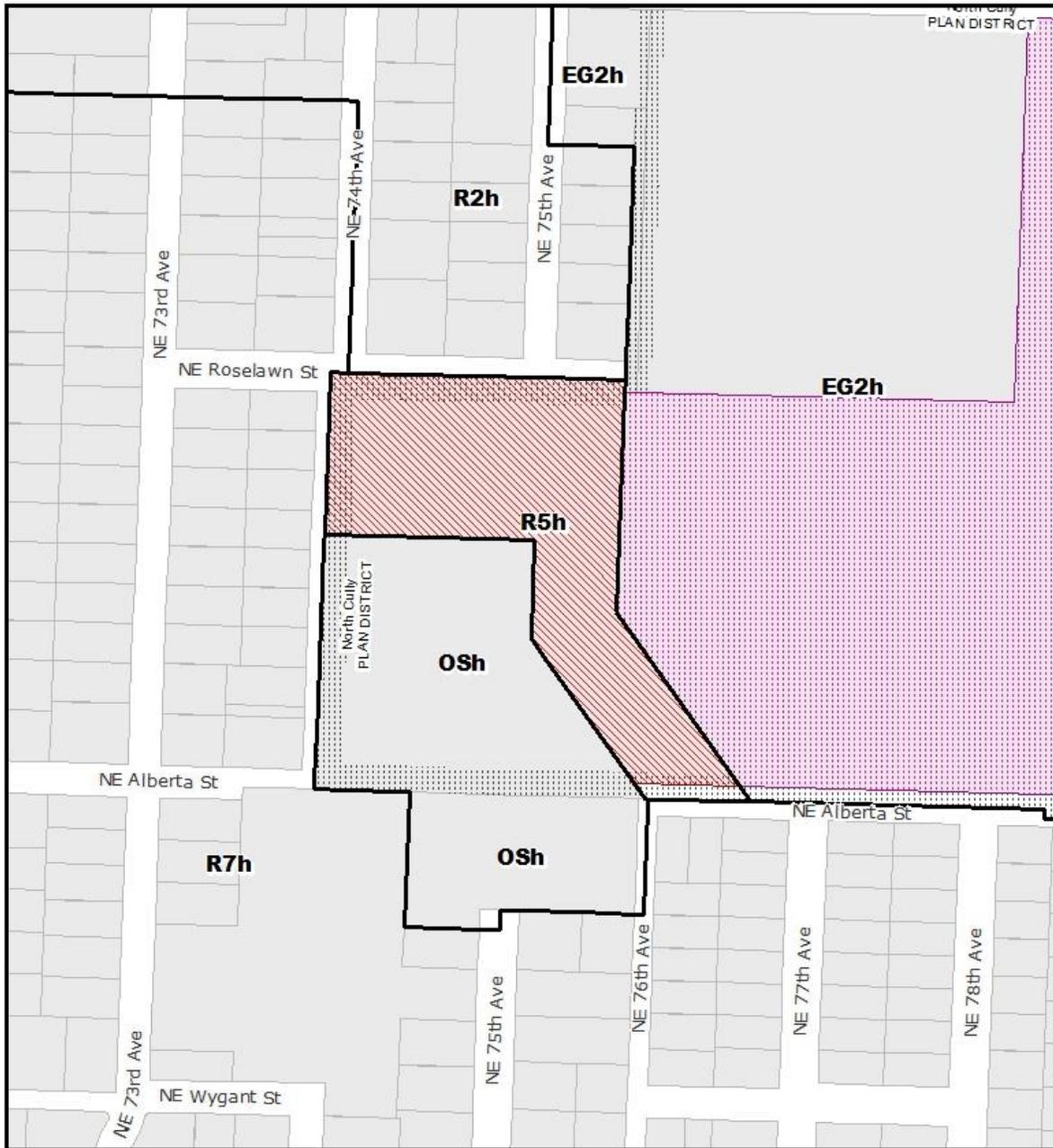
This subdivision proposal is reviewed through a Type III procedure because: (1) the site is in a residential zone; (2) more than ten dwelling units are proposed, not including accessory dwelling units (see 33.660.110).

For purposes of State Law, this land division is considered a subdivision. To subdivide land is to divide an area or tract of land into four or more lots within a calendar year, according to ORS 92.010. ORS 92.010 defines “lot” as a single unit of land created by a subdivision of land. The applicant’s proposal is to create 26 units of land (26 lots). Therefore, this land division is considered a subdivision.

**Relevant Approval Criteria:** In order to be approved, this proposal must comply with the approval criteria of *Title 33*. The relevant criteria are found in **Section 33.660.120, Approval Criteria for Land Divisions in Open Space and Residential Zones**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was filed, provided that the application is complete at the time of filing, or complete within 180 days. This application was filed on March 8, 2019 and determined to be complete on April 12, 2019.

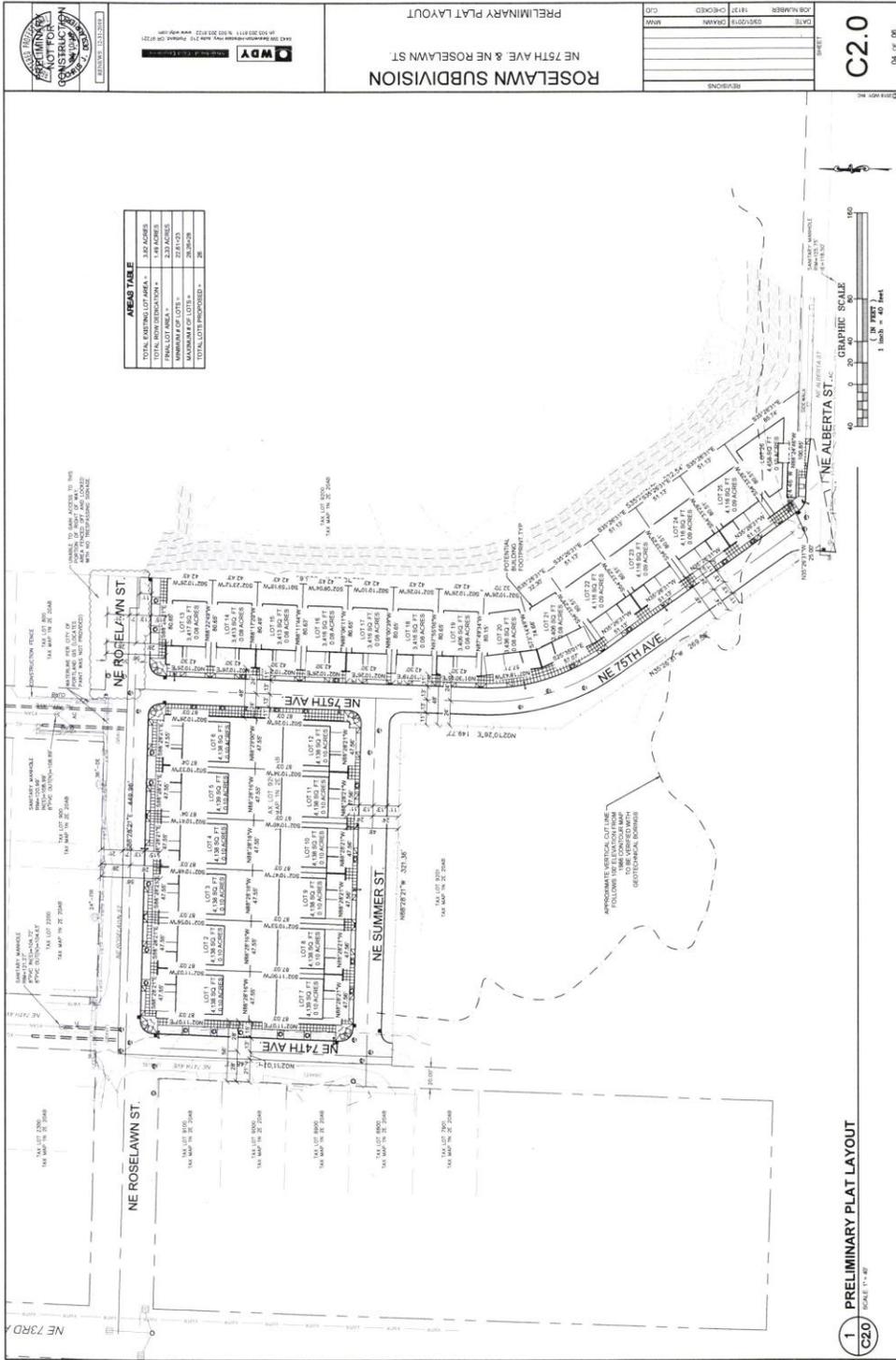
Enclosures: Zoning Map, Site Plan



**ZONING**   
 NORTH  
 THIS SITE LIES WITHIN THE:  
 NORTH CULLY PLAN DISTRICT

-  Site
-  Also Owned Parcels

File No.	LU 19-130312 LDS
1/4 Section	2538
Scale	1 inch = 200 feet
State ID	1N2E20AB 9200
Exhibit	B Mar 11, 2019



AREAS TABLE	
TOTAL EXISTING LOT AREA *	342 ACRES
TOTAL NEW DEVELOPMENT *	1.8 ACRES
TOTAL ACRES	343.8 ACRES
MAXIMUM LOT SIZE	25.0 ACRES
MINIMUM LOT SIZE	0.1 ACRES
TOTAL LOTS PROPOSED *	28

ROSELAWN SUBDIVISION  
NE 75TH AVE & NE ROSELAWN ST  
PRELIMINARY PLAT LAYOUT

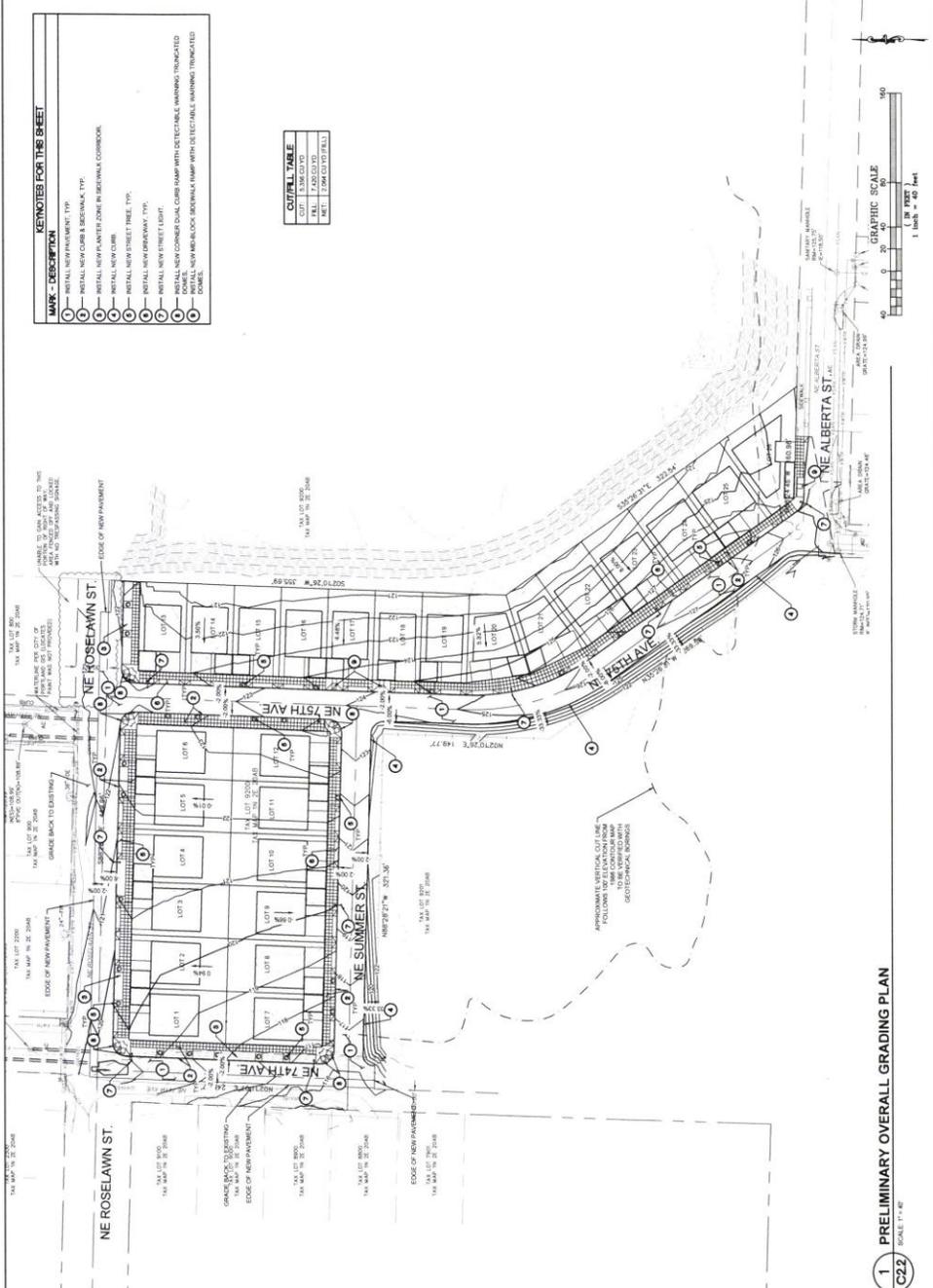
DATE	BY	REVISIONS
08/20/19	MMW	

C2.0  
04.02.05

1 PRELIMINARY PLAT LAYOUT  
SCALE 1"=40'

SD7 1913031 1917





- KEYNOTES FOR THIS SHEET**
- 1 - INSTALL NEW PAVEMENT, TYP.
  - 2 - INSTALL NEW CURB & SIDEWALK, TYP.
  - 3 - INSTALL NEW PLANTER ZONE IN SIDEWALK CORNER.
  - 4 - INSTALL NEW CURB.
  - 5 - INSTALL NEW STREET TREE, TYP.
  - 6 - INSTALL NEW DRIVEWAY, TYP.
  - 7 - INSTALL NEW CONCRETE DIAL CURB RAMP WITH DETECTABLE MARKING TRUNCATED CONE.
  - 8 - INSTALL NEW METAL CURB SIDEWALK RAMP WITH DETECTABLE MARKING TRUNCATED CONE.

**CUT/FILL TABLE**

CUT	3.00' TO 4.00'
FILL	2.00' TO 3.00'
FILL	3.00' TO 4.00'
FILL	4.00' TO 5.00'

LU 19-130312 LDS