



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor  
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[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** 6/14/2019  
**To:** Interested Person  
**From:** Tanya Paglia, Land Use Services  
503-823-4989 / [Tanya.Paglia@portlandoregon.gov](mailto:Tanya.Paglia@portlandoregon.gov)

## **NOTICE OF A TYPE I PROPOSAL IN YOUR NEIGHBORHOOD**

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 21 days, **we need to receive your written comments by 5 p.m. on 6/28/2019**. Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 19-144518 HR, in your letter. It also is helpful to address your letter to me, Tanya Paglia. You can also e-mail your comments to me at my e-mail address identified above. Please note that all correspondence received will become part of the public record.

### **CASE FILE NUMBER: LU 19-144518 HR – NEW REAR DORMER AND WINDOW REPLACEMENTS**

**Applicant:** Ben L Carstensen  
2414 NE 10<sup>th</sup> Ave  
Portland, OR 97212

**Site Address:** **2414 NE 10TH AVE**

**Legal Description:** BLOCK 93 LOT 17, IRVINGTON  
**Tax Account No.:** R420421190  
**State ID No.:** 1N1E26CA 04400  
**Quarter Section:** 2831

**Neighborhood:** Irvington, contact Dean Gisvold at 503-284-3885.  
**Business District:** Soul District Business Association, contact at [info@nnebaportland.org](mailto:info@nnebaportland.org)  
**District Coalition:** Northeast Coalition of Neighborhoods, contact Laura Becker at 503-388-6088.

**Plan District:** None  
**Other Designations:** Contributing Resource in the Irvington Historic District

**Zoning:** **R5** – Residential 5,000 with Historic Resource Protection Overlay  
**Case Type:** **HR** – Historic Resource Review  
**Procedure:** **Type I**, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

**Proposal:**

The applicant is seeking Historic Resource Review approval for a proposal to add a second-floor rear dormer and make several other exterior alterations on a contributing resource in the Irvington Historic District. The proposed new rear dormer will be identical to the home's two existing front dormers. The project will also include the following items:

- Ten window replacements using all wood windows with profiles to match the house's original windows;
- Replacement of two front metal porch columns with wood columns;
- Addition of front porch rail system with wood rails and pickets;
- Addition of rear porch rail system with wood rails metal lattice.

The subject house is a single-family, one and a half-story house in the Bungalow style. It was built in 1925 and features two small symmetrical gabled front dormers. The house sits back from the street on a 5,000 SF lot facing west onto NE 10<sup>th</sup> Ave.

Historic Resource Review is required because the proposal is for non-exempt exterior alterations in the Irvington Historic District.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria specified in the Portland Zoning Code. The relevant approval criteria are:

- 33.846.060.G *Other approval criteria*

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on April 8, 2019 and determined to be complete on 6/10/2019.

**Decision Making Process**

The Bureau of Development Services will make a decision on this proposal. After we consider your comments we will do one of the following:

- Approve the proposal;
- Approve the proposal with conditions; or
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment by making a request online or contacting me.

- Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. Copies of all information in the file can be obtained for the cost of making copies during the appointment.
- If you would like to request a copy of the file online, please visit <https://www.portlandoregon.gov/bds/54732>. The fee for this service varies based on the size of the case file and how long it would take to scan or copy documents.
- I can provide some information over the phone or through email.

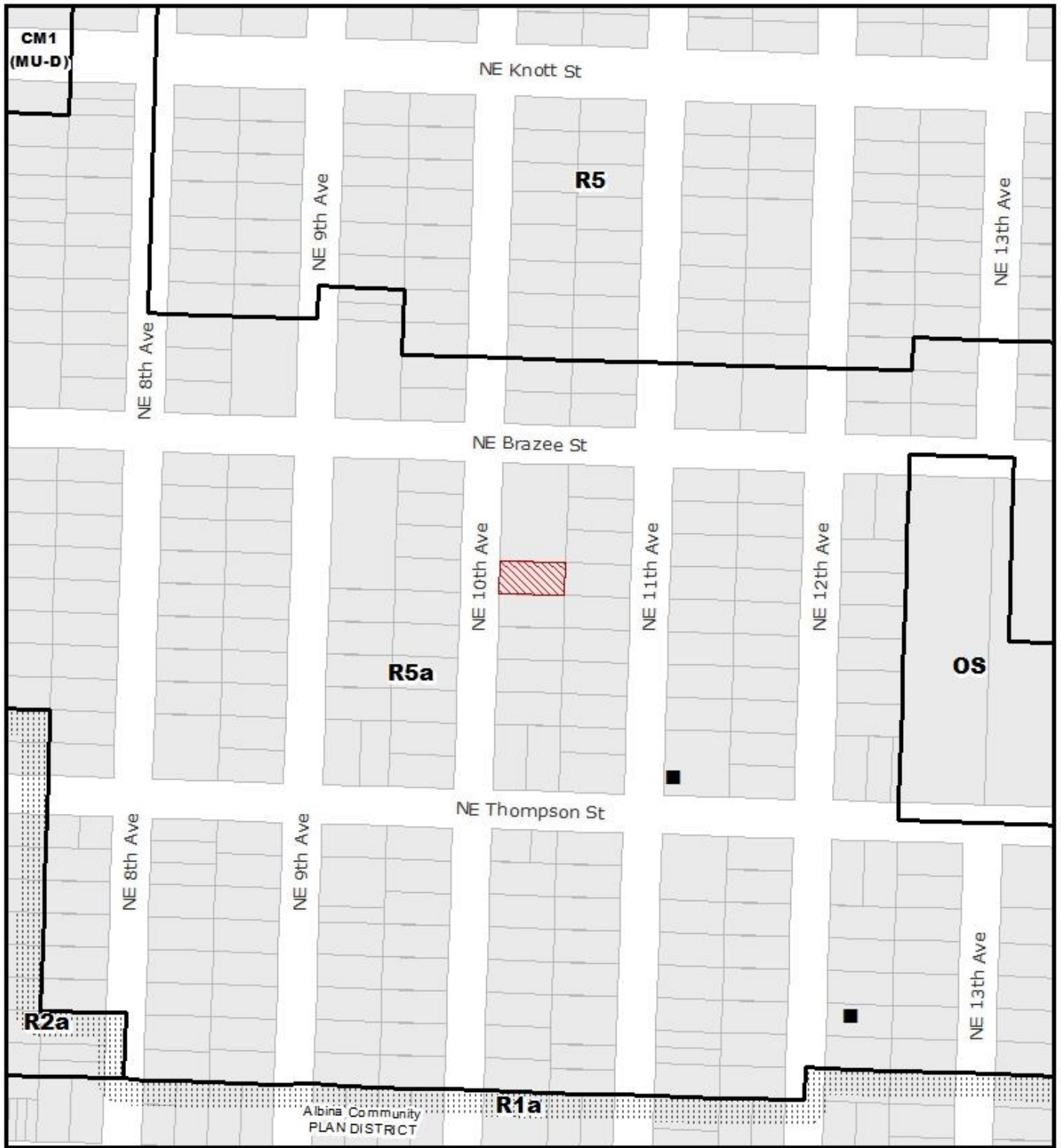
Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandoregon.gov](http://www.portlandoregon.gov).

**Appeal Process**

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem OR 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues which may provide the basis for an appeal to LUBA must be raised in writing before the deadline for comments, or you may not be able to raise that issue in an appeal. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**

**Enclosures:** Zoning Map; Site Plan; East (Rear) Elevations



# ZONING

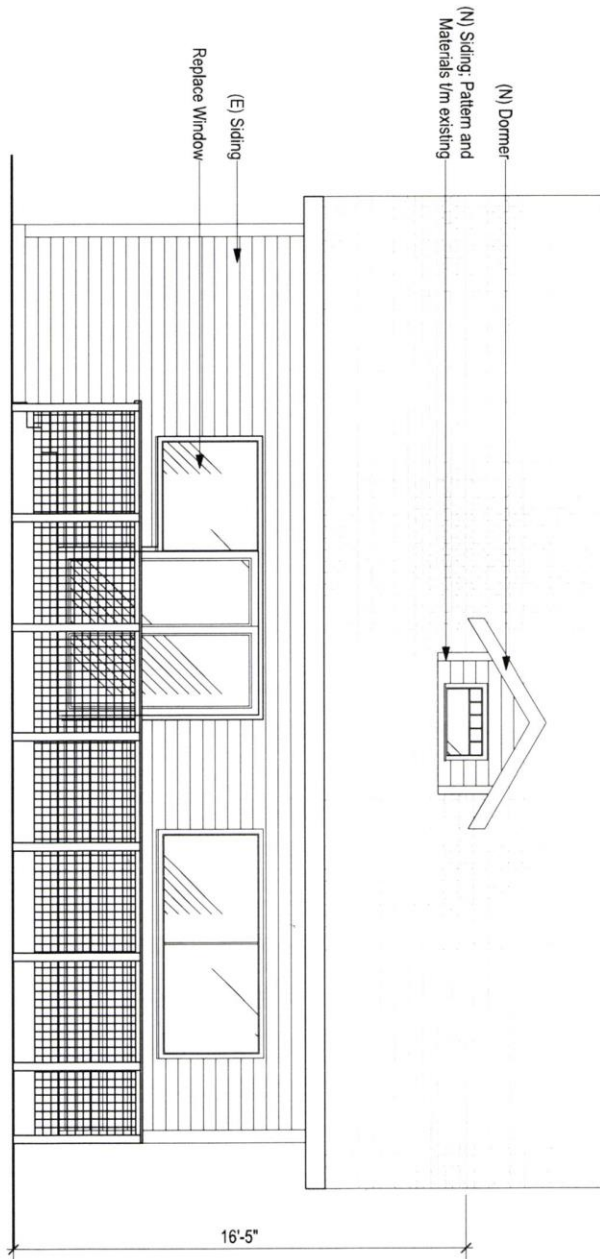
THIS SITE LIES WITHIN THE:  
IRVINGTON HISTORIC DISTRICT

-  Site
-  Historic Landmark

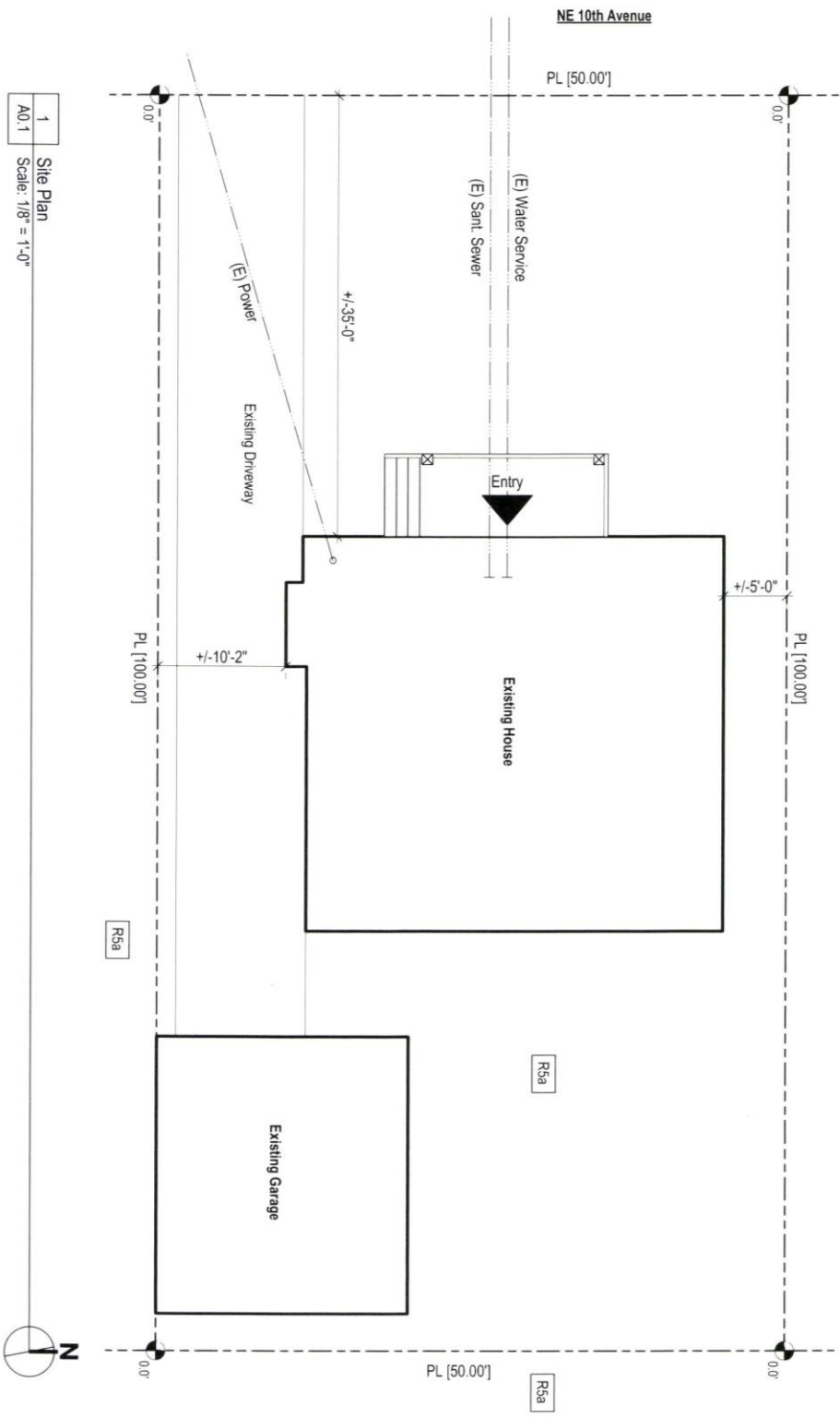
|             |                   |
|-------------|-------------------|
| File No.    | LU 19-144518 HR   |
| 1/4 Section | 2831              |
| Scale       | 1 inch = 200 feet |
| State ID    | 1N1E26CA 4400     |
| Exhibit     | B Apr 10, 2019    |

LV 19-144 S18HR

1 East Elevation  
A2.2 Scale: 1/4" = 1'-0"



**NOTE:** Where provided Elevation Drawings are for reference only. Contractor to field document and verify all conditions prior to beginning demolition and construction activities. Do not scale drawings.



1  
A0.1  
Site Plan  
Scale: 1/8" = 1'-0"



KL 19-144518 HR

A0.1

ISSUE DATE: 03.29.2019 | 2414 NE 10th Ave Dormer Addition  
 [Project: 11-19001]  
 2414 NE 10th Ave.  
 Portland, Oregon 97211

PERMIT SET