



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
Rebecca Esau, Director
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www.portlandoregon.gov/bds

Date: June 17, 2019
To: Interested Person
From: Marguerite Feuersanger, Land Use Services
503-823-7619 / mfeuersanger@portlandoregon.gov

NOTICE OF A TYPE I DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has **approved** proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 18-226807 HR: PROPOSED DETACHED GARAGE

GENERAL INFORMATION

Applicant/Owner: Stephen S Y Hui and Cynthia J Soohoo
2226 SE Spruce Ave | Portland, OR 97214-5362

Site Address: 2226 SE SPRUCE AVE

Legal Description: BLOCK 5 LOT 23, LADDS ADD
Tax Account No.: R463301130
State ID No.: 1S1E02CD 04500
Quarter Section: 3231
Neighborhood: Hosford-Abernethy, contact Michael Wade at wade.michael@comcast.net

Business District: Division-Clinton Business Association, contact at info@divisionclinton.com

District Coalition: Southeast Uplift, contact Leah Fisher at 503-232-0010.
Plan District: None

Other Designations: Contributing Resource in the Ladd's Addition Historic District, listed in the National Register of Historic Places on August 31, 1988.

Zoning: R5 – Single-Dwelling Residential 5,000 with Historic Resource Protection overlay

Case Type: HR – Historic Resource Review
Procedure: Type I, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

Proposal:

The applicant seeks Historic Resource Review approval for the addition of a detached garage at the rear of the site. The proposed garage will be 24 feet in length and 16 feet in width and located 4 feet from the rear lot line abutting the alley and 3 feet from the northeast side lot line. It will be 14'-2" in height, from finished grade to the peak of the gabled roof. Cement-

board lap siding (Artisan Hardi-plank), two wood windows and wood door are proposed. A metal garage overhead door is proposed at the southeast elevation facing the alley.

Historic Resource Review is required for proposed buildings in the Ladd's Addition Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- Ladd's Addition Conservation District Guidelines

ANALYSIS

Site and Vicinity: The 5,120 square foot property located in the southwest quadrant of the historic district includes a two and a half story Arts and Crafts Style residence historically known as the Ella DuBruille Residence. The house is a contributing resource and was built in 1911.

The Ladd's Historic District, with its distinctive pattern of streets, alleys, and public gardens, is significant as an early example of planned suburban development related to the extension of streetcar lines east of the Willamette River in the late nineteenth century. Ladd's Addition Historic District was listed in the National Register of Historic Places on August 31, 1988, with a period of significance of 1891-1939.

The historic character of the Ladd's Addition neighborhood is one of small to medium-sized houses, set back moderately from tree-lined streets, with five public gardens incorporated into the distinctive layout of the subdivision at significant nodes. A few larger houses, churches, small apartment buildings, and modest commercial properties, similar in character to the single-family housing, are sprinkled throughout the district. Denser traditional storefront commercial and apartment development is concentrated along SE Hawthorne, the northern boundary street, and SE Division at the south. These were the streets that were originally designed to accommodate the streetcar lines.

Regarding area amenities within a quarter-mile (roughly a five-minute walk) from the site, there are a numerous restaurants, cafes and shops within this range both to the west along SE 11th and 12th Avenues, and to the south along SE Division Street. Open space amenities can be found in the Ladd's Rose Gardens Circle and Square as well as the nearby Abernethy Elementary School.

Transportation amenities adjacent to the site include several options. The #70 bus line provides frequent transit service (defined by Portland Zoning Code (PZC) 33.266.110.D) on both SE 11th and SE 12th. In addition, the #4 bus line provides "frequent transit service" along Division Street. These streets are also designated as City Bikeways in the Transportation System Plan (TSP).

Zoning: The Residential 5,000 (R5) single-dwelling zone is intended to preserve land for housing and to provide housing opportunities for individual households. The zone implements the comprehensive plan policies and designations for single-dwelling housing. Minimum lot size is 3,000 square feet, with minimum width and depth dimensions of 36 and 50 feet, respectively. Minimum densities are based on lot size and street configuration. Maximum densities are 1 lot per 5,000 square feet of site area.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in the region and preserves significant parts of the region's heritage. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region's

citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

Land Use History: City records indicate there are no prior land use reviews for this site.

Agency Review: A Notice of Proposal in your Neighborhood was mailed on February 7, 2019. No Bureaus responded with concerns. However, the applicant discussed the proposal with a life safety plans examiner, who notes requirements for eaves closer than 3 feet to the property line (Exhibit E-1 and Inquiry Folder #18-226724 IQ).

Neighborhood Review: No written responses were received from either the Neighborhood Association or notified neighbors in response to the Notice of Proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846.060 - Historic Resource Review

Purpose of Historic Resource Review

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Resource Review Approval Criteria

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the Ladd's Addition Historic District and the proposal is for a non-exempt treatment requiring a new foundation. Therefore, Historic Resource Review approval is required. The approval criteria are the *Ladd's Addition Conservation District Design Guidelines – New Construction*.

Staff has considered all guidelines and addressed only those applicable to this proposal.

Ladd's Addition Conservation District Guidelines - New Construction

- 1. Siting.** All new buildings should face the street. Commercial buildings should be pedestrian oriented and have a zero front yard setback. All other buildings should maintain the historical front yard setback on the block, usually fifteen to twenty feet. The original topography and grade of building sites should be maintained.

Findings: The proposed detached garage would be at the rear (southeast) of the property, off the alley, and behind the primary residence. It is appropriately sited for a detached accessory structure.
This guideline is met.

- 2. Landscaping.** On the site of non-commercial structures, the retention of front lawns and mature trees is encouraged. The predominant use of ground covers, such as bark mulch and broadleaf evergreens, is discouraged. Plants popular in the 1910's and 1920's are encouraged.

Findings: The existing established landscaping on the site would not be impacted by the proposed detached garage. Because the garage would be sited behind the house and adjacent to the alley, no impact to the front lawn and front landscaping would occur. In addition, the location of the proposed garage is currently hardscaped so no landscaping in the rear of the site would be negatively impacted to accommodate the garage.
This guideline is met.

- 4. Parking.** Parking areas and driveways are discouraged in the front yard. Required on-site parking should be located in the rear yard or beneath new construction. Parking

areas, providing space for three or more cars, should be screened from adjacent properties: hedges and canopy trees are recommended as screens. No lot within the district should be converted solely for parking.

Findings: As stated above, the proposed detached garage would be at the rear of the property, four feet from the alley, and behind the primary residence. It is appropriately sited for on-site parking.
This guideline is met.

- 5. Building Height.** In areas zoned for single family residential use, new buildings should not be less than one and one-half stories or more than two and one-half stories or thirty-five feet in height. In all other areas, new buildings should not exceed three stories or forty-five feet in height.

Findings: The proposed building is a one-story detached garage that is 14'-2" as measured from finished grade to the peak of the gabled roof (Exhibit C-5), which meets the height limitation for a detached covered accessory structure, per Section 33.110.250(C)(1).
This guideline is met.

- 6. Building Façade Proportions.** The front façades of non-commercial buildings should be vertical, i.e., higher than they are wide.

Findings: The proposed detached garage is designed with vertical proportions to be consistent with the primary residence while clearly reading as a secondary structure to the contributing resource on site.

Although the garage width is greater than its height (16' wide and 14'-2" tall), it is an accessory structure intended for the storage of one vehicle and contains no living space. The garage is located behind the primary house and is not a prominent feature from the sidewalk view of SE Spruce Avenue. The roof pitch is 6/12 which is common for a small detached garage.
This guideline is met.

- 8. Exterior Siding Materials.** Materials used on new buildings should be consistent with predominant materials used on buildings of a similar use within the district. On single family residences and duplexes: stucco, horizontal wood siding, wood shingles, brick, or a combination of these materials. On commercial and multi-family residences: stucco and brick. The following materials are discouraged: plywood, used brick, shakes, exposed concrete block and metal.

Findings: The existing house on the site has asbestos exterior siding with an 8-inch exposure, which is not original to the house. The applicant does not know the material or exposure of the house's original siding. The proposed garage is to be clad with Hardie Artisan® lap siding which features a greater thickness than traditional Hardie fiber cement siding: regular Hardie lap siding is 5/16" in thickness, where Hardie Artisan is 5/8" thick. The Artisan siding gives the appearance of traditional wood lap siding but is differentiated from historic siding in its material properties. The exposure is 6 inches, is compatible with nearby neighborhood houses. Because these are important details, a condition of approval has been added to ensure their construction. *With the condition of approval that the siding for the garage be Hardie lap siding, shall be not less than 5/8 inch in thickness with a 6-inch exposure, this guideline is met.*

- 9. Roof Form.** Non-commercial buildings should have gable or hip roofs with medium to steep pitch. Dormers and gable roof projections are encouraged. Commercial buildings should have flat roofs with parapets or false fronts. Detailing of the parapets with cornices and stepping is encouraged.

Findings: The roof of the proposed detached garage would have a medium pitch of 6:12, eave and corbel details. Because the garage is accessory to the primary house and contains no living area, the proposed gable roof is acceptable.

This guideline is met.

- 11. Development Impacts.** All new development should be designed and operated to minimize potential adverse impacts upon surrounding residences and to reduce conflicts with residential uses. Factors to be considered are traffic generation, deliveries, parking, noise, lighting, crime prevention, hours of operation and activity, visual effects and buffering.

Findings: The proposed detached garage would be located at the rear of the subject property and is allowed to be in the side setback because it meets the criteria of Zoning Code Section 33.110.250.C.2.b. No windows or doors are proposed on the wall located within the side setback so there are no privacy impacts on the closest neighboring property. No new traffic would be generated from the garage and it would allow the applicant to park a vehicle within it instead of on the street. Two small light fixtures are proposed on either side of the garage door on the façade facing the alley and one is proposed next to the door on the façade facing the interior of the rear yard. These lights would not create glare for neighboring properties but would help with crime prevention. Therefore, the proposed development would minimize potential adverse impacts upon surrounding residences and reduce conflicts with other residential uses.

This guideline is met.

- 12. Front Façade Detailing.** Primary entrances to buildings should be oriented to the street rather than to a rear yard or interior side yard. Front porches and projecting features such as balconies, bays and dormer windows are encouraged. Blank façades with no windows are discouraged.

Findings: The proposed one-car detached garage would be located at the rear (east) of the property and face the alley. The garage includes area for one vehicle and open storage. It contains no living space. The façade facing the alley contains an overhead door and two small light fixtures. The garage would not be visible from SE Spruce Avenue and thus would not detract from the front façade detailing of the primary residence on site.

This guideline is met.

- 13. Windows and Doors.** Window sashes and doors should be wood frame and detailed with wood trim. For commercial buildings, storefront windows with large fixed panes below and smaller frames above are encouraged. For other buildings, vertical, double-hung windows, as well as groups of vertical windows which may be horizontal in overall expression, are encouraged.

Findings: The proposed windows (2) are clad-wood casement windows consistent in size and scale with those on the house, the primary contributing resource. Windows in the proposed detached garage will be installed within the wall depth matching those in of the house: approximately 2 inches from outer trim to glass. However, to meet this guideline, the proposed windows should be wood rather than clad wood. A condition of approval has been added to require this. A solid wood door matching the style and inset of the contributing resource is proposed for the detached garage. The overhead garage door is made of metal.

With the condition of approval that all windows and the person door shall be made of wood and installed at an inset depth of 2 inches from outer trim to glass, this guideline is met.

- 15. Color.** Earth tones and muted colors which are derived from natural materials, such as stone, brick and soil are encouraged. Use of bright colors is discouraged.

Findings: The color of the proposed detached garage is to match the green siding and white trim of the contributing resource on site.

This guideline is met.

- 17. Crime Prevention.** Crime prevention elements should be included in the design with specific attention to landscaping, parking areas, walkways, lighting, entries, and visibility. Windows and entries should not be obscured. Parking areas, walkways, and entries should be adequately illuminated for visibility.

Findings: The proposed detached garage would be located at the rear of the property adjacent to the alley. It would be visible from the primary house on the subject site as well as neighboring properties. It would not be obscured by any landscaping or solid fences. Small light fixtures are proposed on either side of the garage door as well as the door facing the interior of the rear yard, so it would be adequately illuminated for visibility. Exterior illumination is an important aspect to crime prevention, so a condition of approval will require installation of the lights.

With the condition of approval that the light fixtures as shown on the applicant's Exhibit C-8 shall be installed on the detached garage, this guideline is met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all requirements of Title 11 can be met, and that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review, prior to the approval of a building or zoning permit.

CONCLUSIONS

The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. As indicated in detail in the findings above, this proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

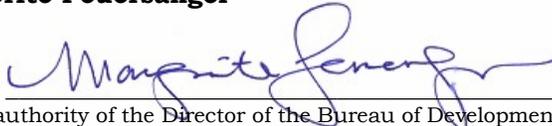
Approval of a one-car detached garage at the rear northeast corner of the subject site, adjacent to the existing alley in Ladd's Addition Historic District.

The approval is granted per the approved, Exhibits C-1 through C-8, signed and dated June 11th and June 12th, 2019, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through F) must be noted on each of the four required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE- Case File LU 18-226807 HR." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. The lap siding proposed for the detached garage shall be 6 inches in exposure and not less than 5/8 inch in thickness.

- D. All windows and person doors on the detached garage shall be made of solid wood, installed at an inset depth of at least 2 inches from outer trim to glass.
- E. Light fixtures shall be installed as indicated on the approved elevations.
- F. No field changes allowed.

Staff Planner: Marguerite Feuersanger

Decision rendered by:  **on June 11, 2019.**

By authority of the Director of the Bureau of Development Services

Decision mailed June 17, 2019

Procedural Information. The application for this land use review was submitted on August 24, 2018, and was determined to be complete on January 28, 2019.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on August 24, 2018.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant extended the review period by an additional 30 days (Exhibit G.3). Unless further extended by the applicant, **the 150 days will expire on: June 27, 2019.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

This decision, and any conditions associated with it, is final. It may be appealed to the Oregon Land Use Board of Appeals (LUBA), within 21 days of the date the decision is mailed, as specified in the Oregon Revised Statute (ORS) 197.830. Among other things, ORS 197.830 requires that a petitioner at LUBA must have submitted written testimony during the comment period for this land use review. Contact LUBA at 775 Summer St NE Suite 330, Salem, OR 97301-1283 or phone 1-503-373-1265 for further information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-

823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Recording the final decision.

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- The final decision will be recorded after **June 17, 2019** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

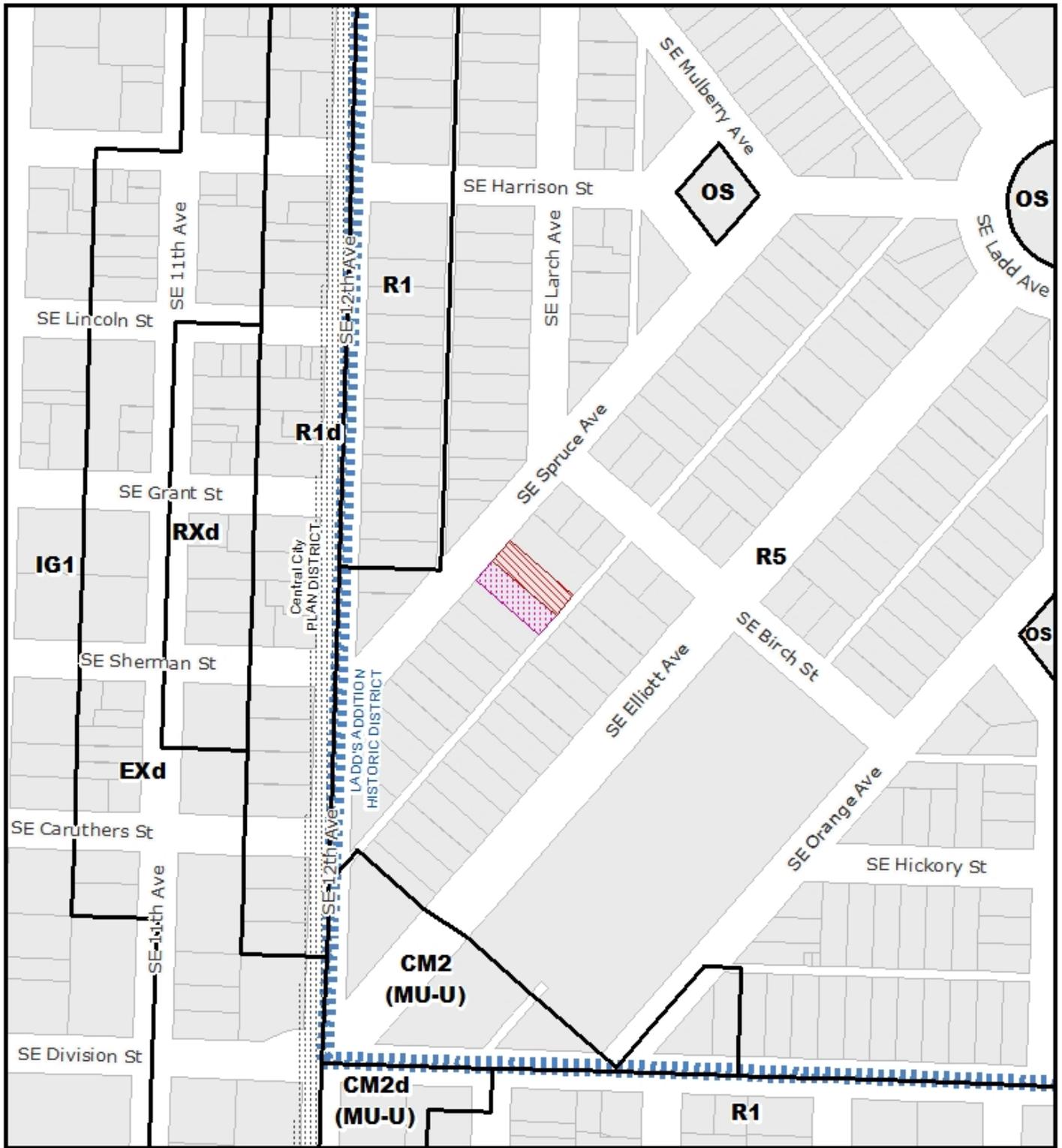
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code for the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
 - 1. Narrative, Existing Conditions Photos, Site Plan (superseded), and Drawing Set (superseded) submitted 8/24/18
 - 2. Fiber Cement Siding Photos, Jeld-Wen Vinyl Window Cut Sheet, and Jeld-Wen Fiberglass Door Cut Sheet received 9/12/18
 - 3. Existing Window Photo and Jeld-Wen Vinyl Window Operator Sections received 9/13/18
 - 4. Jeld-Wen W-2500 Wood Clad-Wood Window Casement Architectural Design Manual received 10/19/18
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Front – Southeast Elevation (attached)
 - 3. Rear – Northwest Elevation (attached)
 - 4. Left Side Wall– Southwest Elevation (attached)
 - 5. Right Side – Northeast Elevation (attached)
 - 6. Cross-Section
 - 7. Jeld-Wend Solid Wood Casement Windows, received May 16, 2019
 - 8. Metal Overhead Door Model 494 Thermacore, received May 16, 2019
 - 9. Altair Lighting Model AL-2163 LED Wall Lantern Instruction Manual received 10/25/18
- D. Notification Information:
 - 1. Mailing List
 - 2. Mailed Notice
- E. Agency Responses
 - 1. Life Safety Plans Examiner Notes
- F. Correspondence: No responses were received.
- G. Other:
 - 1. Original LU Application
 - 2. Incomplete Letter mailed 9/7/18
 - 3. Applicant's Signed Extension of 120-Day Review Period

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING

THIS SITE LIES WITHIN THE:
LADD'S ADDITION HISTORIC DISTRICT

-  Site
-  Also Owned Parcels

File No.	LU 18-226807 HR
1/4 Section	3231
Scale	1 inch = 200 feet
State ID	1S1E02CD 4500
Exhibit	B Aug 28, 2018

IMPERVIOUS AREA

DRIVEWAY NA
PATIO NA
SIDEWALK NA
ROOF AREA _____
INCLUDING OVERHANG) _____
TOTAL _____

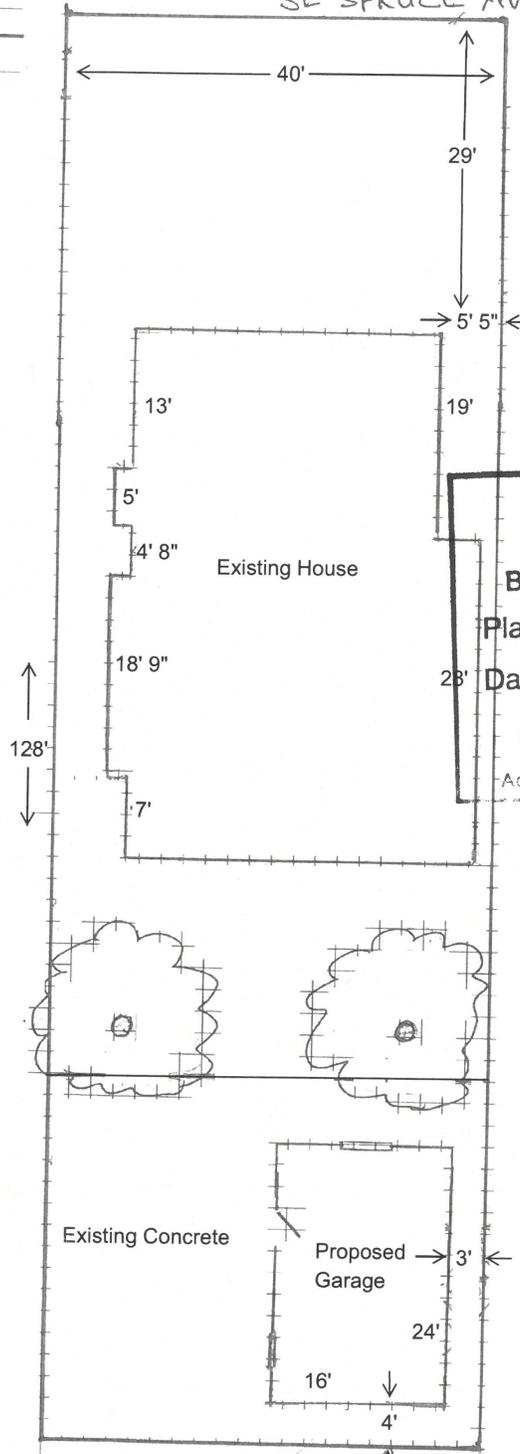
BUILDING COVERAGE

BUILDING FOOTPRINT 34' x 48'
Garage Footprint ~ 16' x 24'

LOT AREA

LOT AREA 5120

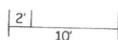
SE SPRUCE AVENUE



Approved
City of Portland
Bureau of Development Services
Planner [Signature]
Date 6/11/19
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

SITE PLAN

SCALE: 1" = 10'



PROJECT LEGAL

PROJECT ADDRESS

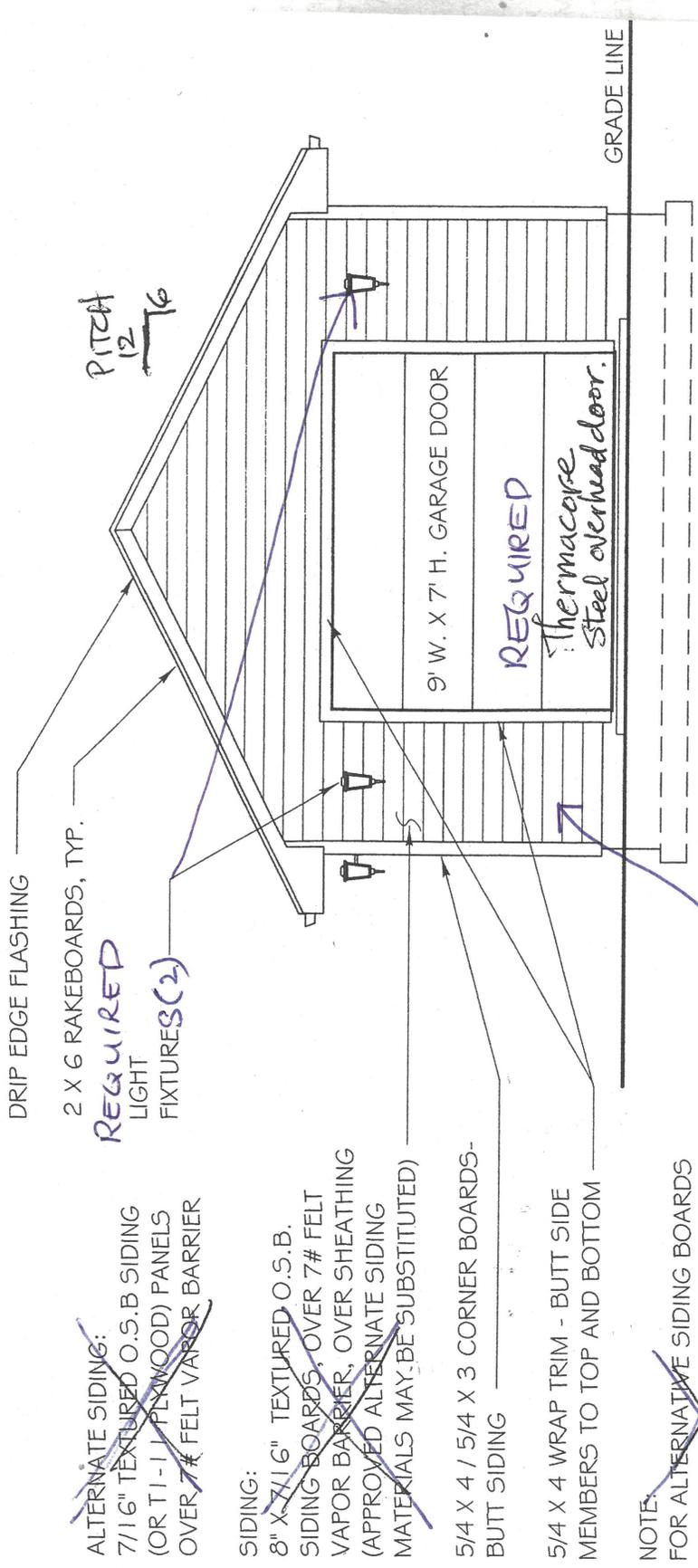
2226 SE Spruce Ave.
PORTLAND OR 97214

CASE NO. 18-226807 NR

EXHIBIT C-1



NORTH



ALTERNATE SIDING:
~~7/16" TEXTURED O.S.B SIDING
 (OR T1-11 PLYWOOD) PANELS
 OVER 7# FELT VAPOR BARRIER~~

SIDING:
~~8" X 2 1/2" TEXTURED O.S.B.
 SIDING BOARDS, OVER 7# FELT
 VAPOR BARRIER, OVER SHEATHING
 (APPROVED ALTERNATE SIDING
 MATERIALS MAY BE SUBSTITUTED)~~

5/4 X 4 / 5/4 X 3 CORNER BOARDS-
 BUTT SIDING

5/4 X 4 WRAP TRIM - BUTT SIDE
 MEMBERS TO TOP AND BOTTOM

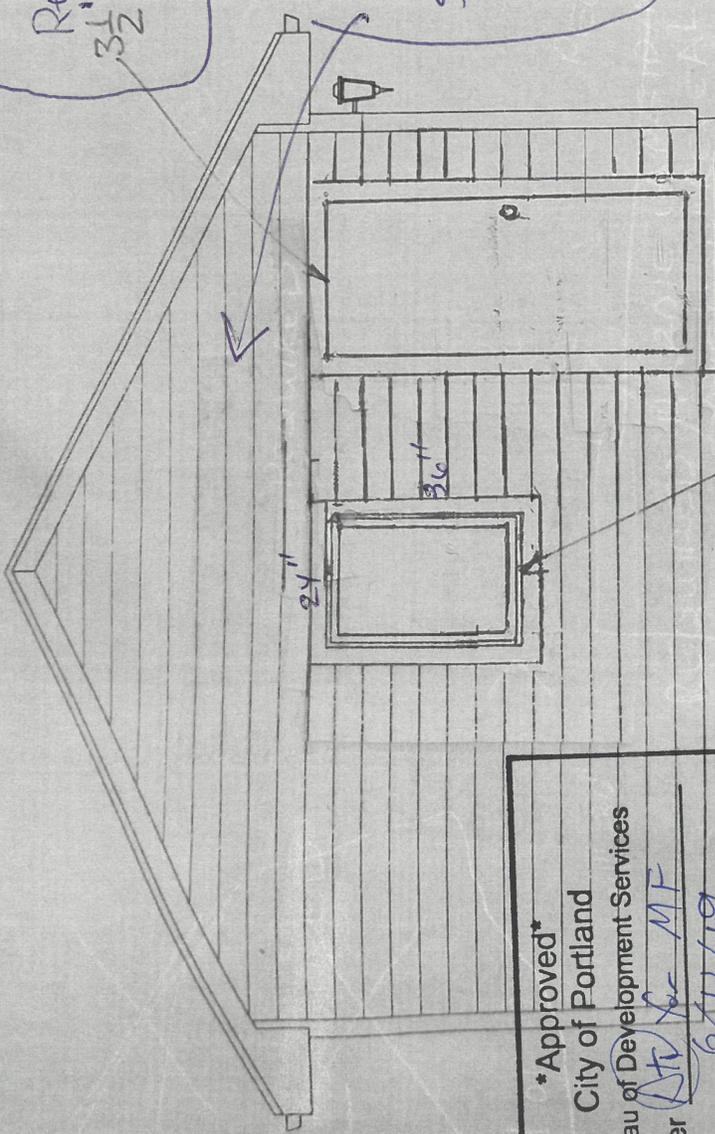
NOTE:
~~FOR ALTERNATIVE SIDING BOARDS
 USE 1X TRIM BOARDS AND NAIL OVER
 SIDING PANELS~~

REQUIRED: SIDING
 Must be Hardie Plank Lap Siding
 Artisen series horizontal-6" Roveal-
 ALL ELEVATIONS. 5/8" thick

FRONT ELEVATION - SOUTHEAST
 SCALE: 1/4" = 1'-0"

Approved
 City of Portland
 Bureau of Development Services
 Planner *[Signature]*
 Date 6/11/19
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

EXHIBIT C-2
 18. 226807 HR



REQUIRED:
 $3\frac{1}{2}$ " x 7" SOLID WOOD
 Jeld-wen

REQUIRED: HARDIE
 LAP SIDING - ARTISAN
 SERIES HORIZONTAL
 REVEAL AND $\frac{5}{8}$ "
 THICK - ALL
 ELEVATIONS

REQUIRED:
 24" x 36" Casement: Jeld-wen
 Wood Casement Window
 W-4500
 2 of 2

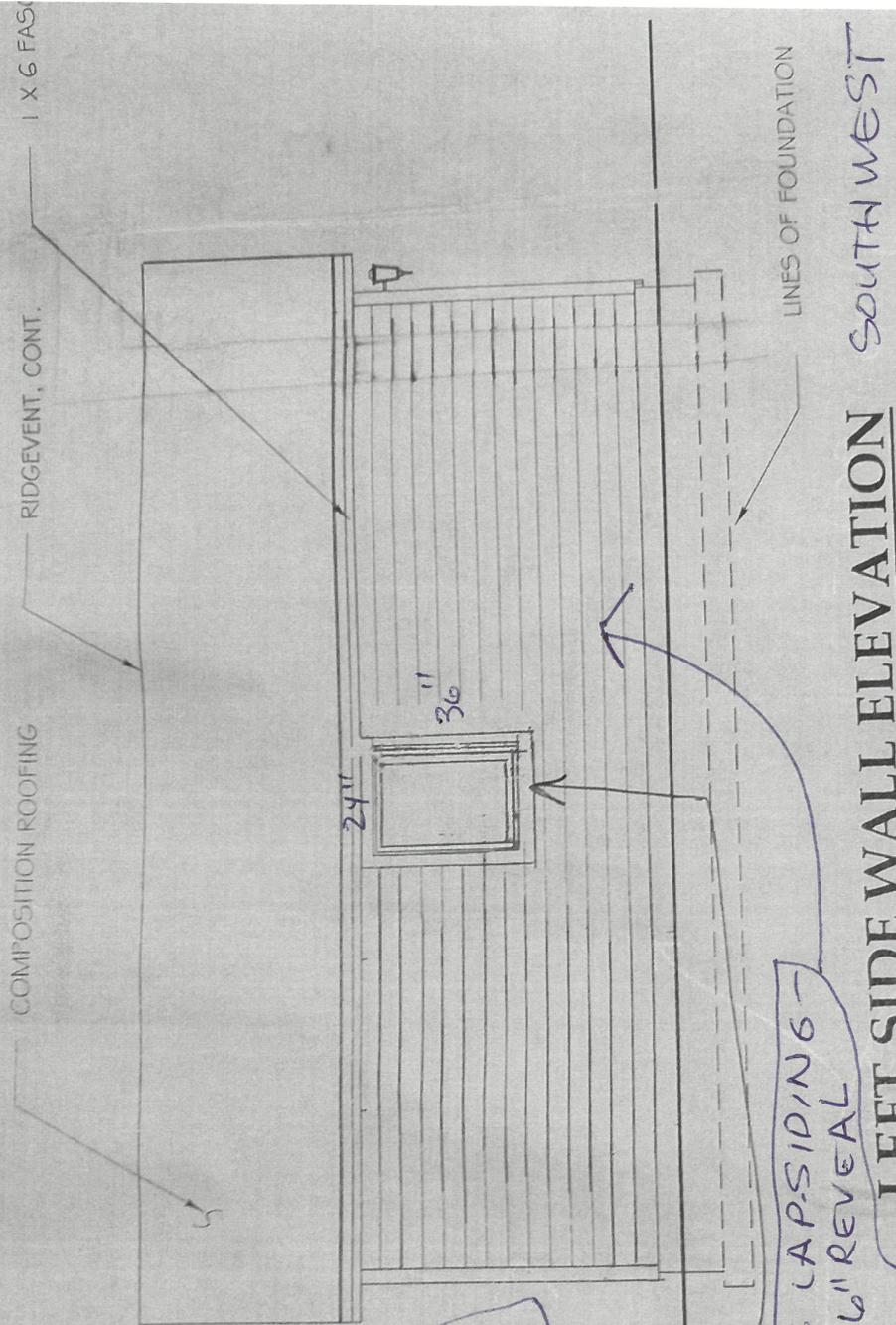
Approved
 City of Portland
 Bureau of Development Services
 Planner DTL for MF
 Date 6/12/19
 * This approval applies only to the reviews requested and is subject to all conditions of approval.
 Additional zoning requirements may apply.

REAR ELEVATION

SCALE: 1/4" = 1'-0" NORTH WEST

EXHIBIT C-3
 18. 226807 HR

rec. June 1, 2019



LEFT SIDE WALL ELEVATION SOUTH WEST

SCALE: 1/4" = 1'-0"

Note:
REQUIRED
 Jeldwen 24" x 36"
 wood casement
 window W-4500
 1 of 2

**REQUIRED HARDIE LAP SIDING -
 ARTISAN SERIES 6" REVEAL -
 AND 5/8" THICK -
 ALL ELEVATIONS.**

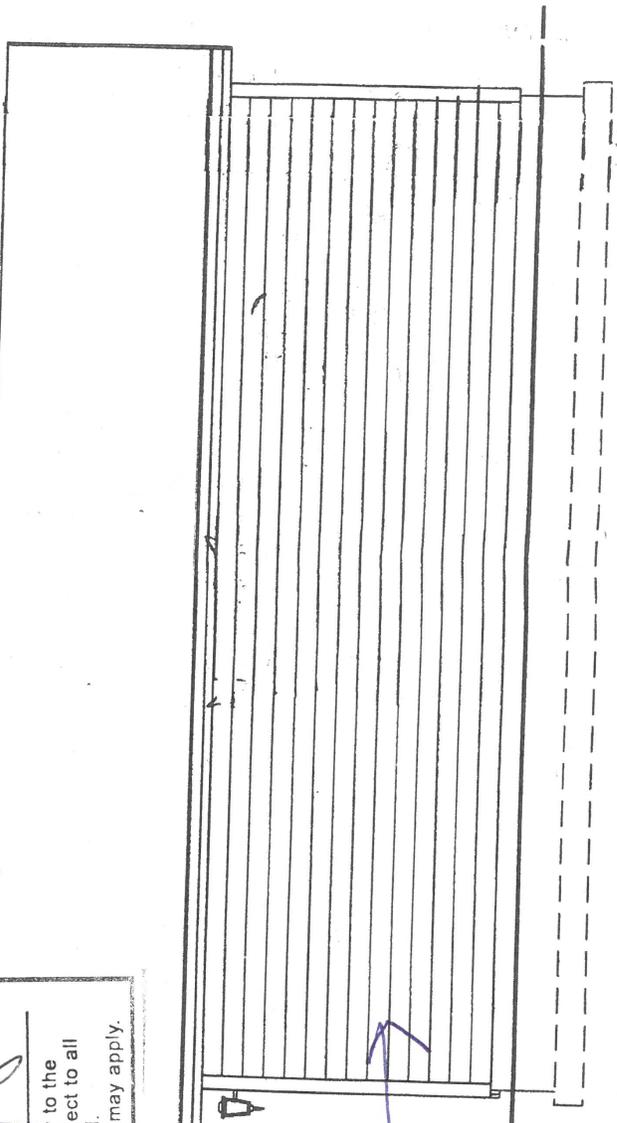
Approved
 City of Portland
 Bureau of Development Services
 Planner: *[Signature]*
 Date: 6/11/19
 END RAFTERS

Sec. June 1, 2019

EXHIBIT C-4
 18. 226007 HR

*** Approved***
 City of Portland
 Bureau of Development Services
 Planner *[Signature]*
 Date 6/11/19

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



RIGHT SIDE ELEVATION - NORTH EAST
 SCALE: 1/4" = 1'-0"

REQUIRED: HARDIE LAP SIDING - ARTISAN SERIES
 HORIZONTAL 6" REVEAL AND 5/8" THICK,
 ALL ELEVATIONS

EXHIBIT C-5
 18-226807HR -