



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
Rebecca Esau, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: September 10, 2019
To: Interested Person
From: Clare Fuchs, Land Use Services
503-823-7843 / Clare.Fuchs@portlandoregon.gov

NOTICE OF A TYPE IX PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 45 days, **we need to receive your written comments by 5 p.m. on October 10, 2019.** Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 19-173658 LDP, in your letter. It also is helpful to address your letter to me, Clare Fuchs. You can also e-mail your comments to me at my e-mail address identified above. Please note that all correspondence received will become part of the public record.

CASE FILE NUMBER: LU 19-173658 LDP

Representative: Danelle Isenhardt, Emerio Design
6445 SW Fallbrook Pl #100 Beaverton OR 97008
503-880-4979 danelle@emeriodesign.com

Owner/Applicant: Slavik Dezhnyuk, Dez Development LLC
10117 SE Sunnyside Rd, Ste F1123 Clackamas OR 97015
503-209-7561 slavik@dezdevelopment.com

Site Address: 7037 NE PRESCOTT ST

Legal Description: BLOCK 5 LOT 10, PADDOCK AC
Tax Account No.: R637202130
State ID No.: 1N2E20BD 05100
Quarter Section: 2537 & 2637
Neighborhood: Cully, contact David Sweet at 503-493-9434.
Business District: None
District Coalition: Central North Neighbors, contact Sandra Lefrancois at 503-823-3159.
Zoning: Single Dwelling Residential 7,000 with an "h" Aircraft Landing Zone overlay

Case Type: Land Division - Partition
Procedure: Type Ix, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

Proposal:

The applicant is proposing a 2-parcel land division resulting in two parcels. Parcel 1, a flag lot, is proposed to be 7,076 square feet with the flag portion proposed to be 4,736 square feet. Parcel 1's driveway will be 15-feet wide and utilize the existing driveway location on the east side of the property. Parcel 2 is proposed to be 9,990 square feet and will utilize the existing driveway location on the west side of the property. The existing house, a detached garage, and a flowering dogwood tree will be retained on Parcel 2.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are found in Section **33.660.120, Approval Criteria for Land Divisions in Open Space and Residential Zones.**

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on June 4, 2019 and determined to be complete on September 4, 2019.

DECISION MAKING PROCESS

The Bureau of Development Services will make a decision on this proposal. After we consider your comments we will do one of the following:

- Approve the proposal;
- Approve the proposal with conditions; or
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment by making a request online or contacting me.

- Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. Copies of all information in the file can be obtained for the cost of making copies during the appointment.
- If you would like to request a copy of the file online, please visit <https://www.portlandoregon.gov/bds/54732>. The fee for this service varies based on the size of the case file and how long it would take to scan or copy documents.
- I can provide some information over the phone or through email.

Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandoregon.gov.

APPEAL PROCESS

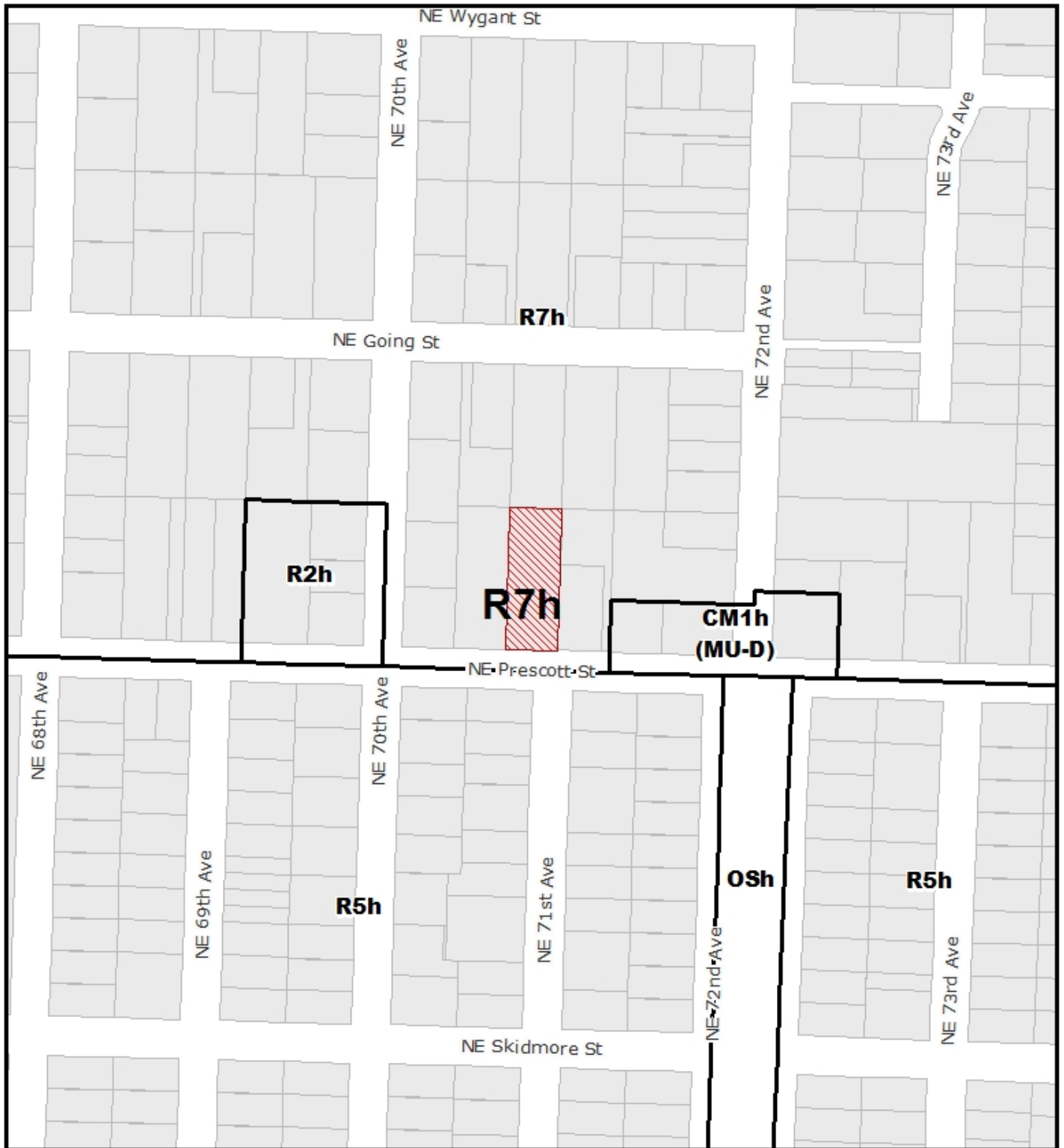
If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem OR 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues which may provide the basis for an appeal to LUBA must be raised in writing before the deadline for comments, or you may not be able to raise that issue in an appeal. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

Zoning Map

Preliminary Plat and Development Plan



ZONING



File No.	LU 19-173658 LDP
1/4 Section	2537,2637
Scale	1 inch = 200 feet
State ID	1N2E20BD 5100
Exhibit	B Jun 07, 2019

7037 NE PRESCOTT STREET
 2-LOT PARTITION
 TAX MAP T1N R2E 20BD
 PORTLAND, OREGON

PRELIMINARY
 SITE/UTILITY PLAN

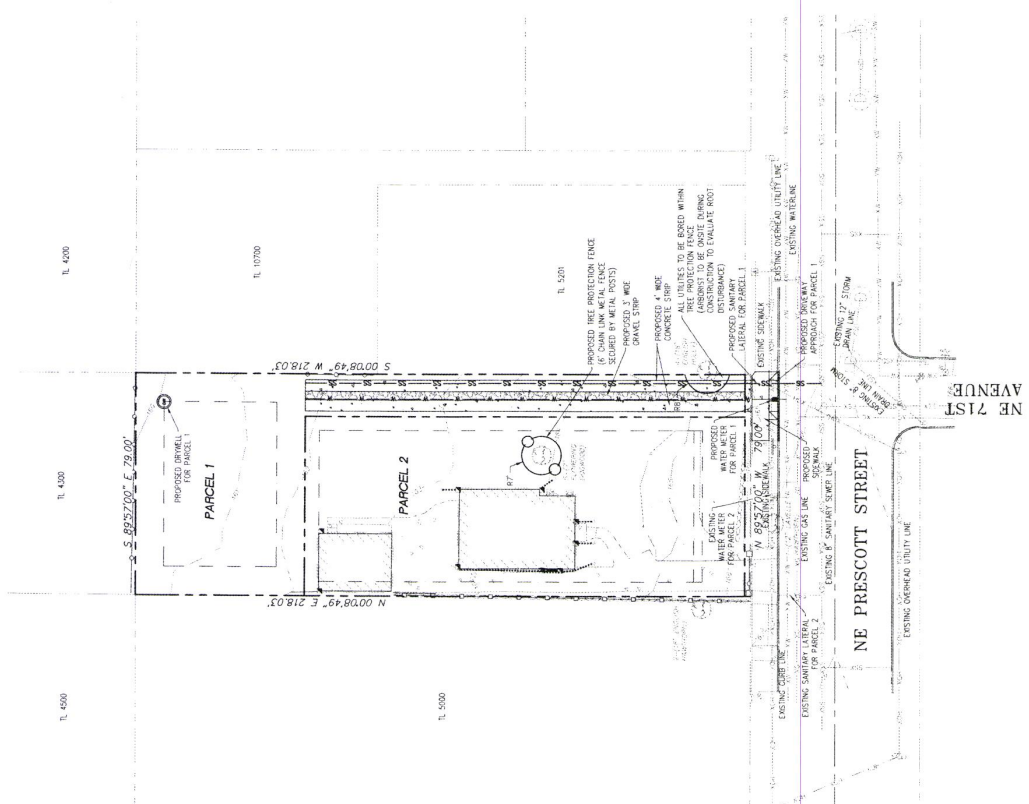
EMERIO
Design
 6445 SW FALLSBOOM PLACE, SUITE 100
 BEAVERTON, OREGON 97008
 TEL: (503) 746-8812
 FAX: (503) 636-8822
 www.emeriodesign.com

SHEET
 4 OF 5

NO.	DATE	DESCRIPTION



- LEGEND**
- PROPERTY LINE
 - - - - - ADJACENT/ALDINGING LOT LINE
 - CENTER LINE R/W
 - - - - - SET BACK LINE
 - EXISTING 1" CONDUIT LINE
 - EXISTING 3" CONDUIT LINE
 - EXISTING TREE
 - EXISTING DOWNSPOUT
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING STORM CATCHER BASIN
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING WATER METER
 - EXISTING WATER VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING UTILITY POLE
 - EXISTING GUY ANCHOR
 - EXISTING ELECTRIC METER
 - EXISTING GAS METER
 - EXISTING GAS VALVE
 - EXISTING SOIL
 - EXISTING POLE
 - EXISTING STORM SEWER LINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING WATER LINE
 - EXISTING OVERHEAD UTILITY LINE
 - EXISTING GAS LINE
 - EXISTING FENCE
 - EXISTING FENCE
 - PROPOSED SANITARY LATERAL
 - PROPOSED WATER METER



RECEIVED
 AUG 26 2019
 BY _____

Preliminary Plat and
 LU19-173658 LDP Development Plan