



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
Rebecca Esau, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: September 13, 2019
To: Interested Person
From: Clare Fuchs, Land Use Services
503-823-7843 / Clare.Fuchs@portlandoregon.gov

NOTICE OF A TYPE IIx PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 42 days, **we need to receive your written comments by 5 p.m. on October 14, 2019.** Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 19-194993 LDS, in your letter. It also is helpful to address your letter to me, Clare Fuchs. You can also e-mail your comments to me at my e-mail address identified above. Please note that all correspondence received will become part of the public record.

CASE FILE NUMBER: LU 19-194993 LDS

Applicant: Kevin Partain Urban Visions
223 NE 56th Ave Portland OR 97213
503-421-2967 kevinp@gorge.net

Owner/Agent: Richard Kassebaum, Bluestone Homes Inc 401k Plan & Trust
16081 S Moore Rd Oregon City OR 97045
503-632-5985 office@bluestonehomes.net

Site Address: 1135 SE Grant Street

Legal Description: BLOCK 127 LOT 5, STEPHENS ADDITION
Tax Account No.: R794015730
State ID No.: 1S1E02CD 16400 **Quarter Section:** 3231
Neighborhood: Hosford-Abernethy, contact chair@handpdx.org.
Business District: Central Eastside Industrial Council, contact ceic@ceic.cc.
District Coalition: Southeast Uplift, contact Leah Fisher at 503-232-0010.

Plan District: Central City - Central Eastside

Zoning: R1d (Multi-Dwelling 1,000 square feet with a "d" design overlay)
Case Type: Land Division - Subdivision
Procedure: Type IIx, an administrative decision with appeal to the Hearings Officer.

Proposal:
The applicant is proposing to divide this 5,003 square foot corner parcel into four lots for attached or detached houses. The existing development on the site will be removed. The

proposed lots range in size from 1,250 square feet to 1,253 square feet. There is no vehicle access or off-street parking proposed for this site. Off-street parking is not required for this site because it is within 500 feet of frequent transit service.

This subdivision proposal is reviewed through a Type IIx procedure because: (1) the site is in a residential zone; (2) four to ten dwelling units are proposed, not including accessory dwelling units (see 33.660.110).

For purposes of State Law, this land division is considered a subdivision. To subdivide land is to divide an area or tract of land into four or more lots within a calendar year, according to ORS 92.010. ORS 92.010 defines "lot" as a single unit of land created by a subdivision of land. The applicant's proposal is to create 4 units of land. Therefore, this land division is considered a subdivision.

To address the Design (d) overlay regulations, the applicant indicates the future homes will be designed to meet the Community Design Standards (33.218). This proposal does include any evaluation of the future home design.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are found in **Section 33.660.120, Approval Criteria for Land Divisions in Open Space and Residential Zones.**

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on July 18, 2019 and determined to be complete on September 9, 2019.

DECISION MAKING PROCESS

The Bureau of Development Services will make a decision on this proposal. After we consider your comments we will do one of the following:

- Approve the proposal.
- Approve the proposal with conditions; or
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment by making a request online or contacting me.

- Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. Copies of all information in the file can be obtained for the cost of making copies during the appointment.
- If you would like to request a copy of the file online, please visit <https://www.portlandoregon.gov/bds/54732>. The fee for this service varies based on the size of the case file and how long it would take to scan or copy documents.
- I can provide some information over the phone or through email.

Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandoregon.gov.

APPEAL PROCESS

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Hearings Officer. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

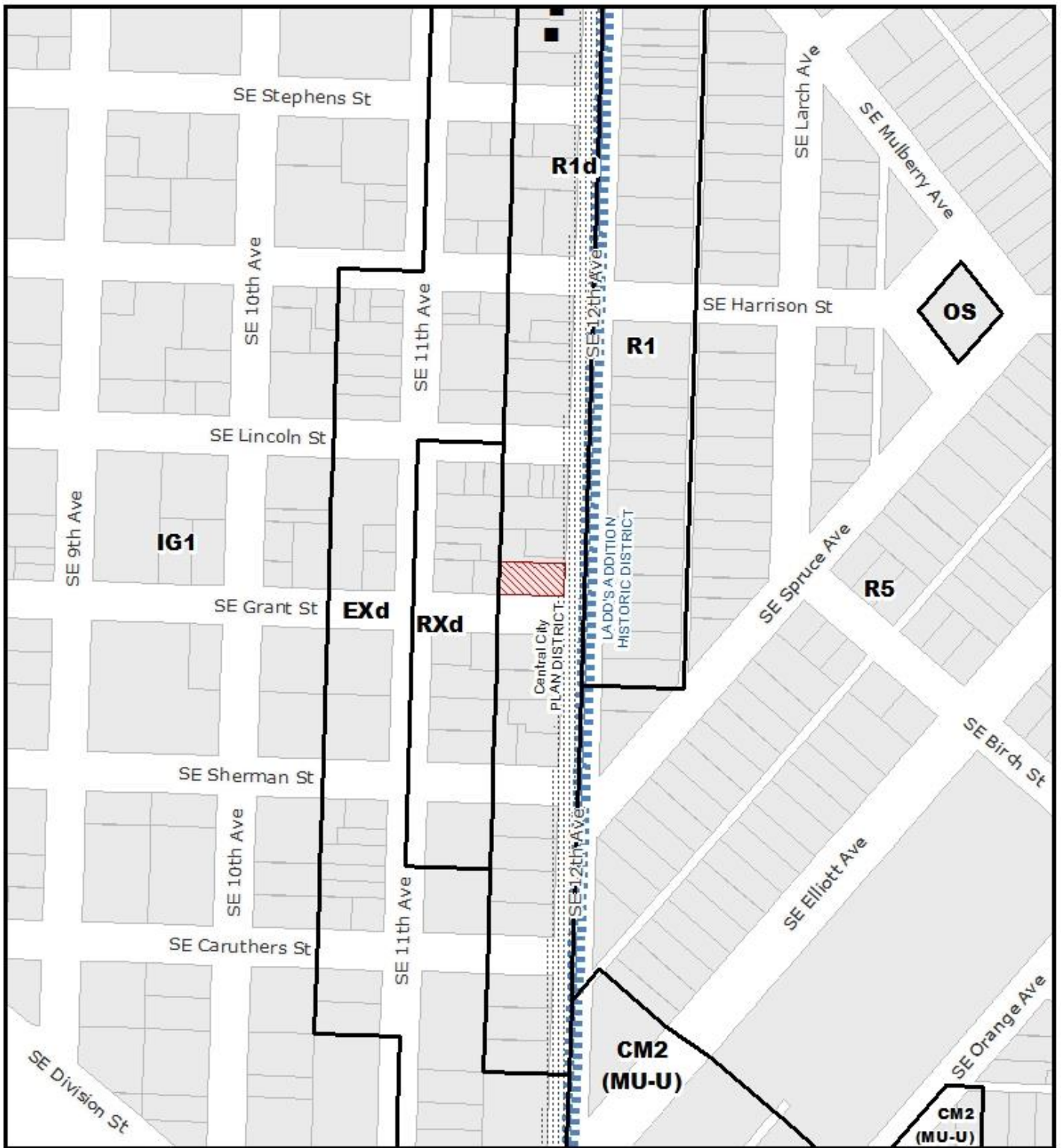
APPEAL OF THE FINAL CITY DECISION


After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem, OR 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

Zoning Map
Preliminary Plat

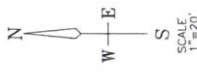
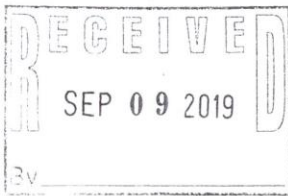


ZONING 
 NORTH

THIS SITE LIES WITHIN THE:
 CENTRAL CITY PLAN DISTRICT
 CENTRAL EASTSIDE SUBDISTRICT

 Site
 Historic Landmark

File No.	LU 19-194993 LDS
1/4 Section	3231
Scale	1 inch = 200 feet
State ID	1S1E02CD 16400
Exhibit	B Jul 22, 2019

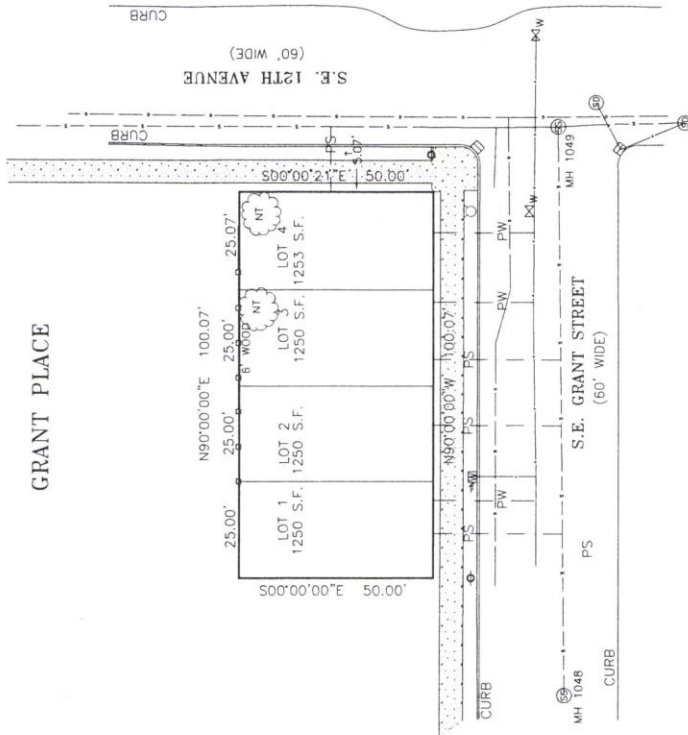


MANHOLE TABLE

MANHOLE 1048
 RIM = 50.93'
 I.E. IN FROM NORTH = 42.33'
 I.E. OUT TO EAST = 42.05'

MANHOLE 1049
 RIM = 51.03'
 I.E. IN FROM WEST = 40.62'
 I.E. IN FROM NORTH = 40.33'
 I.E. OUT TO SOUTH = 40.11'

GRANT PLACE



SYMBOLS

- ⊕ = POWER POLE
- ⊙ = GUY ANCHOR
- ⊞ = WATER METER
- ⊞ = GAS METER
- ⊞ = WATER VALVE
- ⊞ = STORM SEWER MANHOLE
- ⊞ = SANITARY SEWER MANHOLE
- ⊞ = CLEAN OUT
- ⊞ = PROPOSED DRYWELL
- ⊞ = CATCH BASIN
- ⊞ = FIRE HYDRANT
- ⊞ = WATER LINE
- ⊞ = GAS LINE
- ⊞ = PROPOSED WATER
- ⊞ = PROPOSED SEWER
- ⊞ = SANITARY SEWER
- ⊞ = STORM SEWER
- ⊞ = NEW TREE

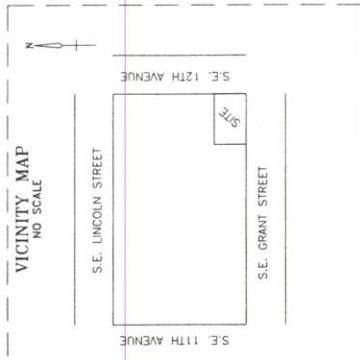
REGISTERED
 LAND SURVEYOR
 JOE H. FERGUSON
 OREGON
 LICENSE NO. 1667
 RENEWAL DATE 12/31/19

DATE: JUNE 4, 2019
 JOB NO. 19-055
 DRAFTED 6.4.19
 REVISED: 9/6/2019
 REVISED: 9/9/2019
 SHEET 1 OF 1

CLIENT: BLUESTONE HOMES
 RICHARD KASSEBAUM
 18081 S MOORE ROAD
 OREGON CITY, OR 97045

PRELIMINARY PLAT
 PROPOSED SUBDIVISION IN LOT 5, BLOCK 17, "STEPHENS' ADDITION"
 SHIP CANAL, CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON

NOTE: 1. ELEVATION DATUM IS PER CITY OF PORTLAND BENCHMARK NO. 1983
 2. LOCATE TICKET NO. 19126860
 3. DRYWELLS TO BE 5' FROM PROPERTY LINE AND 10' FROM BUILDINGS
 4. EXISTING WATER TO BE USED FOR LOT 2



Ferguson Land Surveying, Inc.
 646 SE 106TH AVE. PORTLAND, OR 97216
 Phone (503) 408-0601 Fax (503) 408-0802
 www.FergusonLandSurveying.com

LU 19-194993-LDS Preliminary Plat