



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
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www.portlandoregon.gov/bds

Date: September 27, 2019
To: Interested Person
From: Hillary Adam, Land Use Services
503-823-3581 / Hillary.Adam@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 19-209183 DZM – PATIO IMPROVEMENTS

GENERAL INFORMATION

Applicant: Julia Wood | Julia Wood Architect
333 S State St, Suite V-192 | Lake Oswego, OR 97034

Owner: XPO Properties Inc
Po Box 4138 | Portland, OR 97208-4138

Owner Representative: Penni Burgess | Prometheus Real Estate Group
201 N Civic Drive, Suite 170 | Walnut Creek, CA 94596

Party of Interest: Gabriel Pascuzzi | Mama Bird
1643 SE 3rd Avenue | Portland, OR 97214

Site Address: 2121 NW RALEIGH ST

Legal Description: BLOCK 294&295 TL 2900, COUCHS ADD
Tax Account No.: R180230870
State ID No.: 1N1E28CD 02900
Quarter Section: 2827

Neighborhood: Northwest District, contact John Bradley at 503-313-7574.
Business District: Nob Hill, contact Nob Hill at nobhillportland@gmail.com.
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

Plan District: Northwest, Con-way Master Plan area
Zoning: CM3(MU-U) d,m – Commercial/Mixed-Use 3 with Design and Centers
Main Street overlays
(EXd) – Central Employment with Design overlay

Case Type: DZM – Design Review with Modification request

Procedure: Type II, an administrative decision with appeal to the Design Commission.

PROPOSAL:

The applicant proposes exterior alterations within the existing patio area to include a fire pit constructed of glass-fiber reinforced concrete and wood benches to match the wood benches within the accessway. Two louvers are also proposed to replace two existing transom windows on the south façade; however, this aspect of the proposal is exempt per 33.420.045.X.

A Modification is requested for the following:

1. (Con-way 8.E) – Allow the proposed wood benches to extend more than 10’ (to 15’) into the pedestrian accessway, all to be located within the perimeter of the existing concrete planters.

Design Review is required because the proposal is for non-exempt exterior alterations.

RELEVANT APPROVAL CRITERIA:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- Community Design Guidelines
- Section 5 (Design Guidelines) of the Con-way Master Plan
- 33.825.040 Modifications That Will Better Meet Design Review Requirements

ANALYSIS

Site and Vicinity: the subject property is a retail tenant space with outdoor area, located at the southwest corner of Block 295E which was constructed in 2016. Blocks 295E and 294E to its north comprise a site of 117,443 sf, which includes the north-south 60’ wide pedestrian accessway to the west. The site is part of the larger Con-way Master Plan area.

The Con-way Master Plan area is located within the boundaries of the Northwest Plan District. The aggregate site area contained within the proposed Master Plan limits, excluding right-of-ways, is approximately 17.49 acres. Present uses of the Con-way property include office, industrial, warehousing and surface parking. The property originally accommodated a trucking depot and truck maintenance facilities; it evolved over time to include headquarters office facilities that supported the trucking operations. Trucking operations have moved to off-site locales. Con-way, and its property, was recently purchased by XPO. Today, XPO owns and occupies office buildings on Blocks 293W and 294W. Block 295W, is occupied by a 3-story office building currently proposed for renovation. Block 296W was renovated in 2014 for use as a grocery store and other small commercial uses and Block 296E includes a 6-story mixed use building constructed in 2014. XPO also owns a vacant truck maintenance building on Block 290, and a small, leased industrial building on Block 16. The balance of Master Plan area includes paved lots which are used as parking, but are planned for future development and park areas.

Zoning: Because the Master Plan was approved August 27, 2012 while the zoning was EXd, the zoning that was in place on August 27, 2012 (EXd) is what is applicable until the Master Plan expires.

The Central Employment (EX) zone allows mixed-uses and is intended for areas in the center of the City that have predominantly industrial type development. The intent of the zone is to allow industrial and commercial uses which need a central location. Residential uses are allowed, but are not intended to predominate or set development standards for other uses in the area. The development standards are intended to allow new development which is similar in character to existing development.

The “d” overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Commercial/Mixed Use 3 (CM3) zone is a large-scale zone intended for sites in high-capacity transit station areas, in town centers, along streetcar alignments, along civic corridors, and in locations close to the Central City. It is intended to be an intensely urban zone and is not appropriate for sites where adjacent properties have single-dwelling residential zoning. The zone allows a wide range and mix of commercial and residential uses, as well as employment uses that have limited off-site impacts. Buildings in this zone will generally be up to six stories tall unless height and floor area bonuses are used, or plan district provisions specify other height limits. Development is intended to be pedestrian-oriented, with buildings that contribute to an urban environment with a strong street edge of buildings. The scale of development is intended to be larger than what is allowed in lower intensity commercial/mixed use and residential zones. Design review is typically required in this zone.

The Northwest Plan District implements the Northwest District Plan, providing for an urban level of mixed-use development including commercial, office, housing, and employment. Objectives of the plan district include strengthening the area’s role as a commercial and residential center. The regulations of this chapter: promote housing and mixed-use development; address the area’s parking scarcity while discouraging auto-oriented developments; enhance the pedestrian experience; encourage a mixed-use environment, with transit supportive levels of development and a concentration of commercial uses, along main streets and the streetcar alignment; and minimize conflicts between the mixed-uses of the plan district and the industrial uses of the adjacent Guild’s Lake Industrial Sanctuary.

Land Use History: City records indicate that prior land use reviews include the following:

- EA 11-160116 PC – Pre-Application Conference for a Northwest Master plan for the Con-way site;
- EA 11-188950 DA – Design Advice for Con-way Master Plan;
- LU 12-135162 MS – Design Review approval of the Con-way Master Plan;
- EA 14-247472 PC – Pre-Application Conference for redevelopment of 294E and 295E;
- EA 15-115432 DA – Design Advice Request for redevelopment of 294E and 295E; and
- LU 15-142459 MS – Design Review approval for a Master Plan amendment to remove the vehicle access restriction on NW Thurman Street;
- LU 15-195830 DZM – Design Review approval for redevelopment of 294E and 295E;
- LU 16-249209 DZ – Design Review approval for revisions to louvers and glazing.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **August 30, 2019**. The following Bureaus have responded with no issues or concerns:

- Life Safety Division of BDS
- Fire Bureau

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on August 30, 2019. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and

continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Community Design Guidelines.

Community Design Guidelines

The Community Design Guidelines consist of a set of guidelines for design and historic design cases in community planning areas outside of the Central City. These guidelines address the unique and special characteristics of the community plan area and the historic and conservation districts. The Community Design Guidelines focus on three general categories: **(P) Portland Personality**, which establishes Portland's urban design framework; **(E) Pedestrian Emphasis**, which states that Portland is a city for people as well as cars and other movement systems; and **(D) Project Design**, which assures that each development is sensitive to both Portland's urban design framework and the users of the city.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

P1. Plan Area Character. Enhance the sense of place and identity by incorporating site and building design features that respond to the area's desired characteristics and traditions.

Findings: The Plan Area Character statements for the Northwest Plan District speak to development of transition zones between the private and public realm through activities such as outdoor dining. The proposal includes the development of a previously established outdoor patio area with new permanent benches and a fire pit. This proposal helps to enhance the desired characteristics of the area by activating this space. *This guideline is met.*

E1. The Pedestrian Network. Create an efficient, pleasant, and safe network of sidewalks and paths for pedestrians that link destination points and nearby residential areas while visually and physically buffering pedestrians from vehicle areas.

E2. Stopping Places. New large-scale projects should provide comfortable places along pedestrian circulation routes where people may stop, visit, meet, and rest.

E3. The Sidewalk Level of Buildings. Create a sense of enclosure and visual interest to buildings along sidewalks and pedestrian areas by incorporating small scale building design features, creating effective gathering places, and differentiating street level facades.

E4. Corners that Build Active Intersections. Create intersections that are active, unified, and have a clear identity through careful scaling detail and location of buildings, outdoor areas, and entrances.

Findings for E1, E2, E3, and E4: The corner outdoor patio space being developed was previously established through a prior review. This proposal is for the permanent elements that will be installed to ensure activation of this space, including wood benches to match those within the pedestrian accessway and a fire pit where people, presumably patrons, of the adjacent business, can gather. This proposal will help activate this corner. *These guidelines are met.*

D1. Outdoor Areas. When sites are not fully built on, place buildings to create sizable, usable outdoor areas. Design these areas to be accessible, pleasant, and safe. Connect outdoor areas to the circulation system used by pedestrians;

D2. Main Entrances. Make the main entrances to houses and buildings prominent, interesting, pedestrian accessible, and transit-oriented.

D3. Landscape Features. Enhance site and building design through appropriate placement, scale, and variety of landscape features.

Findings for D1, D2, and D3: As is noted above, the patio area was previously established, and this review is for the new permanent elements, including wood benches and a fire pit, that will ensure its use. The drawings show that the bench is proposed to extend across an already defined and constructed pathway leading from the pedestrian accessway to an entrance, which is an inappropriate extension, severing the connection between the patio and the pedestrian accessway. Because this pathway is intended to provide a connection from the pedestrian accessway to the building, staff has added a condition that the bench shall not extend across the pathway marked by the existing concrete planters and the lighter concrete paving. This will ensure that this entrance remains accessible for pedestrians coming from the pedestrian accessway.

With the condition that the bench shall not extend across the pathway marked by the existing concrete planters and the lighter concrete paving, these guidelines are met.

D8. Interest, Quality, and Composition. All parts of a building should be interesting to view, of long lasting quality, and designed to form a cohesive composition.

Findings: The proposed wood benches are designed to match the existing wood benches in the pedestrian accessway for a seamless with the rest of the development. The proposed fire pit is a manufactured element made of glass-fiber reinforced concrete which is a high-quality material. *This guideline is met.*

NW Master Plan Design Guidelines

Introduction

The existing Community Design Guidelines, along with these new seven (7) Con-way Master Plan design guidelines, are the applicable approval criteria for design review. Design guidelines are mandatory approval criteria that must be met as part of design review and historic design review. They inform developers and the community as to what issues will be addressed during the design review process. The guidelines state broader concepts than typical development standards in order to provide flexibility to designers, yet they are requirements. Applicants are responsible for explaining, in their application, how their design meets each applicable guideline.

The design review process is flexible. It is intended to encourage designs that are innovative and appropriate for their locations. For this reason, design guidelines are qualitative statements. Unlike objective design standards, there are typically many acceptable ways to meet each design guideline. Examples of how to address specific guidelines are included in this section for each design guideline. It is not the City's intent to prescribe any specific design solution through the design guidelines.

During the design review process, the review body must find that the proposal meets each of the applicable design guidelines. Proposals that meet all applicable guidelines will be approved; proposals that do not meet all of the applicable guidelines will not be approved.

If the review body approves the proposed design, they may add conditions to their approval to ensure the proposal's compliance with the guidelines. If the review body does not approve the proposed design, they would prefer that the applicants revise the design to address deficiencies rather than have the city impose a specific solution through conditions. They may find that such action is necessary to better achieve the goals for design review.

In some cases, a design guideline may be waived during the design review process. An applicable guideline may be waived as part of the design review process when the proposed design better meets the goals of design review than would a project that had complied with the guideline. If a waiver is requested, the applicants must explain, in their application, how the

goals of design review are better met in the proposed design than would be possible if each guideline being considered for waiver was followed. Allowing the waiver of one or more guidelines during the design review process reflects the City's concern that the design guidelines not become a rigid set of requirements that stifle innovation.

Goals of design review:

1. Encourage urban design excellence;
2. Integrate urban design and preservation of our heritage into the development process;
3. Promote the development of diversity and areas of special character within the district;
4. Establish an urban design relationship between the district and the Northwest District as a whole;
5. Provide for a pleasant, rich and diverse experience for pedestrians;
6. Assist in creating a 18-hour district which is safe, humane and prosperous; and
7. Ensure that development proposals are at a human scale and that they relates to the scale and desired character of its setting and the Northwest District as a whole.

Guideline 1: Provide human scale to buildings and edges along sidewalks, squares and pedestrian accessways.

Guideline 2: Develop urban edge variety adjacent to parks, pedestrian accessways and greenstreets.

Program uses on the ground level of buildings adjacent to parks, accessways and greenstreets that activate and expand the public realm. Design the lower stories of buildings to include elements that activate uses and add variety and interest to the building facades.

Guideline 6: Integrate high-quality materials and design details.

Findings for 1, 2, and 6: Development of the patio with permanent elements including the wood benches and fire pit provide additional human scale to this site and will help ensure activation of this space. The proposed elements are high-quality and designed to blend with the overall aesthetic of the adjacent pedestrian accessway. *These guidelines are met.*

Guideline 7A: Provide private open spaces that are well integrated with adjacent development, act as gathering places designed to adapt to a variety of activities, are linked together and to other nearby open spaces, are accessible to the public and provide distinctive neighborhood identity.

Guideline 7D: Pedestrian Accessways – Provide a network of pedestrian accessways that, together with public greenstreets and building forecourts, form a special pedestrian circuit or network of connected open spaces in the neighborhood, in addition to adjacent development.

Findings for 7A and 7D: The existing patio area was designed to provide connections between the pedestrian accessway and side entrance to this retail space. The drawings show this connection to be severed by extension of the bench across this pathway. While the overall proposal to install permanent elements such as the benches and firepit will help to activate this space, severing this connection does not meet the aspects of these guidelines which speak to linking adjacent open spaces and ensuring pedestrian connections. Therefore, staff has added a condition that the bench shall not extend across the pathway marked by the existing concrete planters and the lighter concrete paving.

With the condition that the bench shall not extend across the pathway marked by the existing concrete planters and the lighter concrete paving, these guidelines are met.

33.825.040 Modifications That Will Better Meet Design Review Requirements:

The review body may consider modification of site-related development standards, including the sign standards of Chapters 32.32 and 32.34 of the Sign Code, as part of the design review process. These modifications are done as part of design review and are not required to go through the adjustment process. Adjustments to use-related development standards (such as floor area ratios, intensity of use, size of the use, number of units, or concentration of uses) are

required to go through the adjustment process. Modifications that are denied through design review may be requested as an adjustment through the adjustment process. The review body will approve requested modifications if it finds that the applicant has shown that the following approval criteria are met:

- A. **Better meets design guidelines.** The resulting development will better meet the applicable design guidelines; and
- B. **Purpose of the standard.** On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested.
 - 1. **Modification #1:** (Con-way 8.E) – Allow the proposed wood benches to extend more than 10' (to 15') into the pedestrian accessway, all to be located within the perimeter of the existing concrete planters.

Purpose Statement: These regulations reinforce the continuity of the pedestrian-oriented environment, provide a pleasant, rich and diverse pedestrian experience by connecting activities occurring within a structure to adjacent sidewalk areas, and also help to maintain a healthy urban district with architectural elements or improvements that provide visual interest and interrelate with the pedestrian environment.

Standard: Conway 8.E – Private entrances and terraces facing pedestrian accessways. Areas to provide for stairs, stoops, and other private entrance features are permitted within a pedestrian accessway up to a depth of 10 feet. The area shall be delineated at the boundary with the accessway by including a low fence, wall, hedge, or similar feature.

- A. **Better meets design guidelines.** *The resulting development will better meet the applicable design guidelines; and*
- B. **Purpose of the standard.** *On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested.*

Findings for A and B: The new benches, which extend beyond the 10-foot limitation, are located adjacent to the existing planters. By proposing linear wood benches, attached to these planters and designed to match the wood benches in the rest of the pedestrian accessway, the patio improvements will seamlessly integrate with the rest of the accessway. The purpose of the standard is met in that the proposal will ensure activation of this patio which ensures visual interest and through the use of elements that interrelate with the existing pedestrian environment. However, the proposal to sever the connection between the pedestrian accessway and the west entrance by bridging the existing walkway with a continuation of the bench does not meet the purpose of reinforcing the continuity of the pedestrian-oriented environment. As such, staff has added a condition that the bench shall not extend across the pathway marked by the existing concrete planters and the lighter concrete paving. With this condition, guidelines D1, D2, D3, and 7A are better met by the proposal, as movable seating (which would not require a Modification) would be less connected to the existing aesthetic of the pedestrian accessway.

Therefore, with the condition that the bench shall not extend across the pathway marked by the existing concrete planters and the lighter concrete paving, this Modification merits approval.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all requirements of Title 11 can be met, and that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review, prior to the approval of a building or zoning permit.

CONCLUSIONS


The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. With the added condition of approval, the proposal meets the applicable design guidelines and Modification criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of exterior alterations within the existing patio area to include a fire pit constructed of glass-fiber reinforced concrete and wood benches to match the wood benches within the accessway. This approval is per the approved site plans, Exhibits C-1 through C-3, signed and dated September 24, 2019, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through D) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 19-209183 DZM." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.
- D. The bench shall not extend across the pathway marked by the existing concrete planters and the lighter concrete paving.

Staff Planner: Hillary Adam

Decision rendered by:  **on September 24, 2019**
By authority of the Director of the Bureau of Development Services

Decision mailed: September 27, 2019

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on August 13, 2019 and was determined to be complete on August 28, 2019.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on August 13, 2019.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: January 18, 2020.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on October 11, 2019** at 1900 SW Fourth Ave. Appeals can be filed at the 5th floor reception desk of 1900 SW 4th Avenue Monday through Friday between 8:00 am and 4:30 pm. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **October 14, 2019** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

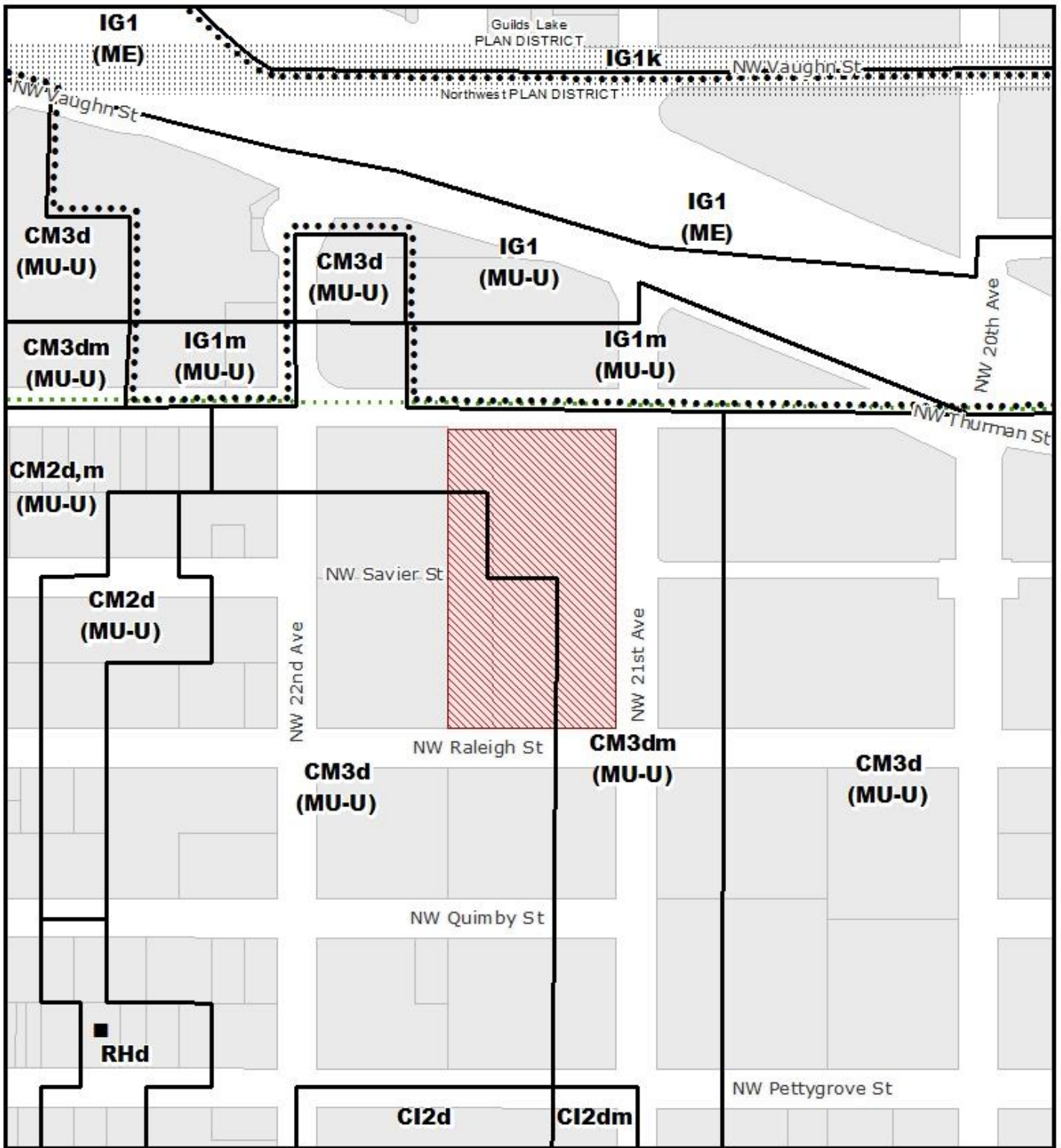
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
 1. Large Complete Submittal Set
 2. Reduced Plan and Elevations
 3. Original Building approval images
- B. Zoning Map (attached)
- C. Plans/Drawings:
 1. Site Plan (attached)
 2. Elevations (attached)
 3. Cutsheet for Firepit
- D. Notification information:
 1. Mailing list
 2. Mailed notice
- E. Agency Responses:
 1. Life Safety Division of BDS
 2. Fire Bureau
- F. Correspondence: none
- G. Other:
 1. Original LU Application
 2. Incomplete Letter, dated August 27, 2019

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING

NORTHWEST PLAN DISTRICT



Site



Historic Landmark

Recreational Trails

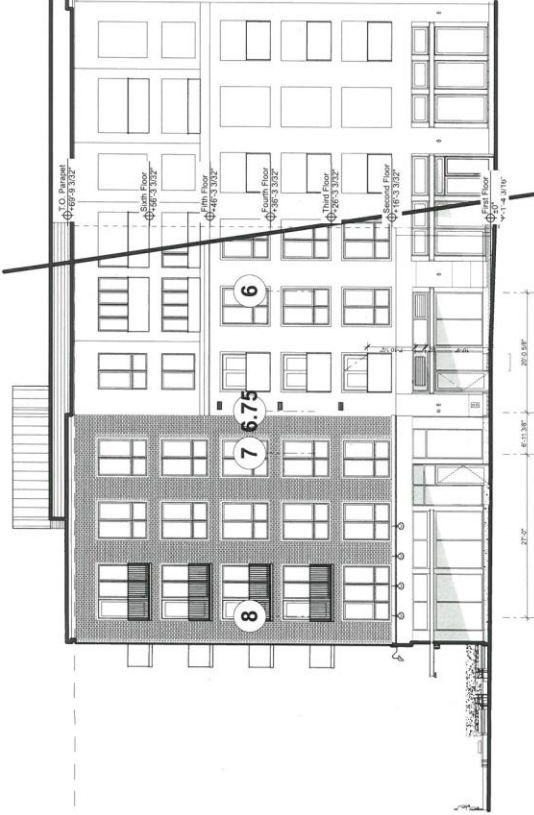
File No.	LU 19-209183 DZM
1/4 Section	2827
Scale	1 inch = 200 feet
State ID	1N1E28CD 2900
Exhibit	B Aug 26, 2019

JULIA WOOD
ARCHITECT
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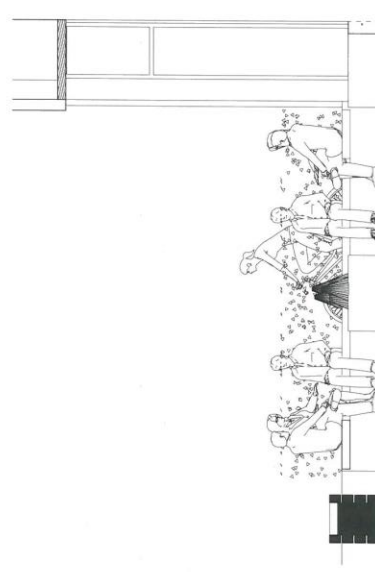


CONSULTANT STAMP

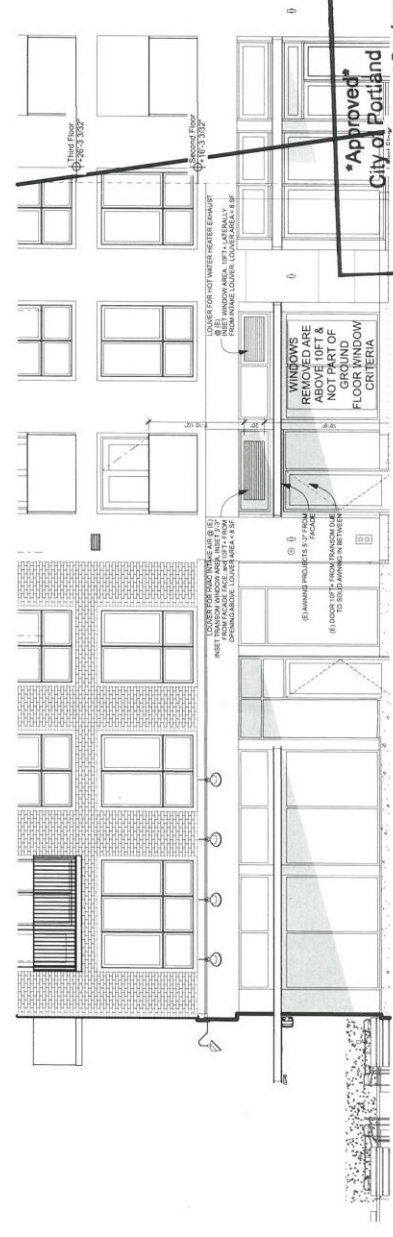
PROJECT INFO
MAMA BIRD
1000 NE 10TH AVE SUITE 200
PORTLAND, OR 97232
PROJECT # 14-001
DRAWN BY JAW
RELEASE DATE
DATE OF REVISION
8/23/19 DR APPLICATION



South Elevation-overall
SCALE: 1/8" = 1'-0"



Fire Pit
SCALE: 1/2" = 1'-0"



South Elevation
SCALE: 1/8" = 1'-0"

Approved
City of Portland
Bureau of Development Services
Planner *Chadler*
Date *8/24/19*

DR3

This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

C-2