



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
Rebecca Esau, Director
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www.portlandoregon.gov/bds

Date: October 3, 2019
To: Interested Person
From: Lois Jennings, Land Use Services
503-823-2877 or lois.jennings@portlandoregon.gov

NOTICE OF A TYPE Ix DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has **approved** a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 19-186085 LC

GENERAL INFORMATION

Applicant: Bryan Seits | Greenwood Homes, Llc
P.O. Box 1225 | Canby OR 97013
Phone#: 503-732-4649 or bryan@greenwoodhomespdx.com

Owner: Greenwood Homes LLC | Rep: Greg Cochell
PO Box 1225 | Canby, OR 97013
Phone#: 503-969-1297 or greg@greenwoodhomespdx.com

Representative & Surveyor: CMT Surveying & Consulting
20330 SE Hwy 212
Damascus, OR 97089

Site Address: 232 NE 65TH AVE

Legal Description: BLOCK 20 N 20.86' OF LOT 14 LOT 15&16, NORTH MT TABOR
Tax Account No.: R612403100
State ID No.: 1N2E32CB 13600
Quarter Section: 3037

Neighborhood: North Tabor, contact Robert Jordan at landuse@northtabor.org
Business District: None
District Coalition: Southeast Uplift, contact Leah Fisher at 503-232-0010.

Plan District: None
Other Designations: None
Zoning: R5- Single Family Residential (5,000 s.f)
Case Type: LC -Lot Consolidation
Procedure: Type Ix, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

Proposal: The applicant proposes to consolidate historic Lot 15, Block 20 of North Mt. Tabor with the North 20.86 ft. of Lot 14, Block 20 N. Mt. Tabor into one Parcel. This lot consolidation is in preparation for a property line adjustment with abutting Lot 16, Block 20, North Mt. Tabor under the same ownership. The reconfigured lots would be available for development of new houses.

The Property Line Adjustment application, 2019-110430, is not part of this review. With the Property Line Adjustment the applicant proposes to adjust the common property line between the consolidated property and Lot 16.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- Zoning Code Section 33.675.300

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on June 28, 2019 and determined to be complete on July 26, 2019.

ANALYSIS

Site and Vicinity: The site is an interior lot on the east side of NE 65th Avenue within an established residential neighborhood. The rear of the property abuts an alley. The house and garage that existed on this property were removed under City approved permits, 19-104461 RS and 19-104468 RS. The site is currently vacant except for a chain link fence, and existing vegetation and trees. The majority of the trees retained on site are Douglas Fir ranging in size from 5-inches to 54-inches, with a few Holly trees and an English Walnut tree.

The surrounding properties are developed with 1 to 1 ½ story single-family residences with a few multi-family apartment complexes mixed in throughout this established neighborhood. This site is about mid-block between two major transit streets, E. Burnside street to the south and NE Glisan Street to the north, where commercial business are established, and transit service is provided to this area. The zoning changes to Multi-family Residential (R2/R1) or Commercial zoning for properties abutting these transit streets.

Zoning: The R5 designation is one of the City's single-dwelling zones which is intended to preserve land for housing and to promote housing opportunities for individual households. The zone implements the comprehensive plan policies and designations for single-dwelling housing.

Land Use History: City records indicates the following land use history for this site:

- 2019-110430 PR- A property line adjustment is currently under review at this site.

Agency and Neighborhood Review: A Notice of Proposal in your Neighborhood was mailed July 29, 2019

1. **Agency Review:** Several Bureaus and agencies have responded to this proposal. Majority of the Service Bureaus have no concerns or issues with this lot consolidation proposal (see Exhibit E for specifics). Bureau of Environmental Services and Water Bureau comments are addressed under the applicable criteria.
2. **Neighborhood Review:** The Neighborhood Association did not provide a written response. One written response was received from a notified property owner in response to the proposal. The comments expressed the following concerns:
 - Preservation of existing fully mature large Douglas Fir Trees on this property

- Developer has other options (architectural and site layout) to develop the site and preserve the significant trees.
- Once the proposed Property Line Adjustment, 19-110430 PR, is complete, the reconfigured lot will be less than 5,000 s.f. in area, therefore Title 11- Tree Code will not be applicable to the future development. By which the existing trees on the site may be removed without mitigation.
- Neighbor feels this allowance to reconfigure the lots to be less than 5,000 s.f. in area through the property line adjustment is a loophole in the code and the owner therefore does not have to mitigate in fees the removal of these existing Douglas Fir trees.

Staff Response: There are no approval criteria for tree preservation as part of this lot consolidation review.

A Property Line Adjustment (PLA) application is a non-discretionary, administrative procedure. The PLA application is reviewed for conformance with standards listed under Section 33.675.300.A-F. The lot dimensions being proposed under PLA application # 19-110430 PR is currently meeting the lot size requirements for R5 zoned lot. The PLA application under case file #19-110430 PR is currently under review and separate from this Lot Consolidation land use review.

We encourage the neighbor to relay concerns about the code by contacting Bureau of Planning & Sustainability. Requests for regulation changes can be logged with the Bureau of Planning and Sustainability through this online request form:

<https://www.portlandoregon.gov/bps/33368>

ZONING CODE APPROVAL CRITERIA

LOT CONSOLIDATIONS

33.675.010 Purpose

This chapter states the procedures and regulations for removing lot lines within a site to combine into one to three lots. The regulations ensure that the lot consolidation does not circumvent other requirements of this Title, and that lots and sites continue to meet conditions of land use approvals. The lot consolidation process described in this chapter is different from (and does not replace) the process used by counties to consolidate lots under one tax account. A tax account consolidation does not affect the underlying platted lots. A lot consolidation results in a new plat for the consolidation site.

33.675.050 When These Regulations Apply

A lot consolidation may be used to remove lot lines within a site. The perimeter of consolidated lots must follow existing lot lines. Lot lines cannot be created or moved through this process. The applicant may also choose to remove such lot lines through a land division. A lot consolidation may be required by other provisions of this Title.

33.675.100 Review Procedure

A. Generally. Lot consolidations are reviewed through Type Ix procedure.

B. Sites in PUDs or PDs. If any portion of the site is within a Planned Unit Development (PUD) or Planned Development (PD), an amendment to the PUD or PD is also required. The amendment to the PUD or PD must be reviewed concurrently with the lot consolidation.

Findings: The site is not involved in any past or proposed Planned Unit Development or Planned Developments. Therefore, the requested lot consolidation review has been reviewed under the Type Ix procedure.

33.675.300 Approval Criteria

A lot consolidation will be approved if the review body finds that the applicant has shown that all of the approval criteria have been met:

A. Lots. Consolidated lots must meet the standards of Chapters 33.605 through 33.615, with the following exceptions:**1. Lot dimension standards.**

- a. Minimum lot area. If the area of the entire lot consolidation site is less than that required of new lots, lots in the lot consolidation site are exempt from minimum lot area requirements;
- b. Maximum lot area. If any of the lots within the lot consolidation site are larger than the maximum lot area allowed, lots in the lot consolidation site are exempt from maximum lot area requirements;
- c. Minimum lot width. If the width of the entire lot consolidation site is less than that required of new lots, lots in the lot consolidation site are exempt from minimum lot width requirements;
- d. Minimum front lot line. If the front lot line of the entire lot consolidation site is less than that required of new lots, lots in the lot consolidation site are exempt from minimum front lot line requirements;
- e. Minimum lot depth. If the depth of the entire lot consolidation site is less than that required of new lots, lots in the lot consolidation site are exempt from minimum lot depth requirements.

Findings: The proposed site is in the R5 zone. Approval standards 1.a through 1.e are related to the required lot dimensions and creation of a consolidated parcel that will either meet the lot dimension standards of the zone or meet the listed exceptions. The proposed consolidated lot as shown in the table below meets the minimum lot dimensions standards in 33.610.

	R5 Zone Requirement	Parcel 1 (after consolidation)
Minimum Lot Area	3,000 s.f.	7,741 s.f.
Maximum Lot Area	8,500 s.f.	
Minimum Lot Width*	36 ft.	54.20-ft.
Minimum Front Lot Line	30 ft.	54.20 ft.
Minimum Lot Depth	50 ft.	142.7 ft.

* Width is measured at the minimum front building setback line

As noted herein, the proposed consolidated lot meets the applicable standards of Chapters 33.605 through 33.615.

This requirement is met.

2. Maximum density. If the consolidation brings the lot consolidation site closer to conformance with maximum density requirements, the consolidation does not have to meet maximum density requirements;

Findings: The maximum density of the consolidated lot is 1 unit. Therefore, the maximum density will not be exceeded by consolidating the historic lots that currently make up this site.

3. Lots without street frontage. If the lot consolidation consolidates lots that do not have street frontage with a lot that has street frontage, the consolidation does not have to meet minimum density and maximum lot area requirements;

Findings: All lots in the lot consolidation site have street frontage, therefore this requirement does not apply.

- 4. Through lots. If any of the existing lots within the lot consolidation site are through lots with at least one front lot line abutting an arterial street, then the consolidated lot may be a through lot;**

Findings: The existing lots within the lot consolidation site are not through lots and proposed consolidated Parcel 1 will not be a through lot. Therefore, this requirement does not apply.

- 5. Split zoning. If any of the existing lots within the lot consolidation site are in more than one base zone, then the consolidated lot may be in more than one base zone.**

Findings: This site contains only one zoning designation, therefore the consolidated lot will not have split zoning. This requirement does not apply.

B. Conditions of land division approvals. The lot consolidation must meet one of the following:

- 1. All conditions of previous land division approvals continue to be met or remain in effect; or**
- 2. The conditions of approval no longer apply to the site, or to the development on the site, if the lots are consolidated.**

Findings: There are no previous land division approvals for this site, therefore these requirements do not apply.

C. Conditions of land use approvals. Conditions of land use approvals continue to apply and must be met.

Findings: There are no previous land use cases for this site, therefore this requirement does not apply.

D. Services. The lot consolidation does not eliminate the availability of services to the lots, and the consolidated lots are not out of conformance with service bureau requirements for water, sanitary sewage disposal, and stormwater management.

Findings: The Service Bureaus have reviewed this proposal and provide the following comments:

WATER: *Water Bureau (Exhibit E.3):* Water is available from the 8-inch main in NE 65th Avenue. Water Bureau has reviewed the proposal and water availability does not change for the consolidated parcel. Water Bureau has no objections to this lot consolidation proposal.

SANITARY SERVICE AND STORMWATER MANAGEMENT

Bureau of Environmental Services(BES) (Exhibit E.1):

Sanitary: There is a public 14-inch concrete (unknown reinforcing – CSP) combined sewer in NE 65th (BES as-built #21288). BES has reviewed the proposal and has determined that consolidating the existing lots as proposed in this application will not eliminate the availability of sanitary service to the lots, nor are the consolidated lots out of conformance with BES sanitary service requirements. No new connections are proposed as part of this lot consolidation.

Stormwater: BES has reviewed the proposal and has determined that consolidating the existing lots as proposed in this application will not eliminate the availability of stormwater service to the lots, nor are the consolidated lots out of conformance with BES stormwater management requirements. Furthermore, no development is occurring as part of the lot consolidation proposal. BES Staff finds that the lot consolidation will not eliminate the availability of stormwater services to the lots and the consolidated lots are not out of conformance with BES stormwater management requirements.

BES does not object to approval of the lot consolidation application.

The other relevant service bureaus have responded with no objections or no concerns with this lot consolidation proposal (See Service Bureau comments under Exhibit E).

The availability of services is not eliminated, and the consolidated lots do not go out of conformance with the service bureau requirements. This requirement is met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

The site consists of Lot 16, Block 20 of North Mt. Tabor Subdivision and the lots (Lot 15 and the North 20.86 ft. of Lot 14, Block 20 of North Mt. Tabor) being consolidated into one parcel. This lot consolidation will reestablish a lot line between Lot 16 and the new consolidated parcel. However, Lot 16 does not meet the minimum requirement for a primary structure under 33.110.212 because it is less than 36-ft. wide and had a primary structure within the last five years. The proposed property line adjustment application, 19-110430 PR, once completed will make the lot buildable. Therefore, the site must remain in the same ownership until the property line adjustment is completed.

A building permit is currently under review for a new house and garage, which reflects the site as a whole (North 20.86 ft. of Lot 14, Lot 15 and 16, Block 20, North Mount Tabor). To ensure the new house and garage will remain in compliance with the development standards once the property line adjustment is approved and recorded, a revision to the issued permit will be required to reflect the new lot configuration.

The site is currently vacant and therefore no development standards are affected by this lot consolidation proposal. At the time of development on the lots, the property will need to meet the Zoning Code.

OTHER TECHNICAL REQUIREMENTS

Technical decisions have been made as part of this review process. These decisions have been made based on other City Titles, adopted technical manuals, and the technical expertise of appropriate service agencies. These related technical decisions are not considered land use actions. If future technical decisions result in changes that bring the project out of conformance with this land use decision, a new land use review may be required. The following is a summary of technical service standards applicable to this lot consolidation proposal.

Bureau	Code Authority and Topic
Development Services/503-823-7300 www.portlandonline.com/bds	Title 24 – Building Code, Flood plain Title 10 – Erosion Control, Site Development Administrative Rules for Private Rights-of-Way
Environmental Services/503-823-7740 www.portlandonline.com/bes	Title 17 – Sewer Improvements 2008 Stormwater Management Manual
Fire Bureau/503-823-3700 www.portlandonline.com/fire	Title 31 Policy B-1 – Emergency Access
Transportation/503-823-5185 www.portlandonline.com/transportation	Title 17 – Public Right-of-Way Improvements Transportation System Plan
Urban Forestry (Parks)/503-823-4489 www.portlandonline.com/parks	Title 11 –Trees
Water Bureau/503-823-7404 www.portlandonline.com/water	Title 21 – Water availability

CONCLUSIONS

The applicant proposes to consolidate Lots 15 and north 20.86 ft. of Lot 14, Block 20 of North Mt. Tabor subdivision into one parcel, as shown on the lot consolidation plat survey. The lot consolidation is required to be able to complete the related property line adjustment (19-110430 PR).


As discussed above, and with the noted condition, the requested lot consolidation has been shown to be able to meet all the requirements for lot consolidations as laid out in Section 33.675.300.

ADMINISTRATIVE DECISION

Approval of a Lot Consolidation to create one parcel of historic Lot 15 and the north 20.86 ft. of Lot 14, Block 20 of North Mt. Tabor subdivision, as illustrated by Exhibit C.1, signed and dated September 27, 2019, subject to the following conditions:

- A. The consolidated parcel as shown on this lot consolidation plat and Lot 16, Block 20, North Mount Tabor must stay in common ownership until the property line adjustment application (19-110430 PR) is approved and recorded.
- B. A revision to residential permit # 2019-111132 RS & 19-111173 RS is required prior to the issuance of any building permit for future vacant lot identified as Tract 2 on the property line adjustment application survey (19-110430 PR).

Staff Planner: Lois Jennings

Decision rendered by:  **on September 27, 2019**
By authority of the Director of the Bureau of Development Services

Decision mailed: October 3, 2019

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

THE SIGNED FINAL PLAT MUST BE RECORDED WITH MULTNOMAH COUNTY DEED RECORDS WITHIN 90 DAYS OF THE DATE OF THIS DECISION (January 1, 2020), OR THIS DECISION WILL BECOME NULL AND VOID. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on June 28, 2019, and was determined to be complete on July 26, 2019.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on June 28, 2019.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: November 25, 2019.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has

included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

This decision, and any conditions associated with it, is final. It may be appealed to the Oregon Land Use Board of Appeals (LUBA), within 21 days of the date the decision is mailed, as specified in the Oregon Revised Statute (ORS) 197.830. Among other things, ORS 197.830 requires that a petitioner at LUBA must have submitted written testimony during the comment period for this land use review. You may call LUBA at 1-503-373-1265 for further information on filing an appeal.

The file and all evidence on this case is available for your review by appointment. Please contact the receptionist at 503-823-7967 to schedule an appointment. Copies of all information in the file can be obtained for a fee equal to the cost for such services. You may also find additional information about the City of Portland and City Bureaus, as well as a digital copy of the Portland Zoning Code, by visiting the City’s homepage on the Internet at www.portlandonline.com.

Recording the Final Plat. The signed plat must be recorded by the applicant with the County Deed Records within 90 days following approval by the Bureau of Development Services or the approval will be null and void.

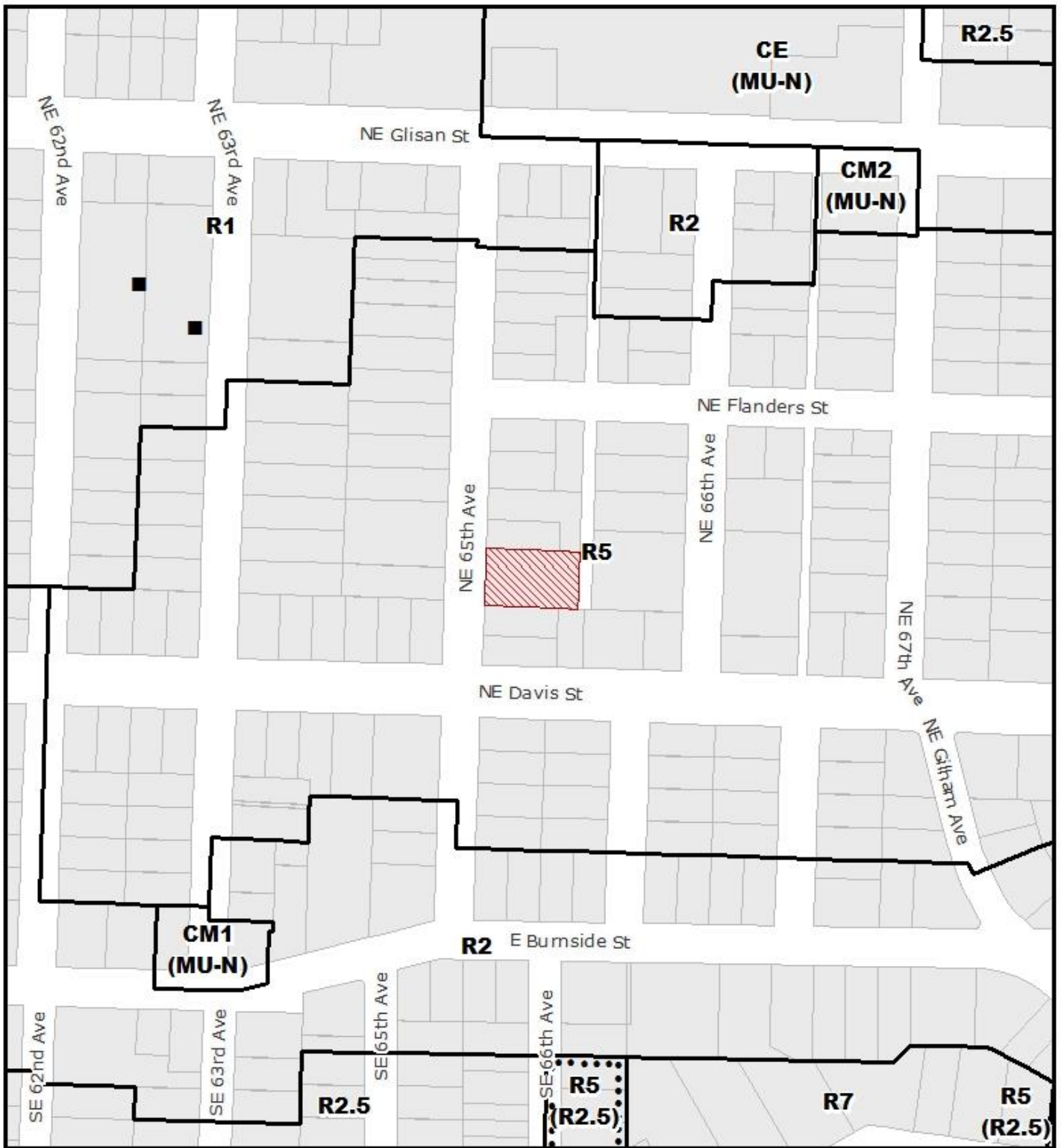
EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant’s Statement
 - 1. Lot Confirmation/Property Line Adjustment checksheet
 - 2. Lot Consolidation Narrative
 - 3. Title Report
 - 4. Original Subdivision Plat
 - 5. Supplemental Survey showing existing conditions
 - 6. Preliminary Lot Consolidation Plat Survey
 - 7. Revised Lot Consolidation Narrative addressing approval criteria
 - 8. Deed information
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Lot Consolidation Plat Survey (attached)
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Bureau of Environmental Services
 - 2. Bureau of Transportation Engineering and Development Review
 - 3. Water Bureau
 - 4. Fire Bureau

5. Site Development Review Section of BDS
 6. Life Safety Section of BDS
- F. Correspondence:
1. Diane Barr, August 28, 2019,
- G. Other:
1. Original LU Application
 2. Memo dated July 29, 2019
 3. August 21, 2019 Lot Consolidation Plat Status Report
 4. E-mail communication with applicant from July 29, 2019 – September 2019

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING



Site



Historic Landmark

File No.	LU 19-186085 LC
1/4 Section	3037
Scale	1 inch = 200 feet
State ID	1N2E32CB 13600
Exhibit	B Jul 03, 2019

PARTITION PLAT NO.

A REPLAT OF LOT 15 AND A PORTION OF LOT 14, BLOCK 20, "NORTH MOUNT TABOR", LOCATED IN THE SW 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 2 EAST, W.M., CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON

SEPTEMBER 6, 2019

SURVEYED FOR:
 GREG COCKELL
 10000 N. HAWTHORNE HOMES
 PO BOX 1225
 CANBY, OR 97013



NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO REPLAT LOT 15 AND THE NORTH 20.86 FEET OF LOT 14, BLOCK 20, "NORTH MOUNT TABOR", LOCATED IN THE SW 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 2 EAST, W.M., CITY OF PORTLAND, MULTNOMAH COUNTY DEED RECORDS.

AS THE BASIS OF BEARING AND THE EAST RIGHT-OF-WAY LINE OF THE EAST AVE. ALSO BEING THE WEST LINE OF THE SUBJECT PROPERTY, I HELD A BEARING OF NORTH 00°00'00" EAST, INFERRED FROM (R1), BETWEEN A 5/8" IRON ROD FOUND AT THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY AND A POINT 5.00 FEET EAST OF A BRASS SCREW FOUND NEAR THE NORTHWEST CORNER OF THE SOUTH 6.67 FEET OF LOT 12.

TO ESTABLISH THE EAST LINE OF THE SUBJECT PROPERTY, ALSO BEING THE WEST LINE OF A BRASS ALLEY, I EXTENDED SAID LINE SOUTHERLY THROUGH A 3/4" IRON PIPE FOUND NEAR THE SOUTHEAST CORNER OF THE SUBJECT PROPERTY, AS SHOWN.

TO ESTABLISH THE NORTH LINE OF LOT 16, I HELD A 5/8" IRON ROD FOUND AT THE NORTHWEST CORNER AND A 5/8" IRON ROD FOUND AT THE NORTHEAST CORNER OF SAID LOT 16, AND THE DISTANCE (R1) OF 33'-1/3 FEET TO ESTABLISH THE NORTH LINE OF LOT 15, BEING THE NORTH LINE OF THE SUBJECT PROPERTY.

TO ESTABLISH THE SOUTH LINE OF THE SUBJECT PROPERTY, I HELD A LINE PARALLEL WITH THE ESTABLISHED NORTH LINE OF SAID LOT 16 FROM A 5/8" IRON ROD FOUND AT THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY, AS SHOWN, WHICH AGREES WITH BEING THE SOUTH LINE OF THE NORTH 20.86 FEET OF LOT 15, BEING PARALLEL WITH AND SOUTHERLY A DISTANCE OF 12.47 FEET (33'-1/3 MINUS 12.47 EQUALS 20.86).

LEGEND

- FOUND MONUMENTS AS NOTED
- FOUND BRASS SCREW
- INScribed "CMT 86811"
- SET ON: 9/16/2019
- IR = IRON ROD
- FD = FOUND
- W/ = WITH
- GPC = GREEN PLASTIC CAP
- YPC = YELLOW PLASTIC CAP
- RPC = RED PLASTIC CAP
- SN = SURVEY NUMBER
- (R1) = REFERENCE SURVEY NUMBER OR PLAT NAME
- (H) = HELD
- (M) = MEASURED
- (C) = CALCULATED
- (E/W) = EAST/WEST
- (S) = SOUTH
- SQFT = SQUARE FEET

THIS SURVEY WAS PREPARED USING HEWLETT PACKARD PRODUCT NO. 4844A ON MILANO MYLAR #PCAM2



EXPIRES DECEMBER 31, 2020

REFERENCES

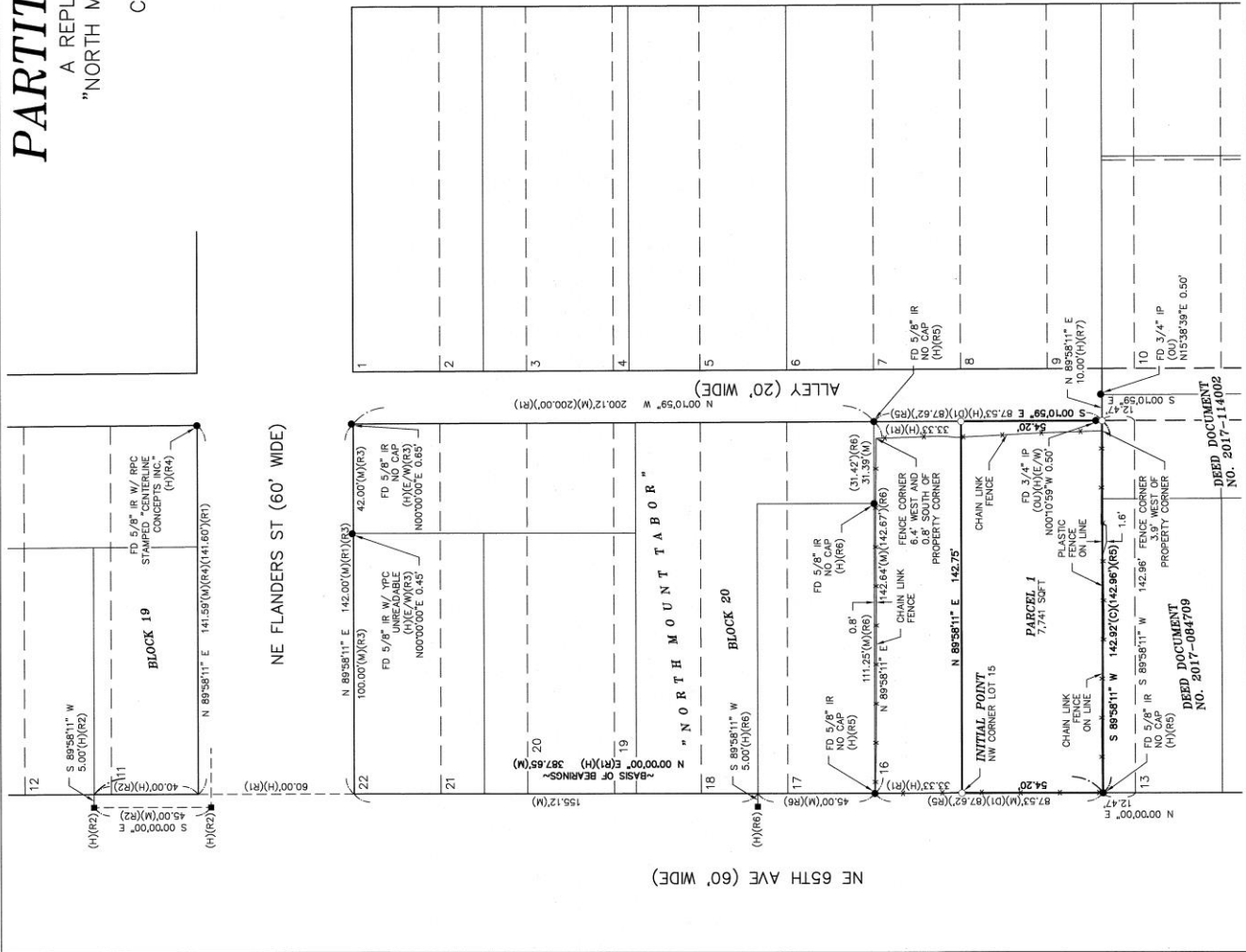
- R1 PLAT OF "NORTH MOUNT TABOR"
- R2 SN 39245
- R3 SN 42888
- R4 SN 61997
- R5 SN 39472
- R7 SN 43560
- D1 DEED DOCUMENT NO. 2018-108555



SHEET 1 OF 2

CMT SURVEYING AND CONSULTING

10000 N. HAWTHORNE HOMES
 CANBY, OR 97013
 PHONE (503) 850-4672 FAX (503) 850-4590
 Y:\273-020\cmt\273020PART.dwg ---DMR



NE 65TH AVE (60' WIDE)

NE 66TH AVE (60' WIDE)

DEED DOCUMENT NO. 2017-114002

DEED DOCUMENT NO. 2017-084709

PARTITION PLAT NO.

A REPLAT OF LOT 15 AND A PORTION OF LOT 14, BLOCK 20,
 "NORTH MOUNT TABOR", LOCATED IN THE SW 1/4 OF SECTION 32,
 TOWNSHIP 1 NORTH, RANGE 2 EAST, W.M.,
 CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON

SEPTEMBER 6, 2019
 SURVEYED FOR:
 GREENWOOD HOMES
 GREG COCHELL
 PO BOX 1225
 CANBY, OR 97013

DECLARATION

KNOW ALL PERSONS BY THESE PRESENTS, THAT GREENWOOD HOMES, LLC, IS THE OWNER OF THE PROPERTY DESCRIBED IN THE ACCOMPANYING SURVEYOR'S CERTIFICATE, AND HAS CAUSED THE PARTITION PLAT TO BE PREPARED AND THE PROPERTY PARTITIONED IN ACCORDANCE WITH THE PROVISIONS OF O.R.S. CHAPTER 92.

GREENWOOD HOMES, LLC AN OREGON LIMITED LIABILITY COMPANY

[Signature]
 GREG COCHELL, MANAGING MEMBER

SURVEYOR'S CERTIFICATE

I, DAVID ROEGER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF OREGON, CERTIFY THAT I HAVE SURVEYED AND PARTITIONED THE PROPERTY DESCRIBED IN THE ACCOMPANYING ATTACHED PARTITION PLAT, BEING LOT 15 AND A PORTION OF LOT 14 OF BLOCK 20 OF THE PLAT OF "NORTH MOUNT TABOR", LOCATED IN THE SOUTHWEST ONE-QUARTER OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 2 EAST, OF THE WILAMETTE MERIDIAN, IN THE CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INITIAL POINT, A 5/8" X 30" IRON ROD WITH GREEN PLASTIC CAP INSCRIBED "CMT 88811" SET IN THE NORTH SIDE OF GREENWOOD ROAD AND LOT 15, WHICH CORNER OF LOT 15, BLOCK 20, "NORTH MOUNT TABOR", SAID INITIAL POINT ALSO BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF NE 65TH AVENUE (60.00 FEET WIDE);

THENCE LEAVING SAID EASTERLY RIGHT-OF-WAY LINE ALONG THE NORTH LINE OF SAID LOT 15, NORTH 89°58'11" EAST, 142.75 FEET, TO THE NORTHEAST CORNER OF SAID LOT 15;

THENCE ALONG THE EAST LINE OF SAID LOTS 14 AND 15, SOUTH, 00°10'59" EAST, 54.20 FEET TO THE SOUTHEAST CORNER OF THE NORTH 20.86 FEET OF SAID LOT 14;

THENCE LEAVING SAID EAST LINE, SOUTH, 89°58'11" WEST, 142.85 FEET TO THE SOUTHWEST CORNER OF SAID LOTS 14 AND 15, 20.86 FEET OF LOT 14, ALSO BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF THE 65TH AVENUE;

THENCE ALONG THE WEST LINE OF SAID LOTS 14 AND 15, ALSO BEING ALONG SAID EASTERLY RIGHT-OF-WAY LINE, NORTH, 00°10'00" EAST, 54.20 FEET TO THE INITIAL POINT.

CONTAINING 7,741 SQUARE FEET, MORE OR LESS.

ACKNOWLEDGMENT

STATE OF OREGON }
 COUNTY OF MULTNOMAH } S.S.

KNOW ALL PERSONS BY THESE PRESENTS, THAT ON THIS 19 DAY OF SEPTEMBER 2019, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY APPEARED GREG COCHELL, MANAGING MEMBER OF GREENWOOD HOMES, LLC, AN OREGON LIMITED LIABILITY COMPANY, ON BEHALF OF SAID COMPANY.

[Signature]
 NOTARY SIGNATURE
 T. J. Taylor
 NOTARY PUBLIC - OREGON

COMMISSION NO. 17162-1
 MY COMMISSION EXPIRES March 01, 2022

APPROVALS

APPROVED THIS 19th DAY OF September 2019

[Signature]
 CITY OF PORTLAND, PLANNING DIRECTOR'S DELEGATE

APPROVED THIS 20th DAY OF September 2019

[Signature]
 CITY OF PORTLAND, ENGINEER'S DELEGATE

APPROVED THIS _____ DAY OF _____ 20____

COUNTY SURVEYOR
 MULTNOMAH COUNTY, OREGON

ALL TAXES, FEES, ASSESSMENTS, OR OTHER CHARGES AS PROVIDED BY O.R.S. 92.095 HAVE BEEN PAID AS OF _____ 20____

DIRECTOR, DIVISION OF ASSESSMENT & TAXATION,
 MULTNOMAH COUNTY, OREGON

BY: _____
 DEPUTY

STATE OF OREGON }
 COUNTY OF MULTNOMAH } S.S.

I DO HEREBY CERTIFY THAT THE ATTACHED PARTITION PLAT WAS RECEIVED FOR RECORD AND RECORDED _____ 20____ AT _____ O'CLOCK _____ M.

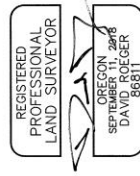
AS PARTITION PLAT NO. _____
 COUNTY RECORDING OFFICE

BY: _____
 DEPUTY

DOCUMENT NO. _____

NOTES

- THIS PLAT IS SUBJECT TO THE CONDITIONS IMPOSED BY THE CITY OF PORTLAND IN CASE FILE NO. LU 19-186085 LC.



EXPIRES DECEMBER 31, 2020

THIS SURVEY WAS PREPARED USING HEWLETT PACKARD PRODUCT NO. 4844A ON MILANO MTLAR JPCM2

