



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
Rebecca Esau, Director
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www.portlandoregon.gov/bds

Date: January 10, 2020
To: Interested Person
From: Grace Jeffreys, Land Use Services
503-823-7840 / Grace.Jeffreys@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 19-243055 DZ - 4030 NE HALSEY, TARGET STORE

GENERAL INFORMATION

Applicant: Justin Becker, Kimley-Horn & Associates
401 B Street, #600, San Diego CA 92101
(619)744-0169, justin.becker@kimley-horn.com

Representative: Heather Sexton, Target Corporation
50 South 10th St., Ste 400, TP3-11403, Minneapolis MN 55403

Owners: Wilshire Lucas Investments LLC
PO Box 9456, Minneapolis, MN 5540-9456

Site Address: 4030 NE HALSEY ST

Legal Description: BLOCK 44 LOT 1-8 TL 200, LAURELHURST
Tax Account No.: R479107520
State ID No.: 1N1E36AA 00200
Quarter Section: 2934

Neighborhood: Hollywood, contact Jo Schaefer at jaschaef@comcast.net
Business District: Hollywood Boosters, contact hollywoodboosters@gmail.com.
District Coalition: Central Northeast Neighbors, contact Alison Stoll at 503-823-2778.

Plan District: Hollywood - Subdistrict A

Zoning: CM3 (MU-U)d, Commercial Mixed Use 3 (CM3), with design (d) overlay.
Case Type: DZ, Design Review
Procedure: Type II, an administrative decision with appeal to the Design Commission.

Proposal:

The applicant is seeking Design Review approval to remodel the exterior of the building at 4030 NE Halsey (formerly Orchards Supply) located in the Hollywood Plan District, Sub District A. The proposal includes the following:

- Repainting of the building.
- Replacement of wood trellises with new metal canopies.
- Three (3) new glazed infill windows at the west end of the north elevation and four (4) new glazed infill windows on the west elevation, replacing existing steel screens.
- New signage that is subject to design review includes one (1) new 64 square foot non-illuminated sign located on the south elevation facing I-84. Other signage proposed is under 32 square feet, therefore design review is not required for these.
- New exterior lighting at the main canopy and three (3) new wall mounted fittings on the north elevation.
- Rooftop alterations include two (2) new RTU's, two (2) new condenser units, a new pipe box, a new pipe penetration, a new exhaust fan, and the infill of one skylight.

The value of the overall project triggers nonconforming upgrades to the site per Zoning Code Section 33.258.070.D. The current landscape improvements to the surface parking lot for both perimeter and interior landscaping and short and long-term bike parking are to remain unchanged and compliant with prior approvals. Short- and long-term bike parking requirements to be shown met at time of permit.

Exterior alterations and signs larger than 32 square feet in “d” overlay zones require Design Review per Zoning Section 33.420.041.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- *Community Design Guidelines*

ANALYSIS

Site and Vicinity: The approximately 60,000 SF site is located on the south side of NE Halsey and bounded by Cesar Chavez Blvd overpass to the west, Banfield Freeway (I-84) to the south and a TriMet transit center for light rail to the east. The abutting rights-of-way are designated as follows:

- NE Halsey is a Major Transit Priority Street,
- NE Cesar Chavez is a Transit Access Street, and
- I-84 is a Regional Transit Way.

The site is also located at the southern boundary of the Hollywood Pedestrian District and Plan District.

The Hollywood Plan District provides for an urban level of mixed-use development including commercial, office, housing, and recreation. Specific objectives of the plan district include strengthening Hollywood's role as a commercial and residential center, and promoting the use of light rail, bus transit, and walking. These regulations: enhance business and economic vitality; promote housing and mixed-use development; discourage auto-oriented uses and developments and direct the placement of auto-oriented uses and developments away from the area of most intense activity; reinforce the connection between the Hollywood Transit Center and the business core of the Hollywood District; enhance the pedestrian experience; and enhance the character of buildings in the plan district.

The property is improved with a 42,000 SF, one level building over structured parking with surface parking at the west end. The Hollywood Transit Center is located east of the site, while commercial development of 1-4 stories exists in the surrounding area, with a few single family homes across NE Halsey on 40th & 41st.

Zoning: The Commercial/Mixed Use 3 (CM3) zone is a large-scale zone intended for sites in high-capacity transit station areas, in town centers, along streetcar alignments, along civic corridors, and in locations close to the Central City. It is intended to be an intensely urban zone and is not appropriate for sites where adjacent properties have single-dwelling residential zoning. The zone allows a wide range and mix of commercial and residential uses, as well as employment uses that have limited off-site impacts. Buildings in this zone will generally be up to six stories tall unless height and floor area bonuses are used, or plan district provisions specify other height limits. Development is intended to be pedestrian-oriented, with buildings that contribute to an urban environment with a strong street edge of buildings. The scale of development is intended to be larger than what is allowed in lower intensity commercial/mixed use and residential zones. Design review is typically required in this zone.

The “d” overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

Land Use History: City records indicate that prior land use reviews include the following:

- VZ 127-61: A 1961 Variance approval to allow more than one identification sign for each principal building.
- VZ 230-62: A 1962 Variance approval to permit more than one sign in an “S” (Sign Control) zone.
- VZ 250-66 – A 1966 Variance approval to have more than one identification sign in an “S” zone.
- LU 13-241266 DZM: A 2013 Design Review approval for an exterior building remodel and associated site improvements, and Modification to screening of the loading space, trash/mechanical and parking areas along the west (no screening) and south (reduce from 5'-0" to 1'-8") property lines that meet the L2 or F2 requirements (Sections 33.266.310.E, 33.130.266.130.G and 33.130.235).

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **November 26, 2019**. The following Bureaus have responded with no issues or concerns:

- Fire Bureau (Exhibit E.1)
- Life Safety Section of BDS (Exhibit E.2)
- Site Development Section of BDS

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on November 26, 2019. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Community Design Guidelines.

Community Design Guidelines

The Community Design Guidelines consist of a set of guidelines for design and historic design cases in community planning areas outside of the Central City. These guidelines address the unique and special characteristics of the community plan area and the historic and conservation districts. The Community Design Guidelines focus on three general categories: **(P) Portland Personality**, which establishes Portland's urban design framework; **(E) Pedestrian Emphasis**, which states that Portland is a city for people as well as cars and other movement systems; and **(D) Project Design**, which assures that each development is sensitive to both Portland's urban design framework and the users of the city.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

P1. Plan Area Character. Enhance the sense of place and identity by incorporating site and building design features that respond to the area's desired characteristics and traditions.

E3. The Sidewalk Level of Buildings. Create a sense of enclosure and visual interest to buildings along sidewalks and pedestrian areas by incorporating small scale building design features, creating effective gathering places, and differentiating street level facades.

E4. Corners that Build Active Intersections. Create intersections that are active, unified, and have a clear identity through careful scaling detail and location of buildings, outdoor areas, and entrances.

D7. Blending into the Neighborhood. Reduce the impact of new development on established neighborhoods by incorporating elements of nearby, quality buildings such as building details, massing, proportions, and materials.

Findings for P1, E3, E4 and D7: This proposal is for the renovation of an existing building which was once the Hollywood Bowl into a new Target store. Exterior alterations are proposed to the building only, and the existing footprint and site improvements will remain untouched. Proposed building alterations include repainting the building's existing stucco finished CMU, replacement of wood trellises with new metal canopies, seven (7) new infill windows at the west end replacing existing steel screens into the former garden center, a new 64 square foot non-illuminated sign located on the south elevation facing I-84, new lighting at the main canopy and three (3) new wall mounted fittings on north elevation, and six (6) new rooftop mechanical units and the infill of one skylight.

The changes to the building incorporate materials and design elements characteristic of the Hollywood Plan District and that contribute the pedestrian emphasis in the area.

- The facades will be repainted using color and pattern intended to reflect the bold, colorful architecture of the Hollywood District. In particular, the distinct diamond pattern of the Hollywood Theater was chosen as a bold and modern reinterpretation of the neighborhood character.
- The existing the wood trellises will be replaced with metal canopies, which will be more durable and more consistent with the urban area than the wood trellises they replace. Applicant confirmed by email that the new canopies are to be covered with "solid steel plates over steel channels" (Exhibit A.5), however, the most recent drawings provided still show perforated plates at the canopies. To ensure the new canopies will provide protection for pedestrians from rain, a condition of approval has been added that "All canopies are to be covered with solid steel plates over steel channels".
- The existing storefront doors and glazing along NE Halsey, which provide views into active areas, will remain.

- New glazing infill with mullions to match existing storefronts will replace the existing steel bars of the former garden center at three (3) windows at the west end of the north elevation and at four (4) windows on the west elevation. However, although the addition of new glazing has the potential to help activate the facades, the intention here is to build a solid wall behind these new glazed infill units, as shown on Exhibits C.15 and C.16. By building a solid wall behind the new glazed infill units, all future potential to activate the facades with this new glazing is lost. Therefore, to ensure that at least for the three (3) new street facing glazed infill units along NE Halsey street maintain the opportunity to activate this street facing frontage, the following condition of approval has been added that “The three (3) new glazed infill units along NE Halsey Street, on the north elevation, are to remain clear and open to the interior spaces with no wall behind”.
- new glazing will not provide views into active areas, to help bring life to these facades at the west end, bold color and pattern will be used.
- A new 64 square foot sign will face south towards Interstate I-84, away from the more intimate pedestrian frontage along NE Halsey. This larger scale is more appropriate in this location, and the sign will be non-illuminated to reduce its impact on the skyline.
- The new rooftop units will be set back from the parapets to reduce their impact on the building’s frontages.

With the conditions of approval noted above, these guidelines have been met.

E2. Stopping Places. New large-scale projects should provide comfortable places along pedestrian circulation routes where people may stop, visit, meet, and rest.

E5. Light, Wind, and Rain. Enhance the comfort of pedestrians by locating and designing buildings and outdoor areas to control the adverse effects of sun, shadow, glare, reflection, wind, and rain.

D1. Outdoor Areas. When sites are not fully built on, place buildings to create sizable, usable outdoor areas. Design these areas to be accessible, pleasant, and safe. Connect outdoor areas to the circulation system used by pedestrians;

D3. Landscape Features. Enhance site and building design through appropriate placement, scale, and variety of landscape features.

Findings for E2, E5, D1 and D3: Existing site and landscape features remain unchanged, and along with the addition of new canopies and exterior lighting, will enhance the pedestrian experience along the NE Halsey frontage:

- At the east end of the site, the triangular shaped main entry area will remain unchanged, and the current steps, ramps and landscaping provide seating opportunities incorporated in the design of planters and walls.
- At the west end of the site, the existing planters along the north edge will continue to provide a visual and physical buffer of the cars from the sidewalk as well as provide interest along this narrow pedestrian corridor.
- The existing canopies are to remain unchanged, and the existing wood trellises will be replaced with new metal canopies. With the condition of approval noted above under P1 that the “All canopies are to be covered with solid steel plates over steel channels”, further shelter from the weather will be provided along the adjacent sidewalk. Additionally, existing street trees along NE Halsey will allow for shaded areas along the pedestrian environment during the warmer months.

With the condition of approval noted above under P1, these guidelines have been met.

D2. Main Entrances. Make the main entrances to houses and buildings prominent, interesting, pedestrian accessible, and transit-oriented.

Findings: The existing main entrance facing NE Halsey is to remain unchanged, and a series of ramps and steps provide direct access for all abilities from the sidewalk. The

entry portion of the building will be highlighted for wayfinding by new red paint with the diamond pattern tone-on-tone stencil. The existing stucco pilasters and canopy will remain, and lighting fixtures will be upgraded. *This guideline has been met.*

D4. Parking Areas and Garages. Integrate parking in a manner that is attractive and complementary to the site and its surroundings. Locate parking in a manner that minimizes negative impacts on the community and its pedestrians. Design parking garage exteriors to visually respect and integrate with adjacent buildings and environment.

Findings: The current parking garage conditions are to remain unchanged and compliant with prior approvals. The majority of parking for the building is located below grade which reduces the visual impact of an asphalt parking lot and cars, to preserve the integrity of the surrounding community. *This guideline has been met.*

D5. Crime Prevention. Use site design and building orientation to reduce the likelihood of crime through the design and placement of windows, entries, active ground level uses, and outdoor areas.

Findings: The existing entries and storefront glazing will remain and, along with new lighting at the pedestrian level, will maintain a transparent and active environment along NE Halsey, thereby reducing the likelihood of crime. With the condition of approval noted above under P1 that the “The three (3) new glazed infill units along NE Halsey Street, on the north elevation, are to remain clear and open to the interior spaces with no wall behind”, the west end of the Halsey frontage will also provide “eyes on the street”. *With the condition of approval noted under P1, this guideline has been met.*

D6. Architectural Integrity. Respect the original character of buildings when making modifications that affect the exterior. Make additions compatible in scale, color, details, material proportion, and character with the existing building.

D8. Interest, Quality, and Composition. All parts of a building should be interesting to view, of long lasting quality, and designed to form a cohesive composition.

Findings for D6 and D8: The changes to the building respect the original character of the building, and will be interesting to view, of long lasting quality, and have been designed to form a cohesive composition.

- The general building massing will remain including the art deco detailing around the entrance, however, the overly chunky wood detailing and brown tones from the most recent renovation will be removed and the existing stucco exterior will be repainted to create a more coherent composition. The entry portion of the building will be highlighted for wayfinding by red paint with the diamond pattern tone-on-tone stencil. The other segments of the building are painted with two alternating warm gray tones and a darker gray base color. There is additional gray tone-on-tone stenciling at the mid portion of the building. On the rear of the building, the upper portion of the wall is painted red to highlight to tie back to the NE Halsey frontage.
- The new metal canopies which will replace the existing wood trellises will be more durable and more consistent with the commercial use and urban pedestrian environment.
- The new glazing on the west end will replace steel bars of the former garden center. With the condition of approval noted above under P1 that the “The three (3) new glazed infill units along NE Halsey Street, on the north elevation, are to remain clear and open to the interior spaces with no wall behind”, the integrity of the west end of the existing building facing NE Halsey will be maintained, and be interesting to view by providing views into active uses.
- The new 64 square foot sign will face south towards Interstate I-84, away from the more intimate pedestrian frontage along NE Halsey. This larger scale of 64 square feet is more appropriate given this location away from the street frontages, and the sign will be non-illuminated to reduce its impact on the skyline.

With the condition of approval noted under P1, this guideline has been met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all requirements of Title 11 can be met, and that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review, prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. As demonstrated in the findings above, the proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of Design Review for exterior alterations including repainting, replacement of wood trellises with new metal canopies, seven (7) new glazed infill windows, one (1) new 64 square foot non-illuminated sign, new exterior lighting, and rooftop alterations per the approved site plans.

Approval of Exhibits C-1 through C-30, signed and dated January 8, 2020, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through E) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 19-243055 DZ ." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.
- D. All canopies are to be covered with solid steel plates over steel channels.
- E. The three (3) new glazed infill units along NE Halsey Street, on the north elevation, are to remain clear and open to the interior spaces with no wall behind.

Staff Planner: Grace Jeffreys



Decision rendered by: _____ **on January 8, 2020**

By authority of the Director of the Bureau of Development Services

Decision mailed: January 10, 2020

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on **October 21, 2019** and was determined to be complete on **November 20, 2019**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on October 21, 2019.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: March 19, 2020.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on January 24, 2020** at 1900 SW Fourth Ave. Appeals can be filed at the 5th floor reception desk of 1900 SW 4th Avenue Monday through Friday between 8:00 am and 4:30 pm. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **January 24, 2020** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

A. Applicant's Statement

1. Application submittal – Response letter & Drawings 10/18/19
2. Applicant's Response to Incomplete Letter – Response letter, full drawings & cutsheets, 11/19/19
3. Applicant's Response to Staff email - Response letter & full drawings, 11/15/19
4. Applicant's Response to Staff email - Response letter & full drawings, 11/29/19
5. Applicant's Response to Staff email - Response letter & drawings, 12/17/19
6. Applicant's Response to Staff email - Response letter & full drawings, 12/18/19

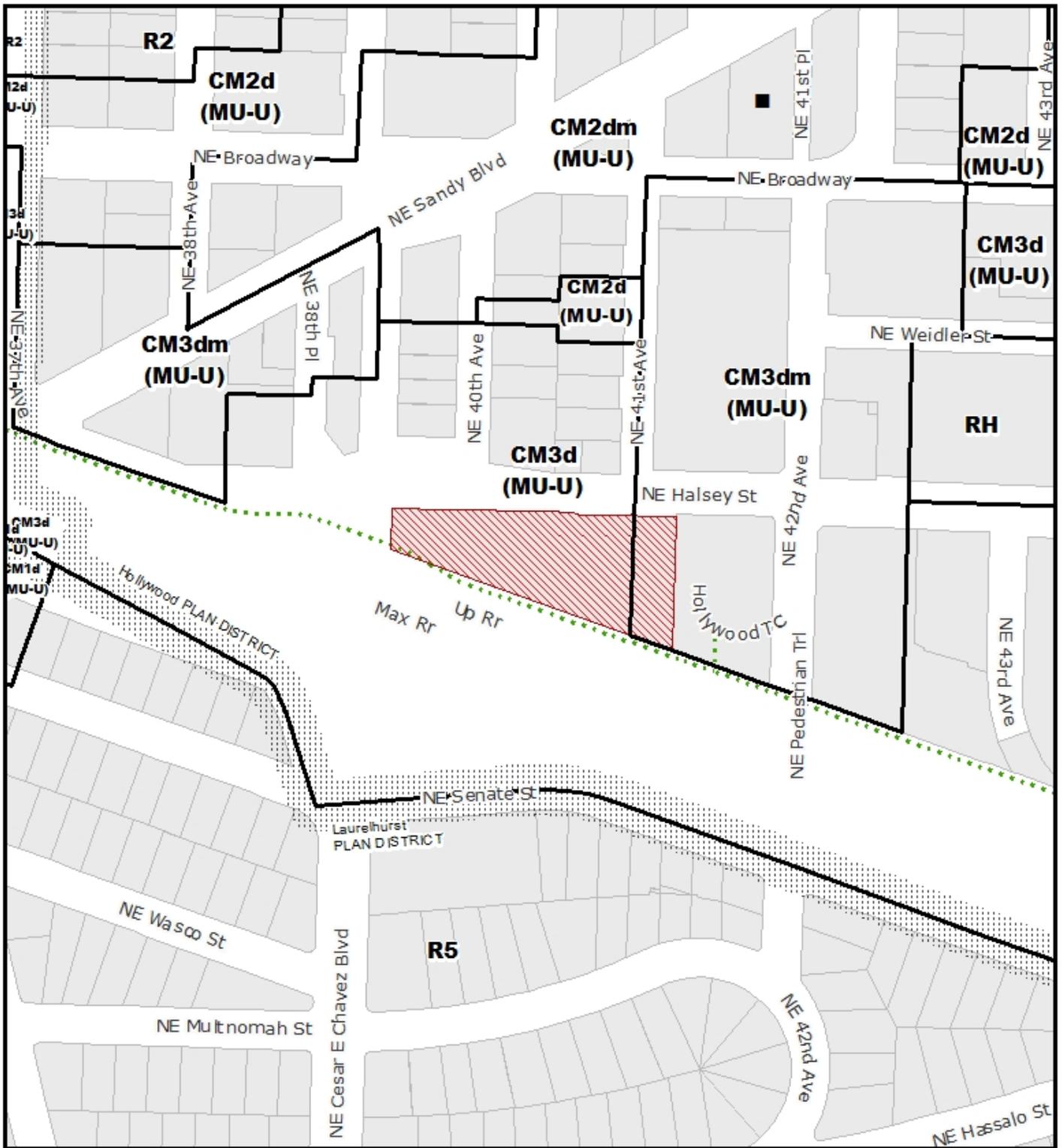
B. Zoning Map (attached)

C. Plans/Drawings:

1. Table of Contents
2. Existing Conditions
3. Site Plan (attached)
4. Underground Parking Plan
5. Floor Plan
6. Roof Plan
7. Roof Plan Details
8. Roof Plan Details

9. Roof Plan Details
 10. Elevations B/W (attached)
 11. Elevations B/W (attached)
 12. Elevations Color
 13. Elevations Color
 14. Exterior Sections and Details
 15. Exterior Sections and Details
 16. Exterior Sections and Details
 17. Exterior Sections and Details
 18. Storefront Details
 19. Storefront Details
 20. Partial Roof Framing Plans
 21. Partial Roof Framing Plans
 22. Partial Roof Framing Plans
 23. Partial Roof Framing Plans
 24. Partial Roof Framing Plans
 25. Material/Color
 26. Landscape Plans
 27. Lighting Plan
 28. Lighting Plan
 29. Signage
 30. Signage
- D. Notification information:
1. Mailing list
 2. Mailed notice
- E. Agency Responses:
1. Fire Bureau
 2. Life Safety Review Section of BDS
- F. Correspondence: none
- G. Other:
1. Original LU Application
 2. Early Assistance Appointment Summary Letter dated 8/9/19
 3. Site Images
 4. Incomplete Letter dated 11/4/19
 5. Staff email 11/21/19

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING

NORTH ↑

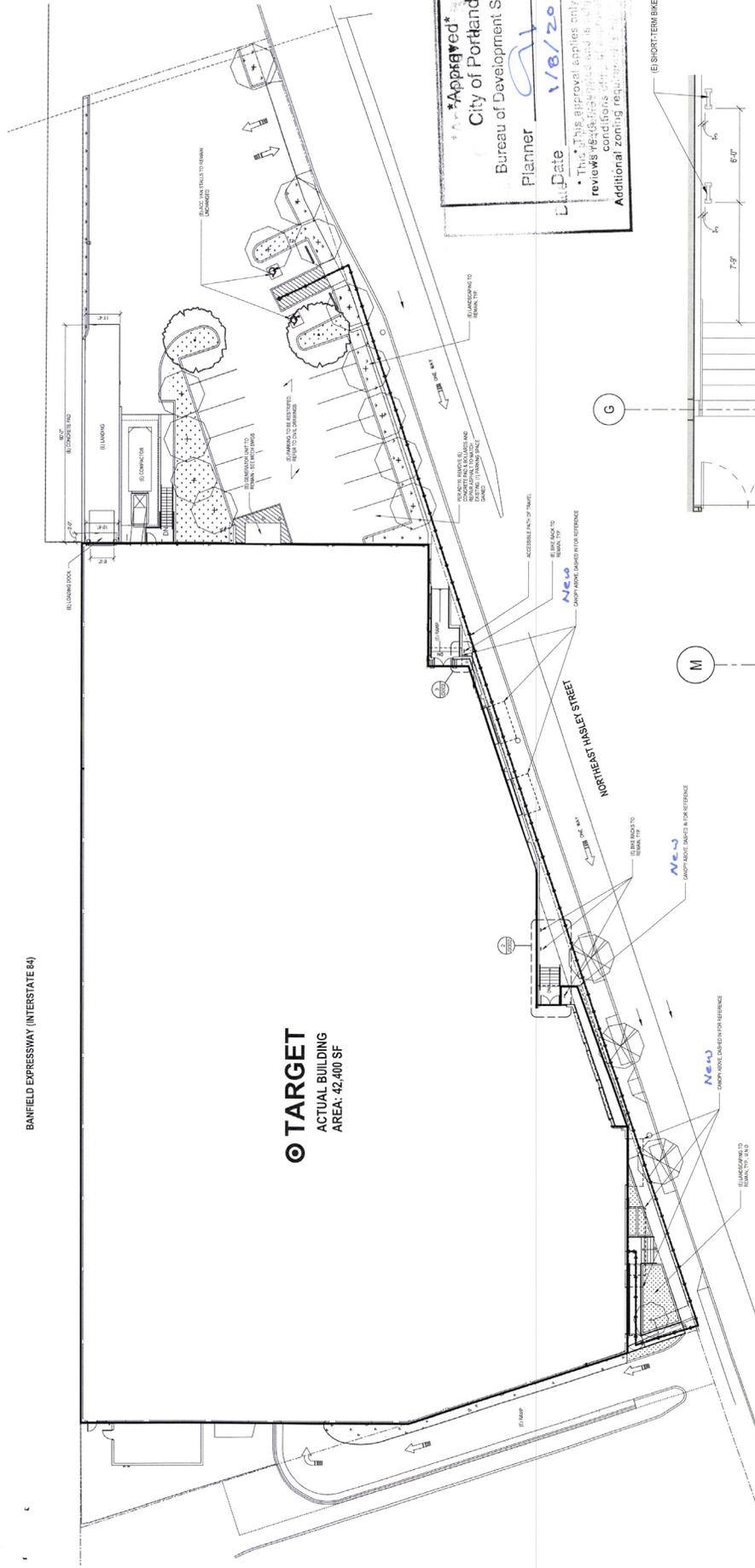
HOLLYWOOD PLAN DISTRICT
SUBDISTRICT A

-  Site
-  Historic Landmark
-  Recreational Trails

File No.	LU 19 - 243055 DZ
1/4 Section	2934
Scale	1 inch = 200 feet
State ID	1N1E36AA 200
Exhibit	B Oct 23, 2019

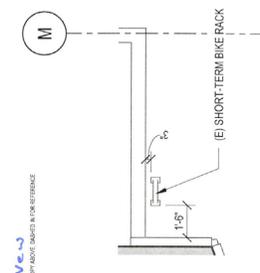
BANFIELD EXPRESSWAY (INTERSTATE 64)

TARGET
ACTUAL BUILDING
AREA: 42,400 SF

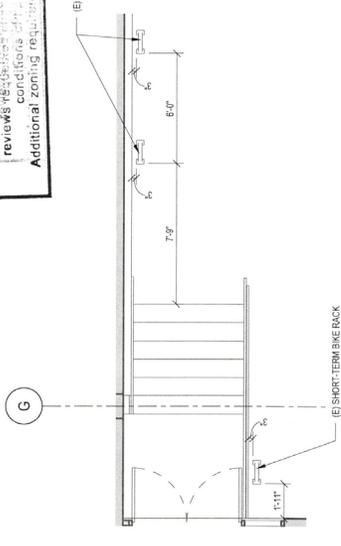


Approved
City of Portland
Bureau of Development Services
Planner
Date: 1/8/20

This approval applies only to the reviews indicated and is subject to all conditions of the applicable zoning code. Additional zoning requirements may apply.



2 EXISTING BIKE PARKING
G002 SCALE: 1/4" = 1'-0"



3 EXISTING BIKE PARKING
G002 SCALE: 1/4" = 1'-0"

SIDEWALK PLAN GENERAL NOTES
A. ALL PUBLIC ENTRANCES ARE DESIGNED TO BE ACCESSIBLE.

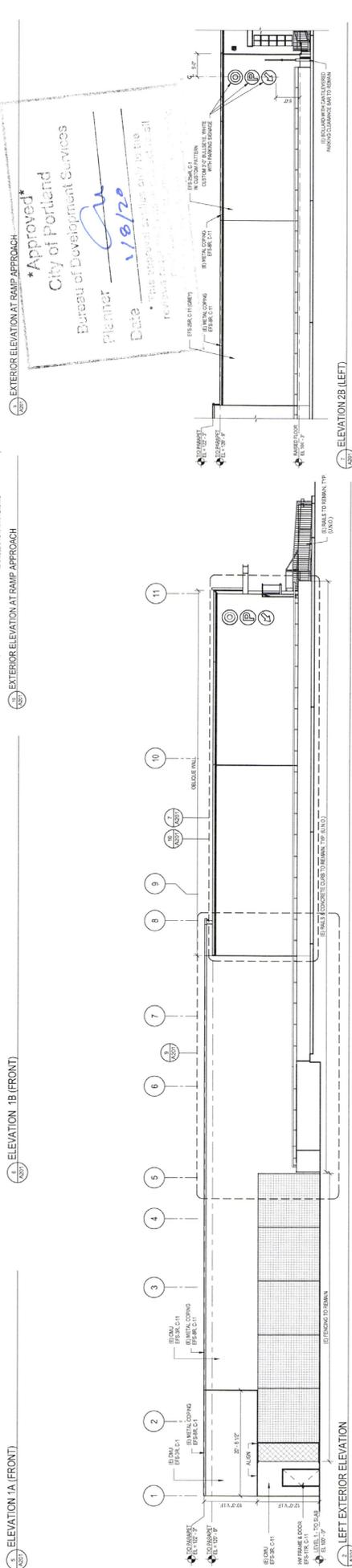
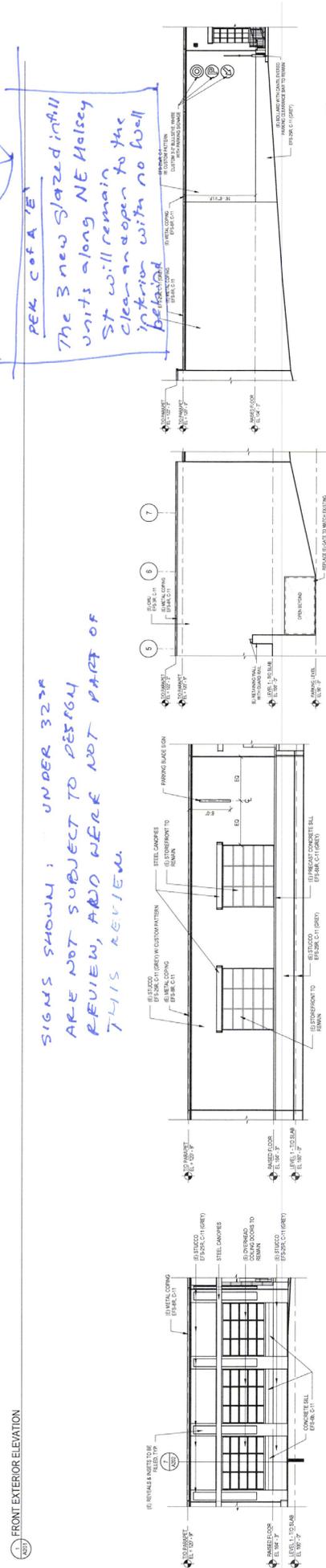
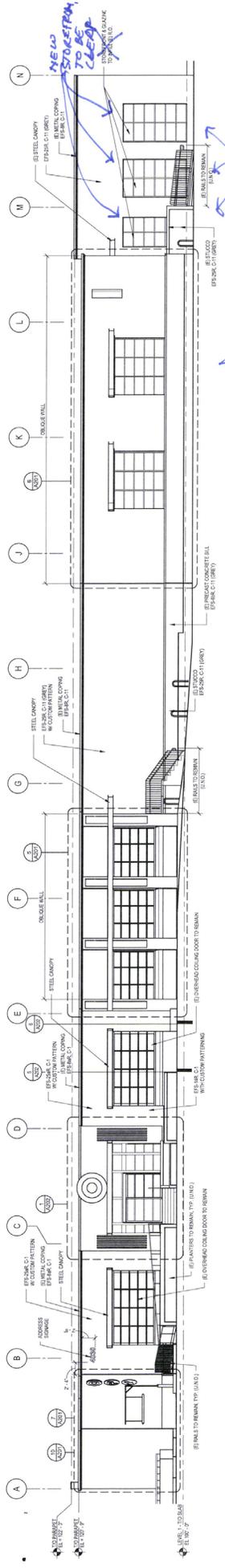
1 SITE PLAN - (REFERENCE ONLY)
2 SIDEWALK



TARGET SMALL FORMAT - PORTLAND HOLLYWOOD, OR

December 18, 2019
LAND USE REVIEW #LU 19-243055
SITE PLAN C.3





SIGNS SHOWN: UNDER 32' ARE NOT SUBJECT TO DESIGN REVIEW, ADD WERE NOT PART OF THIS REVIEW.

Approved
 City of Portland Services
 Bureau of Development Services
 Planner: *Cu*
 Date: 1/8/20
 This approval is subject to the following conditions:
 1. The applicant shall comply with all applicable codes and ordinances.



TARGET SMALL FORMAT - PORTLAND HOLLYWOOD, OR

December 18, 2019
 LAND USE REVIEW #LU 19-243055
 ELEVATIONS C.10

