



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
Rebecca Esau, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: May 6, 2020
To: Interested Person
From: Hillary Adam, Land Use Services
503-823-3581 / Hillary.Adam@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 20-120106 DZM – NEW OFFICE BUILDING

GENERAL INFORMATION

Applicant: Doug Skidmore, Architect
Beebe Skidmore Architects LLC
1500 SW 11th Ave #2004
Portland, OR 97201

Owner: Double Double LLC
3818 N Vancouver Ave
Portland, OR 97227

Site Address: 3818 N VANCOUVER AVE

Legal Description: BLOCK 29 LOT 14, ALBINA HMSTD
Tax Account No.: R010506080
State ID No.: 1N1E22DC 12000
Quarter Section: 2630

Neighborhood: Boise, contact at boiselanduse@gmail.com
Business District: Soul District Business Association, contact at info@nnebaportland.org
& Williams Vancouver Bus. Assoc., contact at info@williamsdistrict.com

District Coalition: Northeast Coalition of Neighborhoods, contact Jessica Rojas at jessica@necoalition.org.

Plan District: None
Zoning: CM3 (MU-U)d – Commercial/Mixed-Use 3 with Design overlay
Case Type: DZM – Design Review with Modification request
Procedure: Type II, an administrative decision with appeal to the Design Commission.

Proposal:

The applicant proposes a new office building to be located at the rear of the property, which will allow retention of the existing residential building fronting on N Vancouver Avenue. The proposed office building will be built nearly to the side property lines, will be clad in vertically-oriented charred cedar and will feature aluminum-clad wood windows and a side-facing gable. A small second floor deck faces the interior landscaped courtyard. Primary access will be through the courtyard from N Vancouver Avenue, however, a secondary entrance is provided at the alley. N Vancouver Avenue is a Major Transit Priority Street, a Major City Bikeway, a Major City Walkway, and a Major Emergency Response Route.

A Modification is requested to:

1. 33.130.240.B.2.a *Pedestrian Standards* – to reduce the required width of pedestrian paths from 6'-0" to 5'-0".

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- Community Design Guidelines
- 33.825.040 Modifications That Will Better Meet Design Review Requirements

ANALYSIS

Site and Vicinity: The subject property is gabled structure, originally built as a residence in 1891 but now identified as a duplex. The building is oriented west on N Vancouver Avenue, an increasingly commercial avenue in the Boise neighborhood. The immediate neighborhood features single and multi-dwelling structures. An alley runs north-south between the block bound by south-bound N Vancouver, N Failing, north-bound N Williams, and N Beech. Over the past decade plus larger mixed-use structures have replaced many of the older buildings in the neighborhood, particularly along the N Vancouver/Williams couplet.

Zoning: The Commercial/Mixed Use 3 (CM3) zone is a large-scale zone intended for sites in high-capacity transit station areas, in town centers, along streetcar alignments, along civic corridors, and in locations close to the Central City. It is intended to be an intensely urban zone and is not appropriate for sites where adjacent properties have single-dwelling residential zoning. The zone allows a wide range and mix of commercial and residential uses, as well as employment uses that have limited off-site impacts. Buildings in this zone will generally be up to six stories tall unless height and floor area bonuses are used, or plan district provisions specify other height limits. Development is intended to be pedestrian-oriented, with buildings that contribute to an urban environment with a strong street edge of buildings. The scale of development is intended to be larger than what is allowed in lower intensity commercial/mixed use and residential zones. Design review is typically required in this zone.

The “d” overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

Land Use History: City records indicate no relevant prior land use reviews.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed April 2, 2020.

The Bureau of Transportation Engineering responded with the following comments:
Portland Bureau of Transportation (PBOT) Development Review has reviewed the application for its potential impacts regarding the public Right-of-Way (ROW), traffic

impacts and conformance with adopted policies, street designations, Title 33, Title 17, and for potential impacts upon transportation services.

Design Review Approval Criteria (33.825): There are no applicable transportation-related approval criteria associated with the proposed Design Review, however the proposal has an impact on the public Right-of-Way, therefore warrants a review from PBOT below. Accordingly, PBOT has no objection to the proposed Design Review or the proposed Modification.

Street Classifications, Existing Conditions, and Required ROW Improvements: *The applicant has submitted their Land Use application prior to the March 1, 2020 adoption date of the Transportation System Plan's (TSP) amendments. Therefore, the abutting pedestrian corridor are reviewed under the previous TSP classification, which is as follows:*

- N Vancouver: For a *City Walkway* street in the CM-3 zone, the City's *Pedestrian Design Guide* recommends a 12-ft wide pedestrian corridor comprised of a 0.5-ft curb, 4-ft wide furnishing zone, 6-ft wide sidewalk, and a 1.5-ft wide frontage zone, to be constructed in hardscape with tree wells. The existing corridor does not meet City standards due to a vegetated furnishing zone. Therefore, reconstruct in hardscape with tree wells.

The applicant applied for a Public Works Alternative Review (20-112095 PW) to waive the requirement to reconstruct the abutting pedestrian corridor on N Vancouver Ave in hardscape with tree wells. As indicated in their February 24, 2020 decision, the Committee denied the request noting that all the sites to the north, east, and south are zoned for Commercial/Mixed Use development (CM3), for which there has been significant redevelopment in this area over the past several years, and is expected to continue to redevelop. Hence, improvements are warranted due to the anticipated increased demand of the subject property and in the immediate vicinity. Therefore, reconstruction of the abutting pedestrian corridor shall be incorporated into the Public Works Permit.

- Vancouver -Williams Alley: PBOT policy requires alley improvements in conjunction with a Commercial Building Permit, regardless if access is proposed. As discussed in the meeting, the site appears to be positioned at the peak between N Failing to the north and N Beech to the south. Depending on which way the water flows, the scope of the Public Works permit will vary. City GIS data indicates the alley is currently 20-ft wide, therefore dedication is not anticipated, however a survey will confirm if dedication is necessary.

The applicant applied for a Public Works Alternative Review (20-112095 PW) to waive the requirement for paving the abutting alley. As indicated in their February 24, 2020 decision, the Committee denied the request noting that there is an existing Public Works Permit (TH0857) under review that will pave the majority of the alley south of the site, in which the applicant will be required to extend the pavement to the site's northern boundary line. This limits the extent of the required improvement by the applicant and contributes to an overall, meaningful improvement of the alley. As noted previously, there has been significant redevelopment in this area and is expected to continue. Hence, improvements are warranted due to the anticipated increased demand of the subject property and in the immediate vicinity.

The applicant has yet to initiate a Public Works Permit for the required ROW improvements, therefore will be required to achieve 30 percent Concept Public Work approval prior to issuance of the Building Permit.

Please see Exhibit E-1 for additional details.

The following Bureaus have responded with no issues or concerns:

- Bureau of Environmental Services
- Fire Bureau
- Site Development Section of BDS

- Life Safety Division of BDS

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on April 2, 2020. One written response was received from either the Neighborhood Association or notified property owners in response to the proposal.

- M. Huffman, on April 22, 2020, wrote noting a preference for keeping the large diameter Douglas Fir tree in their backyard at 104 N Failing Street.

Staff Response: Staff also supports preservation of trees to the extent possible. However, any trees on adjacent properties are not included within this review. Staff encourages the applicant to work with the neighbor to minimize impacts and preserve trees on adjacent properties.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Community Design Guidelines.

Community Design Guidelines

The Community Design Guidelines consist of a set of guidelines for design and historic design cases in community planning areas outside of the Central City. These guidelines address the unique and special characteristics of the community plan area and the historic and conservation districts. The Community Design Guidelines focus on three general categories: **(P) Portland Personality**, which establishes Portland's urban design framework; **(E) Pedestrian Emphasis**, which states that Portland is a city for people as well as cars and other movement systems; and **(D) Project Design**, which assures that each development is sensitive to both Portland's urban design framework and the users of the city.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

P1. Plan Area Character. Enhance the sense of place and identity by incorporating site and building design features that respond to the area's desired characteristics and traditions.

Findings: Within the Albina Plan Area, one of the ways identified that a proposal can meet this guideline is by protecting Albina's heritage as home to early industrial workers. While the extent of the existing building's history is unknown, the proposal to construct the new building at the rear of the property and preserve the 1891 house, protects the history of the neighborhood while accommodating growth. The proposal also incorporates traditional building forms and materials found on the existing house, including wood siding and a gabled roof. This guideline is met.

P2. Historic and Conservation Districts. Enhance the identity of historic and conservation districts by incorporating site and building design features that reinforce the area's historic significance. Near historic and conservation districts, use such features to reinforce and complement the historic areas.

Findings: The property is not located within a historic or conservation district; however, it lies about two blocks north of the Eliot Conservation District and five blocks east of the Mississippi Conservation District. As noted under P1, the proposal preserves the 1891 house at the front of the property, thus reinforcing the history of the area. *This guideline is met.*

P3. Gateways. Develop or strengthen the transitional role of gateways identified in adopted community and neighborhood plans

Findings: This is not an identified gateway location. *This guideline is not applicable.*

E1. The Pedestrian Network. Create an efficient, pleasant, and safe network of sidewalks and paths for pedestrians that link destination points and nearby residential areas while visually and physically buffering pedestrians from vehicle areas.

Findings: Per PBOT's response, noted above, the applicant will be required to improve the sidewalk conditions fronting the property on N Vancouver and improve the alley conditions at the rear of the property as part of the Public Works and Building Permits. These improvements will help facilitate safe and efficient pedestrian connections to and past the site. *This guideline is met.*

E2. Stopping Places. New large-scale projects should provide comfortable places along pedestrian circulation routes where people may stop, visit, meet, and rest.

Findings: The proposal is a smaller-scaled commercial project at the rear of a property that is more residential in character. While all located on private property, the proposal includes five benches for visitors and users of the site to rest upon, including one located near the N Vancouver sidewalk. *This guideline is met.*

E3. The Sidewalk Level of Buildings. Create a sense of enclosure and visual interest to buildings along sidewalks and pedestrian areas by incorporating small scale building design features, creating effective gathering places, and differentiating street level facades.

Findings: Elements of the proposal located near the N Vancouver sidewalk are limited to landscaping, a pedestrian connection from the sidewalk to the rear of the property, and a bench for sitting. At the alley side of the property, the walls of the proposed building extend nearly to the property lines. The scale of the building is minimized along the alley by utilization of a side-gabled roof which lowers the height of the east wall, introduction of different massing with a modestly-projecting bay, and at the ground level there is an entry door with small canopy as well as windows providing views to the interior. *This guideline is met.*

E4. Corners that Build Active Intersections. Create intersections that are active, unified, and have a clear identity through careful scaling detail and location of buildings, outdoor areas, and entrances.

Findings: This property is not located on a corner. *This guideline is not applicable.*

E5. Light, Wind, and Rain. Enhance the comfort of pedestrians by locating and designing buildings and outdoor areas to control the adverse effects of sun, shadow, glare, reflection, wind, and rain.

Findings: The incorporation of a gabled roof will help to minimize shadows on the alley as a more rectangular form build to the extents of the building's footprint would cast a greater shadow. The proposed building will be clad with dark-toned wood siding which will reduce glare as the building will absorb light rather than reflect it. A small canopy is

proposed at the alley side entrance which could provide a bit of protection for pedestrians in the alley as well as for those entering the building. *This guideline is met.*

D1. Outdoor Areas. When sites are not fully built on, place buildings to create sizable, usable outdoor areas. Design these areas to be accessible, pleasant, and safe. Connect outdoor areas to the circulation system used by pedestrians;

D3. Landscape Features. Enhance site and building design through appropriate placement, scale, and variety of landscape features.

Findings for D1 and D3: The proposed building is designed to hug the rear property line, thus allowing the opportunity to maximize landscaping within the area between the two buildings. Pathways are proposed on the north and south sides of the existing property with the northern path used primarily for service access and the southern path used for visitors. Two gathering spaces are proposed between the buildings, softened by landscaping and including movable seating. The existing patio at the front of the property will be preserved as-is. *These guidelines are met.*

D2. Main Entrances. Make the main entrances to houses and buildings prominent, interesting, pedestrian accessible, and transit-oriented.

Findings: Because the building is located at the rear of the property, the entrance is also located at the rear. A landscaped wooden path leads visitors from the N Vancouver sidewalk to the building's entrance which is located beneath a 2nd level balcony for cover and is easily visible to those within the center of the site. A secondary entrance is located on the alley side within a small recess and protected by a canopy. *This guideline is met.*

D4. Parking Areas and Garages. Integrate parking in a manner that is attractive and complementary to the site and its surroundings. Locate parking in a manner that minimizes negative impacts on the community and its pedestrians. Design parking garage exteriors to visually respect and integrate with adjacent buildings and environment.

Findings: No parking areas or garages are proposed. *This guideline is not applicable.*

D5. Crime Prevention. Use site design and building orientation to reduce the likelihood of crime through the design and placement of windows, entries, active ground level uses, and outdoor areas.

Findings: The proposed building has several windows, primarily facing west and east, which are the directions from which people can enter the building and the site as new fencing is proposed along the north and south property lines and the proposed building is designed to the property lines. The door facing the alley is a full -light door thus improving visibility to this potentially less-trafficked area. Bollard lighting is proposed along the pathways and patios which will improve nighttime visibility on the property. *This guideline is met.*

D6. Architectural Integrity. Respect the original character of buildings when making modifications that affect the exterior. Make additions compatible in scale, color, details, material proportion, and character with the existing building.

Findings: No changes are proposed to the existing building. The proposed building takes cues from the existing building in its design through the incorporation of wood siding and a gabled roof form. *This guideline is met.*

D7. Blending into the Neighborhood. Reduce the impact of new development on established neighborhoods by incorporating elements of nearby, quality buildings such as building details, massing, proportions, and materials.

Findings: As is noted above, the proposed building is located at the rear of the property in order to preserve the existing 1891 resource, thus helping to maintain continuity of the neighborhood character while also accommodating additional expansion. While the new building will have four levels of office space and will be built to the north and south property lines as is allowed by the zone, the design of the building minimizes its impact on the neighborhood by incorporating a side-facing gable to reduce the vertical height along the alley, by concentrating windows on the west and east façades so as to not overlook immediate neighbors, and by incorporating wood siding and lush landscaping. *This guideline is met.*

D8. Interest, Quality, and Composition. All parts of a building should be interesting to view, of long lasting quality, and designed to form a cohesive composition.

Findings: The proposed building takes the simple form of the existing building, turns it 90 degrees and stretches it upward. Modest shifts in massing including the east and west rectangular bays announce the building as a more modern structure. The proposed siding is a charred and double-brushed cedar, resulting in an integral colored natural siding that, with maintenance, will be long-lasting and high quality. Windows are proposed to be aluminum-clad wood which are good quality and long-lasting. The proposed detailing of the building is clean, simple, and cohesive. *This guideline is met.*

33.825.040 Modifications That Will Better Meet Design Review Requirements:

The review body may consider modification of site-related development standards, including the sign standards of Chapters 32.32 and 32.34 of the Sign Code, as part of the design review process. These modifications are done as part of design review and are not required to go through the adjustment process. Adjustments to use-related development standards (such as floor area ratios, intensity of use, size of the use, number of units, or concentration of uses) are required to go through the adjustment process. Modifications that are denied through design review may be requested as an adjustment through the adjustment process. The review body will approve requested modifications if it finds that the applicant has shown that the following approval criteria are met:

- A. Better meets design guidelines. The resulting development will better meet the applicable design guidelines; and
 - B. Purpose of the standard. On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested.
1. Modification #1: 33.130.240.B.2.a *Pedestrian Standards* – to reduce the required width of pedestrian paths from 6'-0" to 5'-0".

Purpose Statement: The pedestrian standards encourage a safe, attractive, and usable pedestrian circulation system in all developments. They ensure a direct pedestrian connection between abutting streets and buildings on the site, and between buildings and other activities within the site. In addition, they provide for connections between adjacent sites, where feasible.

Standard: 33.130.240.B.2.a - The circulation system must be hard-surfaced and be at least 6 feet wide. On sites where all of the floor area is in Household Living, segments of the circulation system that provide access to no more than 4 units may be 3 feet wide.

Findings: The applicant proposes a 5'-0" wide path instead of the required 6'-0". The reduced width is minimal but still wide enough to generally allow passage of two people at the same time. The length of the reduced width path is less than 50' long before the path widens to more than 6'-0". The proposed path will feature adjacent landscaping, nighttime lighting, benches for resting immediately adjacent to the path and will provide a direct connection between the sidewalk and the proposed building. Therefore, the purpose of the standard is met by still providing a safe, attractive, and usable path. In addition, guidelines D1 *Outdoor Areas*, D3 *Landscape Features*, and D7 *Blending into the Neighborhood*, are all better met by the slight

reduction in the path width as this allows more land area to be used for plantings. The increased area for plantings helps to provide buffering and softening of the development thus enabling it to better fit with the character of the neighborhood as it transitions from a more residential character to a more mixed-use or commercial character. *Because the purpose of the standard is met and the design guidelines are better met, this Modification merits approval.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The proposal meets the applicable design guidelines and modification criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of a new office building to be located at the rear of the property, which will allow retention of the existing residential building fronting on N Vancouver Avenue. The proposed office building will be built nearly to the side property lines, will be clad in vertically-oriented charred cedar and will feature aluminum-clad wood windows and a side-facing gable. A small second floor deck faces the interior landscaped courtyard. Primary access will be through the courtyard from N Vancouver Avenue, however, a secondary entrance is provided at the alley. N Vancouver Avenue is a Major Transit Priority Street, a Major City Bikeway, a Major City Walkway, and a Major Emergency Response Route.

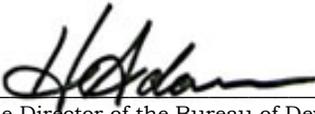
A Modification is requested to:

1. 33.130.240.B.2.a *Pedestrian Standards* – to reduce the required width of pedestrian paths from 6'-0" to 5'-0".

This approval is per the approved site plans, Exhibits C-1 through C-16, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 20-120106 DZ." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

Staff Planner: Hillary Adam

Decision rendered by:  **on April 29, 2020**

By authority of the Director of the Bureau of Development Services

Decision mailed: May 6, 2020

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on February 19, 2020, and was determined to be complete on March 30, 2020.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on February 19, 2020.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: July 28, 2020.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed, and if appealed a hearing will be held. The appeal application form can be accessed at <https://www.portlandoregon.gov/bds/45477>. Appeals must be received by 4:30 PM on May 20, 2020. **Towards promoting social distancing during the COVID-19 pandemic, the completed appeal application form must be e-mailed to BDSLUSTeamTech@portlandoregon.gov and to the planner listed on the first page of this decision.** If you do not have access to e-mail, please telephone the planner listed on the front page of this notice about submitting the appeal application. **An appeal fee of \$250 will be charged.** Once the completed appeal application form is received, Bureau of Development Services staff will contact you regarding paying the appeal fee. The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations for the appeal of Type II and Ix decisions on property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Please contact the planner listed on the front page of this decision for assistance in filing the appeal and information on fee waivers. Please see the appeal form for additional information.

If you are interested in viewing information in the file, please contact the planner listed on the front of this decision. The planner can provide some information over the phone. Please note that due to COVID-19 and limited accessibility to files, only digital copies of material in the file are available for viewing. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at <https://www.portlandoregon.gov/citycode/28197>.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **May 21, 2020** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

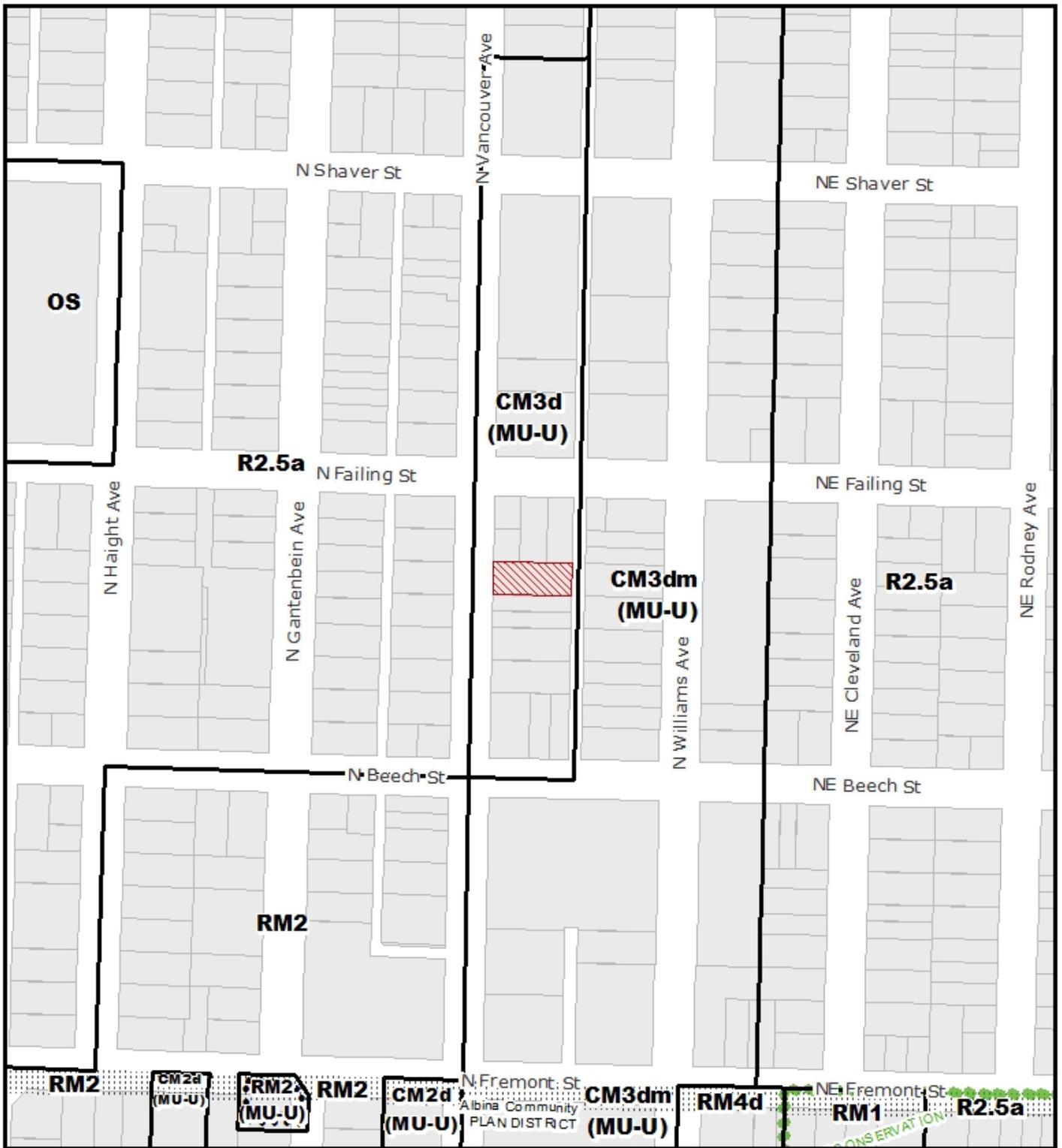
Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS
NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
 - 1. Narrative
 - 2. Original Drawings
 - 3. Completeness Response, dated March 23, 2020
 - 4. Revised Drawing Set
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Site Elevations
 - 3. First Floor Plan
 - 4. First Floor Mezzanine Floor Plan
 - 5. Second Floor Plan
 - 6. Second Floor Mezzanine Plan
 - 7. Roof Plan
 - 8. West Elevation (attached)
 - 9. South Elevation (attached)
 - 10. East Elevation (attached)
 - 11. North Elevation (attached)
 - 12. Details
 - 13. Materials
 - 14. Landscape Plan
 - 15. Landscape Renderings
 - 16. Existing Survey
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Bureau of Transportation Engineering and Development Review
 - 2. Bureau of Environmental Services
 - 3. Fire Bureau
 - 4. Site Development Review Section of BDS
 - 5. Life Safety Division of BDS
- F. Correspondence:
 - 1. M. Huffman, on April 22, 2020, wrote noting a preference for keeping the large diameter Douglas Fir tree in their backyard at 104 N Failing Street.
- G. Other:
 - 1. Original LU Application
 - 2. Incomplete Letter, dated March 4, 2020

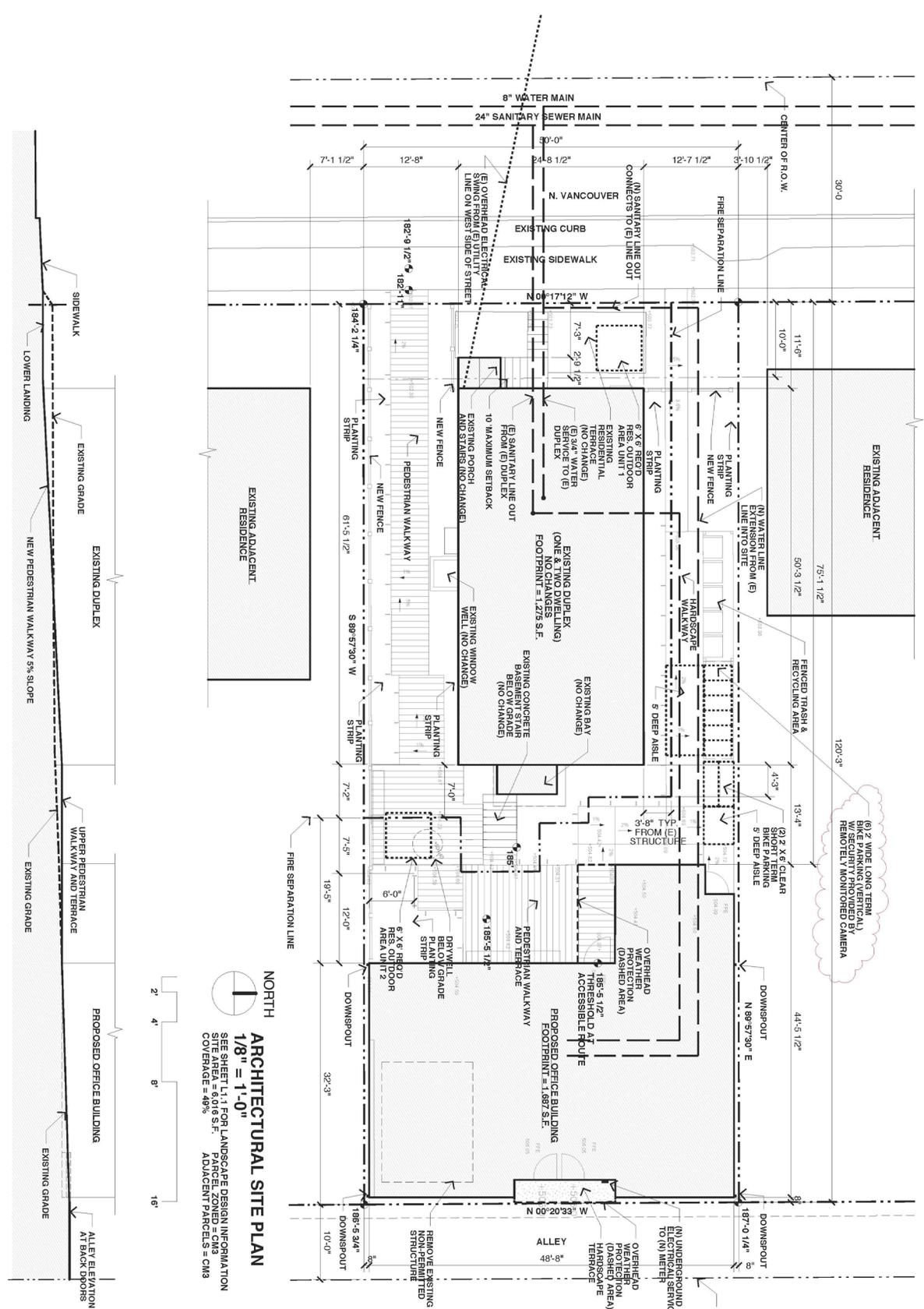
The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING



File No.	LU 20 - 120106 DZM
1/4 Section	2630
Scale	1 inch = 200 feet
State ID	1N1E22DC 12000
Exhibit	B Mar 31, 2020



CROSS SECTION AT WALKWAY
 1/8" = 1'-0"
 LU 20-120106 DZM C-1

A1.1

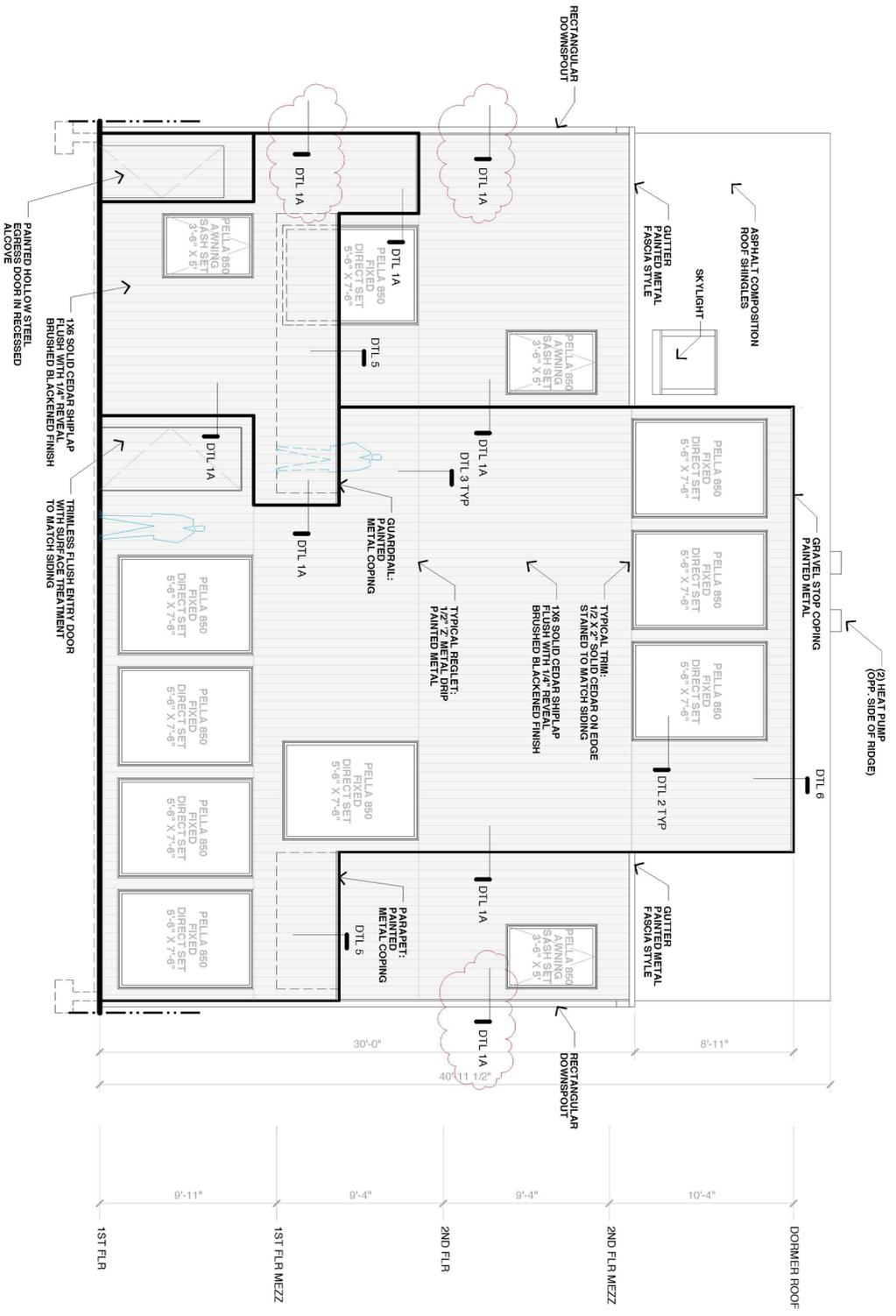
ARCHITECTURAL SITE PLAN
 1/8" = 1'-0"
 SEE SHEET L1.1 FOR LANDSCAPE DESIGN INFORMATION
 SITE AREA = 6,016 S.F.
 COVERAGE = 49%
 ADJACENT PARCELS = C/M3

Office for Double Double LLC
 3618 North Vancouver Avenue
 Portland Oregon 97227

1500 SW 11th Avenue
 No 2004
 Portland Oregon
 97205
 bee@skidmore.com



Recorded:
 MAR 20 2020
 Revision:



**EXTERIOR ELEVATION
WEST (FACING N. VANCOUVER)
1/4" = 1'-0"**

LU 20-120106 DZM C8

A4.1

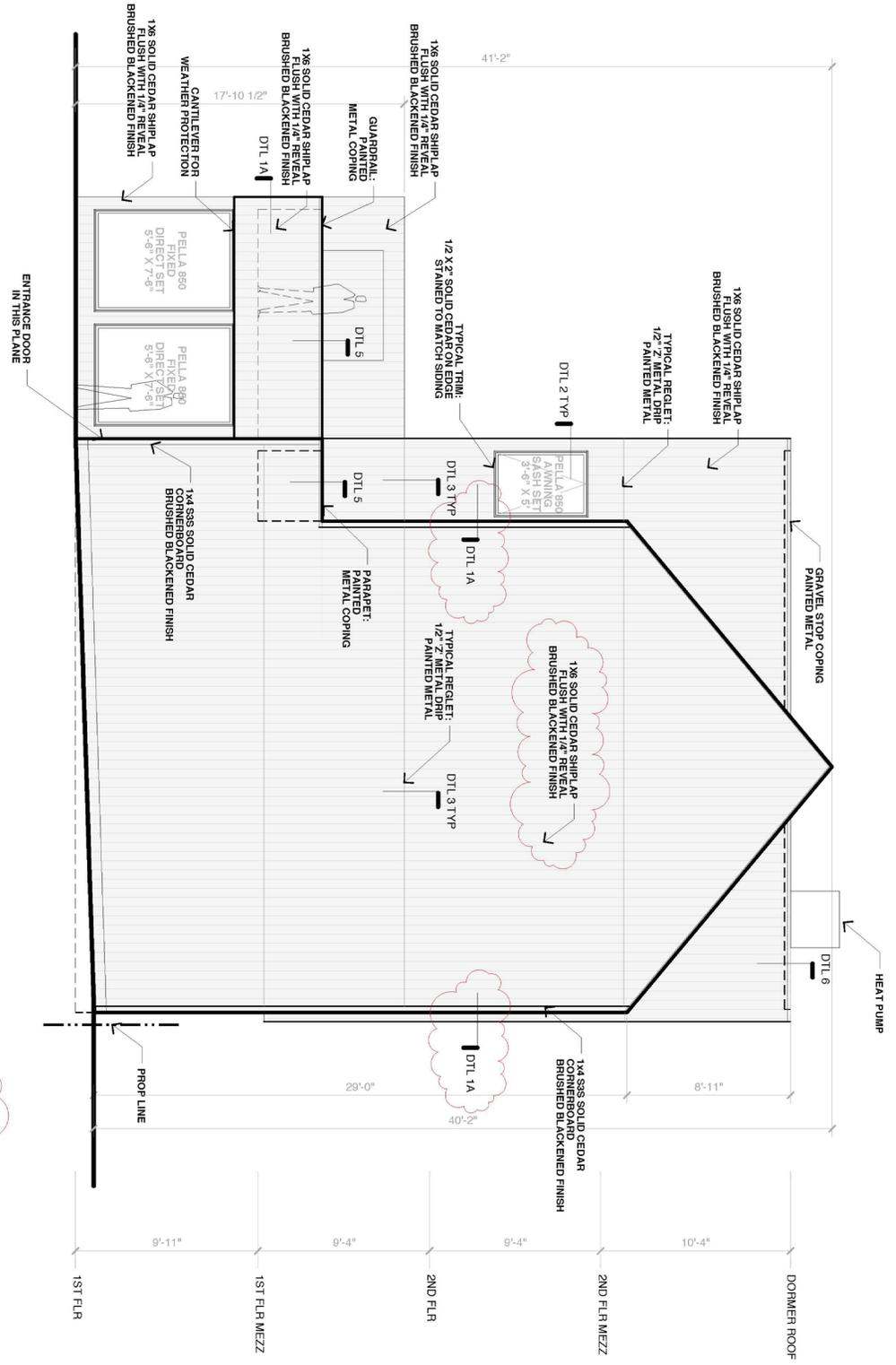
Issued:
MAR 20 2020
Revisions:

Office for Double Double LLC
3818 North Vancouver Avenue
Portland Oregon 97227

SKID-BEEBEMORE is a registered trademark of SKID-BEEBEMORE LLC. All other trademarks are the property of their respective owners. © 2020 SKID-BEEBEMORE LLC. All rights reserved. This drawing is the property of SKID-BEEBEMORE LLC and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of SKID-BEEBEMORE LLC.

(503) 222-6580
1500 SW 11th Avenue
No 2004
Portland Oregon
97201
beebeskidmore.com





EXTERIOR ELEVATION SOUTH (FACING PROP. LINE)
 1/4" = 1'-0"

LU 20-120106 DZM C9

A4.1

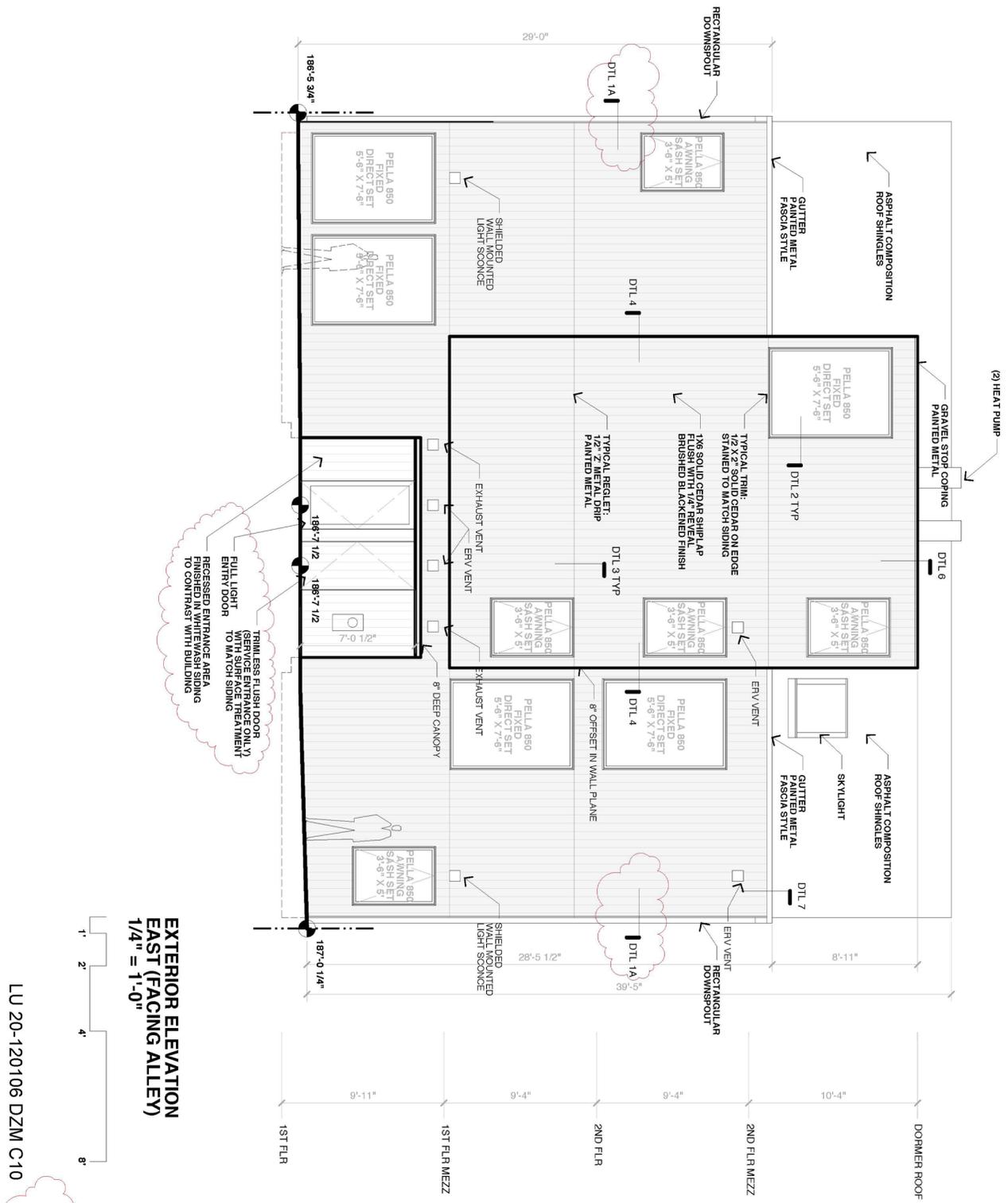
Island:
 MAR 20 2020
 Revisions:

Office for Double Double LLC
 3818 North Vancouver Avenue
 Portland Oregon 97227

Architectural project information:
 Name: Double Double LLC
 Address: 3818 North Vancouver Avenue
 City: Portland, Oregon
 State: Oregon
 Zip: 97227
 Phone: (503) 222-6580
 Website: www.officedouble.com
 Project Name: LU 20-120106 DZM C9
 Project Location: 3818 North Vancouver Avenue
 Project Description: Exterior Elevation South (Facing Prop. Line)
 Project Status: In Progress
 Project Start Date: 03/20/2020
 Project End Date: 03/20/2020
 Project Manager: [Name]
 Project Architect: [Name]
 Project Designer: [Name]
 Project Engineer: [Name]
 Project Consultant: [Name]

(503) 222-6580
 1500 SW 11th Avenue
 9000 N
 Portland Oregon
 97201
 bebeskidmore.com





**EXTERIOR ELEVATION
EAST (FACING ALLEY)
1/4" = 1'-0"**



LU 20-120106 DZM C10

A4.3

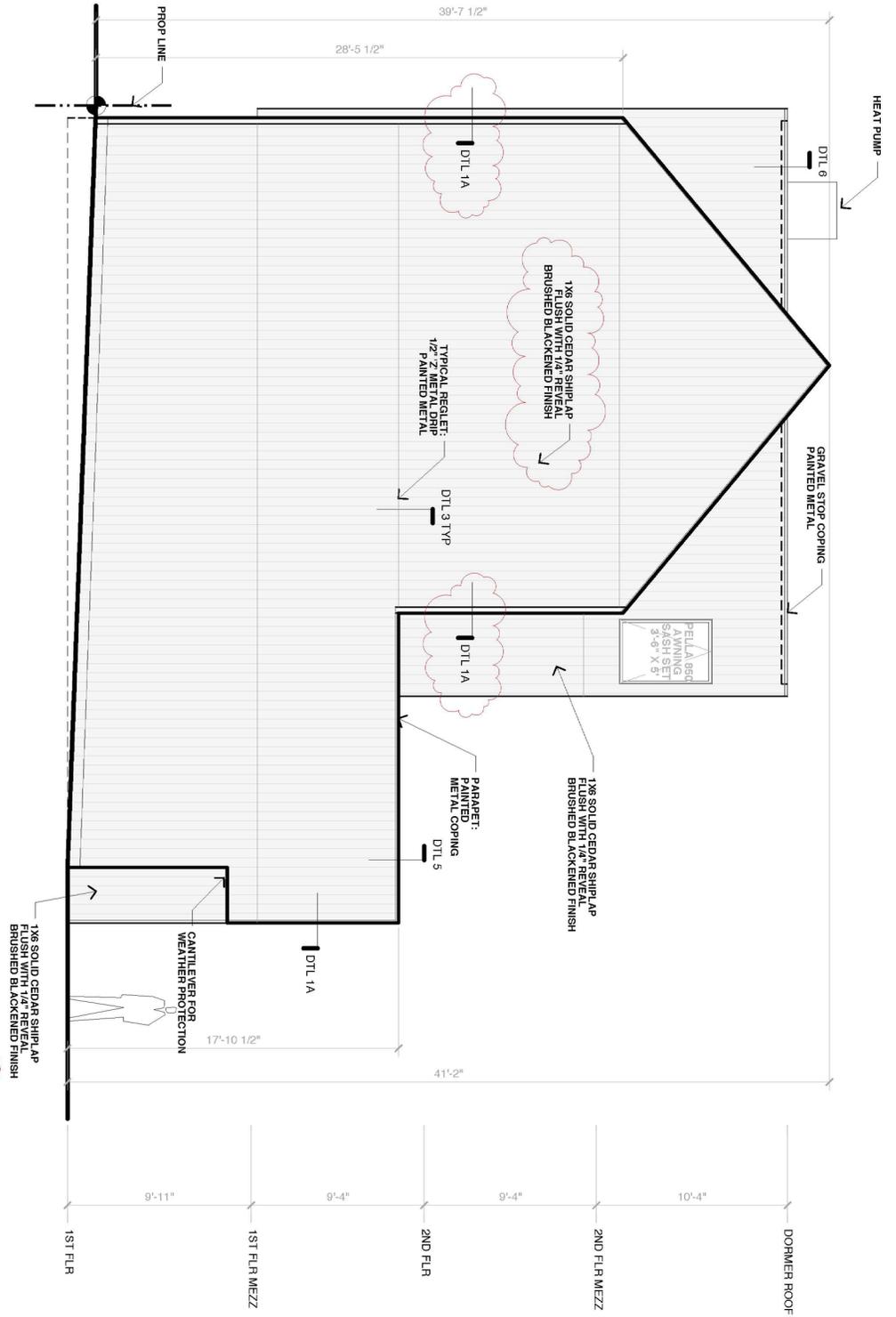
Issued:
MAR 20 2020
Revisions:

Office for Double Double LLC
3818 North Vancouver Avenue
Portland Oregon 97227

Advanced Project Registration
Bees Beskin Moore LLC
1500 SW 11th Avenue
Portland, Oregon 97201
503.222.6580
beesbeskinmoore.com

1500 SW 11th Avenue
Rm 2004
Portland Oregon
97201
beesbeskinmoore.com





EXTERIOR ELEVATION NORTH (FACING PROP. LINE)
 1/4" = 1'-0"

LU 20-120106 DZM C11

A4.4

Issued: **MAR 20 2020**
 Revisions:

Office for Double Double LLC
 3818 North Vancouver Avenue
 Portland Oregon 97227

Architectural drawings are prepared by the architect and are not to be used for construction without the architect's approval. The architect is not responsible for the accuracy of the information provided in this drawing. The architect is not responsible for the accuracy of the information provided in this drawing. The architect is not responsible for the accuracy of the information provided in this drawing.

(503) 222-6580
 1500 SW 11th Avenue
 No. 2004
 Portland Oregon
 97201
 beebeskidmore.com

