



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

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**FINAL FINDINGS AND DECISION BY THE LANDMARKS COMMISSION RENDERED ON July 13, 2020**

**CASE FILE NUMBER: LU 20-124442 HRM AD**  
**PC # 19-210336**  
**Benson High School Modernization**

**BUREAU OF DEVELOPMENT SERVICES STAFF:** Grace Jeffreys 503-823-7840 /  
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**FINAL DECISION BY THE HISTORIC LANDMARKS COMMISSION**

The Historic Landmarks Commission has **approved** a proposal in your neighborhood. This document is only a summary of the decision. The reasons for the decision, including the written response to the approval criteria and to public comments received on this application, are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

**GENERAL INFORMATION**

**Applicant:** Joseph Echeverri | Bassetti Architects  
721 NW 9th Ave #350 | Portland OR 97209  
[jecheverri@bassettiarch.com](mailto:jecheverri@bassettiarch.com) | 503-224-9162 x207  
Catherine Corliss, Angelo Planning Group  
921 SW Washington St., Suite 468 | Portland OR 97205  
Matthew Davis | Architectural Resources Group  
720 SW Washington Street Suite 300 | Portland OR 97205

**Owners Agent:** Jen Sohm | Portland Public Schools  
501 N Dixon St. | Portland OR 97227  
[jsohm@pps.net](mailto:jsohm@pps.net) | 503-936-4112

**Owner:** School District No 1  
PO Box 3107, Portland, OR 97208-3107

**Site Address:** 546 NE 12TH AVE

**Legal Description:** BLOCK 145-148&165&166 TL 1400, HOLLADAYS ADD; BLOCK 7&8&11&12 TL 800, LYDIA BUCKMANS ADD

**Tax Account No.:** R396208880, R517500800

**State ID No.:** 1N1E35BD 01400, 1N1E35DB 00800

**Quarter Section:** 2931, 2932, 3031, 3032

**Neighborhood:** Kerns, contact Jesse Lopez at kernslanduse@gmail.com  
**Business District:** None  
**District Coalition:** Southeast Uplift, contact Leah Fisher at 503-232-0010x313.  
**Plan District:** None  
**Other Designations:** The Building is considered a Local Historic Landmark.

**Zoning:** EX (IC), Central Employment with Historic Resource Protection Overlay  
**Case Type:** HRM,AD, Historic Resource Review with Modification and Adjustment reviews  
**Procedure:** Type III, with a public hearing before the Landmarks Commission. The decision of the Landmarks Commission can be appealed to City Council.

**Proposal:**

The applicant seeks **Historic Resource Review** approval for exterior alterations and new construction to Benson Polytechnic High School, considered a Portland Historic Landmark.

Generally: This proposal includes:

- The removal of contributing and non-contributing fabric;
- The renovation of remaining fabric;
- New 2-story additions with approximately 165,000 square feet of new floor area, with a final total project size of approximately 379,000 SF;
- A reduction in parking on the main site from 67 spaces to 18 spaces; and,
- The enhancement of exterior spaces.

In more detail: This proposal includes:

The removal of contributing and non-contributing fabric:

- 1917 North Shop wing, with North façade wall to remain (contributing fabric);
- 1918 South Shops wing, with South façade wall to remain (contributing fabric);
- 1953 Library Science Addition (non-contributing fabric); and
- 1953 Aeronautics/Automotive (non-contributing fabric).

The renovation of remaining fabric:

- 1916 Main Administration Building (contributing fabric);
- 1917 Foundry (contributing fabric);
- 1925 Old Gymnasium (contributing fabric);
- 1930 Auditorium (contributing fabric);
- 1964 Gymnasium (non-contributing fabric);
- 1991 Library Addition (non-contributing fabric); and
- 1992 KPBS Building, Shops (non-contributing fabric).

New 2-story additions with approximately 165,000 square feet of new floor area, with a final total project size of approximately 379,000 SF;

A reduction in the parking:

- Existing. There is currently a total of approximately 67 parking spaces on the main site and 154 parking spaces on the adjacent parking lot parcel for a total of 221 between the two parcels.
- Proposed. The number of parking spaces will be reduced to approximately 18 spaces on the main site (exclusive of maintenance and delivery vehicle parking) and approximately 112 spaces on the adjacent site when designed for a new building, for an anticipated total of 130 parking spaces.

The enhancement of exterior spaces:

- The existing historic west entry lawn
- A new central social courtyard

- A new east CTE work courtyard

Additional Requests:

The following **Modifications** have been requested:

1. Superblock Requirements (33.140.310/ 33.293.030.A.1). To reduce the amount of required vacated area to be walkways, landscaped areas, public plazas and public atrium from 50 percent to 26 percent.
2. Superblock Requirements (33.140.310/ 33.293.030.B.3). To not provide the required connection through the site from north to south.
3. Parking Lot Landscaping (33.266.130.G). To reduce the width of the required parking lot landscaping at the southeast parking lot from 5 feet to 3 feet and to not be landscaped to the full L3 standards.
4. Size of bicycle parking (33.266.220.C.3.b). To reduce the size of the required bicycle parking spaces from 2 feet x 6 feet to 1 foot, 6 inches x 6 feet.
5. Sign standards (32.32.020.A). For the Scoreboard Sign, to increase the Maximum Area Per Sign allowance from 200 to 285 square feet.
6. Sign standards (32.32.030.D). For the site, to increase the size of the changing image area from 20 to 105 square feet. (Modification would allow scoreboard sign, which has 87.7 square feet of changing image area. The site also includes a Welcome sign at corner of 12th and Irving, which has 17.3 square feet of changing image area).
7. Sign standards (32.32.030.F.2). To locate a freestanding sign on a non-arterial frontage (one Welcome sign on NE 15<sup>th</sup> Ave.).
8. Sign standards (32.32.030.F.2). To locate a freestanding sign on a non-arterial frontage (Scoreboard sign on pedestrian path).

The following **Adjustment** has been requested:

1. Minimum Bicycle Parking (33.266.210; Table 266-6). To reduce the number of required long term bicycle spaces from 400 covered spaces to 202 covered spaces and 50 uncovered spaces.

Non-conforming Upgrades. Because the existing parking lot south of NE Glisan is considered part of the “site” for this review, Non-conforming upgrade requirements of 33.258.070.D.2 will be triggered. The applicant has advised that they intend to meet these requirements through Option 2, per 33.258.070.D.2.d.(2), which allows the required improvements to be made over several years, based on the compliance period identified in Table 258-1.

A Historic Resource Review is required because Benson Polytechnic High School is a designated City Landmark, so is subject to the review thresholds of Table 846-1 Procedure Types for proposals affecting Historic Landmarks (33.846.060, Title 33, Zoning Code). Table 846-1 requires a Type III Historic Resource Review for non-exempt exterior and interior alteration or historic restoration proposals with a project value over \$481,300. Modification and Adjustment Reviews are required because the applicant is requesting to not meet development standards indicated above.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- 33.445, Historic Resource Protection Overlay Zone
- 33.846, Historic Reviews
- 33.846.060.G Other Approval Criteria
- 33.846.070 Modifications Considered During Historic Resource Review
- 33.805.040 Adjustment Approval Criteria

## ANALYSIS

### Site and Vicinity:

The site consists of two properties. A 319,500 square-foot parcel is located on the south side of NE Irving Street, between NE 12th and NE 15th Avenues and NE Irving Street and a 65,248-square-foot parcel is located at the southwest corner of NE 16th and NE Glisan Street. This larger parcel contains the main campus with a high school building that was constructed in 1916 and is designated as a historic landmark. The second parcel, located to the south and east of the main campus, is developed with a parking lot. Abutting the site, to the south is a City of Portland public open space (Buckman Field). Immediately to the north, there is a commercially zoned and developed area, and beyond that is the I-84 freeway. The area to the west of the site consists of industrially developed lands. To the east, there are commercial uses, between NE 15th and NE 16th Avenues. Farther to the east and to the southeast of NE 16th and Glisan, there are multi-dwelling uses.

The surrounding streets are classified in the City's Transportation System Plan as follows:

- NE 12th Ave: Transit and Traffic Access Street, City Walkway and Bikeway, and Traffic Access
- NE Irving: Neighborhood Collector Traffic Street, City Bikeway, and Local Service for other modes.
- NE 15th Ave: Local Service for all modes.
- NE 16th Ave: City Bikeway and Local Service for other modes.
- NE Glisan: Local Service for all modes.
- NE Flanders: Local Service for all modes.

**Zoning:** The Central Employment (EX) zone allows mixed uses and is intended for areas in the center of the City that have predominantly industrial-type development. The intent of the zone is to allow industrial and commercial uses which need a central location. Residential uses are allowed but are not intended to predominate or set development standards for other uses in the area.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in the region and preserves significant parts of the region's heritage. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region's citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

**Land Use History:** City records indicate that prior land use reviews:

- LU 64-001314 CU (CU 027-64) 1964 approval of a Conditional Use Review to construct a new gymnasium.
- LU 64-003202 CU (CU 085-64) 1964 approval of a Conditional Use Review to construct a parking area with the condition that it be screened in accordance with code.
- LU 72-002557 CU (CU 064-72). 1972 approval of a Conditional Use Review to construct indoor tennis courts.
- LU 85-003304 CU (CU 088-85). 1985 approval of a Conditional Use Review to install a scoreboard at Buckman Field.
- LU 89-021643 MP (MP 79-89). 1989 approval of a 2-lot partition.
- LU 89-005677 (LUR 89-005677 HL) 1989 approval of designation of the high school building as a historic landmark.
- LU 90-000902 CU (CU 014-90). 1990 approval of a Conditional Use Review for a 48,000-square-foot addition and 34,000-square-foot remodel of Benson High School and parking

lot expansion. Conditions included a 4' fence along the perimeter of the parking lot and internal landscaping shall be provided.

- LU 91-008370 CU (LUR 91-008370). 1991 approval of a Conditional Use Review to allow construction of a 7,200 square-foot, one-story brick structure for KBPS radio.
- LU 97-014571 (LUR 97-00525). 1997 approval of Historic Design Review for removal of exterior stairs, construction of new exit stair, new overbuilt roof, and four roof drains.
- LU 10-179096 CU. 2010 approval of Conditional Use Review to allow the installation of lighting at Buckman Field, with a condition to meet the L2 standard at the north and east perimeters of the parking lot. Additional landscaping may be needed in the future to bring the landscaping into conformance with parking lot landscape standards.
- LU 11-142581 CU. 2011 approval of Conditional Use Review to allow the Day and Residential Treatment (DART) program for sixth through eighth grade students at Benson High School.
- LU 13-149877 AD. 2013 approval of an Adjustment Review to decrease the minimum setback on a transit street from 25 feet to 4 feet 6 inches, for an air-supported bubble over outdoor tennis courts, subject to conditions requiring planting of vines along the chain link fences and at least one evergreen tree at the southwest corner of the proposed bubble.

**Agency Review:** A “Notice of proposal in Your Neighborhood” was mailed **June 23, 2020**. The following Bureaus have responded with no issue or concerns:

- Bureau of Environmental Services, Ella Indarta, June 17, 2020 (Exhibit E-1). With no concerns.
- Bureau of Transportation Engineering, Fabio de Freitas, June 30, 2020 (Exhibit E-2). With no concerns. PBOT also has no objections to the applicant’s requested bike parking Adjustment and Modification.
- Life Safety Section of BDS, Gail Knoll, June 15, 2020 (Exhibit E-3). With no concerns.
- Fire Bureau, Dawn Krantz, June 9, 2020 (Exhibit E-4). With no concerns.
- Site Development Section of BDS, Jeff Duquette, June 23, 2020 (Exhibit E-5). With no concerns.
- Bureau of Parks-Forestry Division, Dan Gleason, June 23, 2020 (Exhibit E-6).
- Life Safety Section of BDS, Gail Knoll, June 15, 2020. (Exhibit E-7). With no concerns.
- Water Bureau, Michael Puckett, June 2, 2020. No concerns noted.

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on **June 23, 2020**. One written response has been received from either the Neighborhood Association or notified property owners in response to the proposal.

- Frances Gates, June 26, 2020, wrote querying whether art that promotes diversity will be included, and concern about careless driving by students.

*Staff Response: These concerns stretch beyond the scope of the approval criteria for this Historic Resource Review. BDS Staff forwarded these concerns to Jen Sohm, PPS, listed on page one as the Portland Public Schools contact. See Exhibit H.2 for PPS reply.*

## PROCEDURAL HISTORY

**Early Assistance Meeting: EA 16-155128 APPT** (Exhibit G3).

Early Assistance Appointment to discuss master planning for modernization of, and addition to, the existing Benson Polytech High School Campus.

**Briefing to the Landmarks Commission: May 9, 2016.**

The Commission expressed a preference for Option A, which showed the (1917) north and (1918) south wings to remain, provided the upper level additions were set back from the building edges and architecturally compatible. They also offered other suggestions, including suggesting that the rear façade of the original building be exposed (either in an interior or exterior court) so that the rear façade could be seen, and activating rooftop areas where

additions are set back from the building edge, particularly where views toward Buckman Field may be provided (From EA 16-155128 APPT).

**Second Briefing to the Landmarks Commission: September 11, 2017** (Exhibit G4).

The Commission noted the importance of the rear courtyard and the shop wings due to the industrial arts nature of Benson. Concern was expressed over the complete loss of the three walls with fan lights surrounding the east courtyard and encouraged these walls to remain and be integrated into the final design. Also discussed was how the school could better engage the athletic fields to the south.

**Early Assistance Meeting: EA 19-139545 APPT: May 9, 2019** (Exhibit G5).

Issues included whether a Type IV demolition review would be needed, and concerns with the loss of the south wing and relationship to the park to the south. Staff later confirmed that BDS consider removal of two shop wings a “demolition”, as they are an integral part of the Technical & Academic mission of Benson. A Type IV Demo Review will not be triggered under 33.445.150.A. Demolition review; however, as the site is not listed in the National Register nor is there a covenant with the City in place.

**Design Advice Request (DAR #1): EA 19-191986 DA: August 26, 2019** (Exhibit G6).

Commission feedback included:

Generally:

- Preservation. The preservation of historic fabric is important to maintain the character of the resource.
- Shop Wings. The complete removal of the two historic shop wings was not shown to meet the approval criteria. More analysis is needed to show why these historic wings require replacement and how the replacement proposal meets the approval criteria.
- Insertions. Insertions into existing fabric, such as new doors and windows, should not stand out.
- Gaskets. The gaskets work well to serve as transitional elements between historic and new elements. They are the most successful when well-glazed.
- New construction. The new construction needs to show greater compatibility and a sense of craft to respond to the existing historic fabric.

Specifically:

- West Courtyard. The design is in keeping with the formal character of the front entrance. Use the sloped grass to reduce amount of railings.
- East Façade of Main Admin building. The opening and restoration of the east façade of the main administration building to the new central commons helps support the historic fabric.
- North Shop Wing. The retention and reuse of the north façade could be successful if fabric above is set back and has a stronger relationship proportionally.
- South Shop Wing. The south façade appears to retain most of its integrity, and at a minimum should be maintained.
- East Courtyard. The design of the east courtyard needs to function as a stronger overall organizing element and create a stronger link to the central commons.
- South Walkway. A stronger connection from the east to the south walkway is needed.

**Early Assistance Pre-Application Conference (PC): EA 19-210336 PC: September 5, 2019** (Exhibit G7).

Refer to the Design Advise Request summary above for issues.

**Design Advice Request (DAR #2): EA 19-230402 DA: November 18, 2019** (Exhibit G8).

Commission feedback included:

- West Courtyard. Support of the West Courtyard design.
- Materials. Support of the use of brick, reduction of terracotta panel sizes, and proportionality of windows (but lites should be more vertical than square).

- Library. Support of the quiet, simple design of the new library infill, but more depth is needed to express the strong vertical rhythm of the adjacent historic narrow windows and brick piers.
- East Courtyard. A stronger pedestrian emphasis is needed and stronger links to the central commons.
- SE 15th. Create a more friendly pedestrian frontage and entry sequence at NE 15th to better serve those entering the campus from the neighborhood to the east.
- South Wing. Concerns with complete removal of the South Wing and loss of historic character, as they are an integral part of the Technical & Academic mission of Benson.
- South Walkway. Support of the separation of the pedestrian path (and fire lane) from the south parking area. The Commission encouraged further attention be paid to compatibility with existing historic fabric.
- Generally. If the ground level is more responsive to the historic fabric, a more “high tech” second story above historic facades could give that sense of modern beyond the historic. It will, however, be important to maintain overall building continuity and coherency.

**Land Use Application LU 20-124442 HRM, AD: Submitted on February 28, 2020** (Exhibit G1). Deemed complete on May 22, 2020.

**Historic Landmarks Commission Hearing: July 13, 2020:**

Commission supported the design and Staff Report of approval with the additional condition of approval (see conditions of approval D - H).

## ZONING CODE APPROVAL CRITERIA

### (1) HISTORIC RESOURCE REVIEW (33.846)

#### **Purpose of Historic Resource Review**

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

#### **Historic Resource Review Approval Criteria**

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all the approval criteria have been met.

**Findings:** The site is a designated Historic/Conservation Landmark outside the Central City Plan District and not within in a Historic or Conservation District, and the proposal is for non-exempt treatments. Therefore, the proposal requires Historic Resource Review approval. The approval criteria are those listed in 33.846.060 G – Other Approval Criteria.

*Staff has considered all the approval criteria and addressed only those applicable to this proposal.*

### **33.846.060 G - Other Approval Criteria**

**1. Historic character.** The historic character of the property will be retained and preserved. Removal of historic materials or alteration of features and spaces that contribute to the property's historic significance will be avoided.

**Findings:** The history, significance, and character-defining features of Benson Polytechnic High School are summarized on pages C.11-C.13 (Exhibit C). A designated local historic landmark, Benson is significant for its association with the development of east Portland and with the expansion of higher education, especially industrial arts education, in the 1910s. The campus is also significant as an example of architect F.A. Naramore’s work completed in the Classical Revival style.

Building A (Auditorium), Building E (Main Building), and Building G1 (Old Gymnasium) are the historic front of the campus and are being preserved, with exterior character-defining features retained. Building D (Foundry), a distinctive two-story building at the rear corner of the property, is also being preserved. As described below under Criteria 4 and 5 below, the condition of the exterior character-defining features of these buildings has been carefully assessed and these features will be repaired where needed or replaced in-kind where the extent of deterioration makes repair infeasible. (Building I (KBPS Radio Building), though not historic, is also being retained.)

In addition, the north wall of Building C (North Wing) and the south wall of Building H (South Wing) are being preserved. Retention of these walls helps to maintain the historic appearance of the campus from the north and south. While the north and south wings were an important part of the facility's historic operation, their partial removal will not cause the entire Benson property to lose its historic, cultural or architectural significance. In the 2009 Entrix survey, the Main Building, Auditorium and Old Gymnasium were classified as contributing "high significance", while the north and south wings were found to be contributing "moderate significance". The Landmarks Commission, at the first DAR, considered this and noted that the wings, although noted as of "moderate significance", are still considered "significant" and therefore are important elements of the resource. These technical wings are an integral part of the Technical & Academic mission of Benson, and the design must continue the story of the school, and provide a continuum of use, organization, material, scale of material and detail (EA 19-191986 DA: November 18, 2019). While they have undergone extensive interior alterations, most of the exterior historic fabric remains. By maintaining the most public facades of these wings, the north elevation of the north wing facing SE Irving, and the south elevation of the south wing facing Buckman Field, this history is recognized. In addition, the new construction is being set back at the second floor so as not to obscure the historic configuration of these façades.

With the proposed changes, the historic significance of the campus will continue to be demonstrated through the retention and careful rehabilitation of the Main Building, the Auditorium, and the Old Gymnasium, the three buildings on campus that were classified as "contributing high significance" in the 2009 Entrix report, as well as through retention of the most public aspects of the north and south wings.

Apart from the removal of most of the north and south wings, buildings to be removed are limited to non-contributing buildings, including Buildings B (Library), F1 (Library Science Addition), F2 (Boiler Room/Restrooms), and J (Aeronautics/Automotive Shops).

*This criterion is met.*

**2. Record of its time.** The historic resource will remain a physical record of its time, place, and use. Changes that create a false sense of historic development, such as adding conjectural features or architectural elements from other buildings will be avoided.

**Findings:** No addition of conjectural features or architectural elements from other buildings is proposed. New construction will be clearly differentiated from existing buildings so as not to create a false sense of historic development (see discussion under Criterion 7).

*This criterion is met.*

**3. Historic changes.** Most properties change over time. Those changes that have acquired historic significance will be preserved.

**Findings:** Construction of the Benson campus began with the completion of the Main Building, North Wing and Foundry in 1917, followed by addition of the South Wing (1918), original Gymnasium (1925) and Auditorium (1929). ARG concluded that Benson's period of significance extends from 1917 to 1929, corresponding to the years during which PPS architect F.A. Naramore's plan for the school was implemented. Later construction, beginning with Buildings F1 and J in 1953, adhered neither to Naramore's plan nor to the Classical Revival style of the original campus, and none of the buildings or features added to the campus after 1929 have been deemed historically significant. As a result, the project does not propose removal of any changes to the property that have acquired significance.

*This criterion is met.*

**4. Historic features.** Generally, deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature will match the old in design, color, texture, and other visual qualities and, where practical, in materials. Replacement of missing features must be substantiated by documentary, physical, or pictorial evidence.

**Findings:** The historic buildings and elements that are being retained have been painstakingly assessed to determine the necessary scope and extent of needed repairs and replacements. In accord with this criterion, historic features will be repaired where needed or replaced in-kind where the extent of deterioration makes repair infeasible.

The applicant has advised that, where replacement of a material is required, every effort will be made to salvage existing materials from demolished areas, in particular brick from the South elevation of Building C (North Wing). All existing historic windows along the public right-of-way at Buildings A (Auditorium), C (North Wing), D (Foundry), E (Main Building) and G1 (Old Gymnasium) will be protected and repaired. Where possible, existing historic windows will be salvaged from demolished facades (particularly the east wall of Building C) and installed in reclaimed openings at the north elevation of Building C and the west elevation of Building D, in locations that have previously been modified from their original configuration. Typical window conditions, and anticipated repairs are outlined on sheet H5.30 (Exhibit C.100).

Very few historic exterior doors remain, however those that have been found to be in very good condition require only minor repairs or modifications to the hardware to accommodate code requirements for accessibility. Door repairs and modifications are outlined on sheets H5.10 and H5.11 (Exhibit C.100).

Specific restorative activities include:

#### Overall Rehabilitation Measures

##### All Façades

- Brick to be tuck-pointed, cleaned, and repaired.
- Terra cotta to be sounded, patched, cleaned, and refinished to match existing.
- Steel lintels above windows to be cleaned and painted.
- Existing damaged parapet cap flashing to be removed and replaced.
- Option: Remove parapet cap flashing and repair terracotta parapet caps North, West and East Façades
- Concrete parge coat below first floor to be sounded, patched, and refinished to match existing.

- Existing historic wood windows to be returned to proper working order, repainted and rehabilitated, including repairs to joinery and replacement of broken or missing hardware.
- Existing historic doors to be rehabilitated and repainted (north elevation only)

*References (Exhibit C.100): H5.10, H5.11 & H5.12 – door repair conditions; H5.30 – window repair conditions; H5.40 & H5.41 – Terra Cotta, Brick, and Concrete repair conditions.*

#### West Façade

Building A (Sheet H3.01 - Exhibit C.100)

- Existing historic doors to be rehabilitated and refinished.

Building E (H3.41 - Exhibit E)

- Non-historic hollow metal main entry doors to be replaced with new doors to replicate historic conditions.
- Skylights to be replaced with new Kalwall skylights, or similar, on re-built curbs. Abandoned skylight over library to be reopened to match historic condition.

Building G1 (Sheet H3.61 - Exhibit C.100)

- Missing windows at ground level to be replaced with fiberglass windows (with wood sash on interior) to match historic drawing proportions.
- Skylights to be retained or replaced in kind with new Kalwall skylights, or similar, on re-built curbs.

#### West Courtyard

Building A, South Elevation (Sheet H3.01 - Exhibit C.100)

- Steel windows to be rehabilitated and repainted, including replacement of broken or missing hardware, and returned to proper working order. Existing glazing to be replaced with laminated glazing with low-e coating.
- Existing historic doors to be rehabilitated and refinished.
- Non-historic door and window assembly at southwest theater entry to be replaced with windows to replicate historic condition.

Building G1, North Elevation (Sheet H3.61 - Exhibit C.100)

- Steel windows to be rehabilitated and repainted, including replacement of broken or missing hardware, and returned to proper working order. Existing glazing to be replaced with laminated glazing with low-e coating.
- Non-historic window and door assemblies at southwest, northwest and southeast gym entries to be replaced with windows to replicate historic condition.
- Non-historic exterior doors to be replaced with doors to match historic conditions.
- Skylights to be retained or replaced in kind with new Kalwall skylights, or similar, on re-built curbs.

#### North Façade

Building A (Sheet H3.01 - Exhibit C.100)

- Steel windows to be rehabilitated and repainted, including replacement of broken or missing hardware, and returned to proper working order. Existing glazing to be replaced with laminated glazing with low-e coating.
- Non-historic door at northwest theater entry to be replaced with a door to replicate historic condition.

Building C (Sheet H3.21 - Exhibit C.100)

- Non-historic doors to be replaced with relocated windows to match original fenestration.

- Historic windows to be relocated from demolished east elevation to north elevation and west elevation of Building D.

#### East Façade

Building D (Sheet H3.41 - Exhibit C.100)

- Non-historic exterior doors to be replaced with doors to match historic conditions.

#### South Façade

Building G1 (Sheet H3.61 - Exhibit C.100)

- Concrete parge coat below first floor to be sounded, patched, and refinished to match existing.
- Existing historic wood windows to be returned to proper working order, repainted and rehabilitated, including repairs to joinery and replacement of broken or missing hardware.
- Steel windows to be rehabilitated and repainted, including replacement of broken or missing hardware, and returned to proper working order. Existing glazing to be replaced with laminated glazing with low-e coating.
- Missing windows at ground level to be replaced with fiberglass windows (with wood sash on interior) to match historic drawing proportions.
- Non-historic window and door assemblies at southwest, northwest and southeast gym entries to be replaced with windows to replicate historic condition.
- Non-historic exterior doors to be replaced with doors to match historic conditions.
- Skylights to be retained or replaced in kind with new Kalwall skylights, or similar, on re-built curbs.

Building H (Sheet H3.81 - Exhibit C.100)

- Missing windows to be replaced with fiberglass windows (with wood sash on interior) to match historic drawing proportions.
- Missing doors to be replaced with new doors to match historic drawing proportions.
- Existing sheet metal parapet cover to be removed to expose brick parapet.

*This criterion is met.*

**5. Historic materials.** Historic materials will be protected. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used.

**Findings:** The project drawings submitted with this narrative illustrate current exterior conditions that have been identified for cleaning, repair or maintenance efforts. One of the key concepts and best practices for cleaning and repair of historic materials is to begin with the gentlest and least intrusive method first, increasing the strength or harshness of the treatment, if necessary, until the desired results are achieved.

The processes by which the buildings' exterior brick, terra cotta, and concrete will be cleaned and repaired are outlined on sheets H5.40 and H5.41 (Exhibit C.100). General cleaning of the building will be done with hot water and the application of a biocide solution to reduce the future occurrence of biological growth. Brick and terra cotta masonry will be tuck-pointed where existing mortar is missing or deteriorated. Significant cracks and spalls at the terra cotta will be patched to match the historic finish, with the intent to protect the materials, but not to return them to 'as-new' condition.

*This criterion is met.*

**6. Archaeological resources.** Significant archaeological resources affected by a proposal will be protected and preserved to the extent practical. When such resources are disturbed, mitigation measures will be undertaken.

**Findings:** No archaeological resources have been previously recorded within the proposed project area. However, the location of the project in the earliest settled part of Portland and its proximity to the Willamette River suggests that buried archaeological deposits may be present.

Portland Public Schools will retain on-call archaeological services for the project, who will prepare a project-specific inadvertent discovery plan that will include procedures to be followed if an archaeological resource is found during construction. In the event of a discovery, the consultant will assist in coordinating with the Oregon State Historic Preservation Office (SHPO) and will provide recommendations for evaluating the significance of the resource and mitigating impacts to the resource if it is significant and cannot be avoided.

*This criterion is met.*

**7. Differentiate new from old.** New additions, exterior alterations, or related new construction will not destroy historic materials that characterize a property. New work will be differentiated from the old.

**8. Architectural compatibility.** New additions, exterior alterations, or related new construction will be compatible with the resource's massing, size, scale, and architectural features. When retrofitting buildings or sites to improve accessibility for persons with disabilities, design solutions will not compromise the architectural integrity of the historic resource.

**Findings for 7 and 8:** New construction proposed for the Benson site can be broadly categorized as:

- **BUILDINGS:** Four new two-story buildings – Buildings B, C, F and H.
- **GASKETS:** At the north elevation, “gaskets” connecting new construction to Buildings A, D and the retained North Wing wall.
- **ENCLOSURE:** At the west elevation, enclosure of a second-floor walkway between Buildings E and G1.
- **COURTYARDS:** A new central social courtyard and modified east and west courtyards.

Each of these aspects of the project has been developed in such a manner that the new elements will be complementary to Benson’s historic features while clearly being differentiated from them.

Buildings. The overall design approach for the new buildings at Benson is summarized on page C.16 (Exhibit C.16):

“Proposed additions are organized in simple, modern masonry masses with structural bays stemming from the cadence of the historic structure. Low slope roofs behind parapets are common to old and new masses throughout the campus. New additions are clad in a deep charcoal-brown, flashed brick veneer in a running bond that compliments the historic brick. New white fiberglass windows and metal spandrel panels complement the historic wood windows in proportion, scale and color. A concrete base unites both old and new structures. The straightforward brick masses of new and old relate to terra cotta and glass gaskets – a modern response to the historic transitional elements.

“In lieu of the neo-classical detailing of the historic buildings, the modern additions are accented with climate responsive articulation. North facades have generous glazing to bring in abundant daylighting. East and west facades have large porches or vertical sunshades to temper the glare of low sun angles. New south facing roofs and

walls are graced with a solar trellis and photo-voltaic sunshades. These elements serve to generate electricity, moderate daylight, and help the building express itself as a teaching tool to advance the 21st century STEAM and CTE mission.

Canopies and a covered pavilion occupy the CTE courtyard to provide outdoor work areas for project-based learning. Green roofs and rain gardens illustrate storm water management lessons and the planting of over 40 trees across the campus adds a focus to biophilic awareness.”

In particular, the massing, cladding, and window configurations in the new construction have been carefully designed to be compatible with adjacent historic buildings while being unmistakably contemporary. In addition, at the north and south wings, second stories have been set back approximately 20 feet from the retained historic walls, to not obscure their extent.

Gaskets. Three gaskets along the north elevation have been designed to soften the transition from historic building to new construction. These gaskets are located between Buildings A and B, between Building B and the preserved north wall of Building C, and between Buildings C and D. These gaskets are composed of simple masonry cladding (terra cotta or large format brick) surrounding fixed plate glass windows and, in two cases, paired flush doors. These gaskets serve to differentiate new construction from existing by minimizing the removal of historical materials and by keeping the new library and wings physically separate from the existing historic wall facades.

Enclosure. An existing open-air, second-floor walkway between Buildings E and G1 will be enclosed to provide year-round protections from the elements. This walkway is at the south end of Building E’s west façade, above an existing entry. Installation of the walkway enclosure will not require removal of historic features. The façade of the enclosed walkway will consist of full height glazing that is set back from the historic brick wall and entry below. The fully glazed walkway enclosure will be clearly differentiated from the surrounding historic features, while being sufficiently transparent that it will not compete with those features visually.

Courtyards. The front (west) courtyard currently consists of a sloping lawn and pathways with stairs that do not provide disabled access to any of the school’s front entries. This courtyard has been redesigned to make all three front entrances, as well as entries to the Auditorium and Old Gymnasium, accessible without compromising the courtyard’s fundamental openness. Specifically, the plinth on which the building sits will be extended westward, connecting to arcing and diagonal paths that take the pedestrian from the sidewalk to accessible entries at the Main Building (Building E), Auditorium (Building A) and Old Gymnasium (Building G1). These pathways have been given a gradual slope in order to minimize the need for new railings. Because it is an important aspect of the school’s Classical Revival design, the courtyard’s wide, central pathway has been retained and incorporated into the new network of landscape pathways.

By removing the 1953 Shop Building, the proposed project will re-establish the H-shaped plan characteristic of the school at the end of its period of significance (1929). In addition, creation of a central Social Courtyard will enable greater appreciation of the Main Building’s east façade, which was modified in the 1950s. In particular, the incompatible windows on this elevation will be removed and the original fenestration patterns will be reestablished.

At the Historic Landmarks Commission Hearing held on July 13, 2020, the Commission found some minor elements needed further attention to meet the approval criteria. These include:

- In the West Courtyard, the external lighting posts focus the lighting on the central stairs, however, the lighting should equally illuminate the accessible side paths as well; therefore, a follow-up review is required.
- The late-added painted sign on the radio tower facing south towards Buckman Field needs to be assessed against development standards; therefore, a follow-up review is required.
- The fencing facing east towards NE 15th and south toward Buckman Field needs to provide a more detailed, crafted approach in response to the historic fabric and technical mission of the school; therefore, a follow-up review is required.
- On the south elevation of Building G2, the back face of the illuminated control joints is to be clad with brick to respond to the surrounding historic fabric.
- On the east elevation of the South Wing, the two-story solid brick wall is to have control joints to match those on the south elevation of building G2, without illumination, to respond to the surrounding historic fabric.

**To ensure that all parts of the new construction are compatible with the existing resource, the following five conditions of approval were added:**

- For the external lighting in the West Courtyard, a follow-up review is required.
- For the painted sign on the radio tower facing south towards Buckman Field, a follow-up review is required.
- For the fencing facing east towards NE 15th and south toward Buckman Field, a follow-up review is required.
- On the south elevation of Building G2, the back face of the illuminated control joints is to be brick.
- On the east elevation of the South Wing, the two-story solid brick wall is to have control joints to match those on the south elevation of building G2, without illumination.

*With these added conditions of approval, these criteria are met.*

**9. Preserve the form and integrity of historic resources.** New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic resource and its environment would be unimpaired.

**Findings:** The walkway enclosure proposed for the west façade has deliberately been designed so that it could be removed in the future without impact to the Main Building's existing historic features.

Similarly, removal of Buildings B, C, F and H and associated gaskets would not entail loss of any historic features associated with Buildings A, D, E and G1.

*This criterion is met.*

**10. Hierarchy of compatibility.** Exterior alterations and additions will be designed to be compatible primarily with the original resource, secondarily with adjacent properties,

**Findings:** Benson is not located within a Historic District or Conservation District, and compatibility of new construction is addressed above under Criteria 7/8. Proposed new construction is generally two stories in height and is generally compatible with the height and massing of adjacent buildings, including 1425 NE Irving Street, 1500 NE Irving Street, and 633 NE 12th Avenue.

*This criterion is met.*

## **(2) MODIFICATION REQUESTS (33.846)**

### **33.445.050 Modifications that Enhance Historic Resources and 33.846.070 Modifications Considered During Historic Design Review**

The review body may grant modifications to site-related development standards, including the sign standards of Chapters 32.32 and 32.34 of the Sign Code, as part of the historic design review process. However, modification to a parking and loading regulation within the Central City plan district may not be considered through the historic design review process.

Modifications made as part of historic design review are not required to go through a separate adjustment process. To obtain approval of a modification to site-related development standards, the applicant must show that the proposal meets the approval criteria.

Modifications to all other standards are subject to the adjustment process. Modifications that are denied through historic design review may be requested through the adjustment process.

The approval criteria for modifications considered during historic design review are:

- A. Better meets historic design review approval criteria.** The resulting development will better meet the approval criteria for historic design review than would a design that meets the standard being modified; and
- B. Purpose of the standard.**
  - 1. The resulting development will meet the purpose of the standard being modified; or
  - 2. The preservation of the character of the historic resource is more important than meeting the purpose of the standard for which a modification has been requested.

The following modifications are requested:

- 1. Superblock Requirements (33.140.310/ 33.293.030.A.1).** To reduce the amount of required vacated area to be walkways, landscaped areas, public plazas and public atrium from 50 percent to 26 percent.
- 2. Superblock Requirements (33.140.310/ 33.923.030.B.3).** To not provide the required connection through the site from the north to the south.

Purpose. The Superblocks chapter regulates the amount and location of open areas and walkways on large commercial sites where streets have been vacated. The intent is to promote a pleasant and convenient walkway and open area system on the superblock that links to the adjacent buildings, to the public circulation system, and to any available public transit. The requirements also promote the maintenance of light, air and access that could be lost due to development on the vacated street.

Requirement. Chapter 33.293 (Superblocks) establishes regulations that apply to all new development and major remodels which include 50,000 square feet or more of vacated street in the IR, C, EX, and CI zones outside of the Central City plan district.

Section 33.293.030.A.1 requires developments on superblocks to provide walkways, landscaped areas, and public plazas or public atriums with glazed ceilings within the superblock as follows:

- At least one public plaza or public atrium must be provided within the superblock equal to 5 percent of the total land area of the superblock, including the area of vacated streets. However, 20,000 square feet is the maximum area that is required for this plaza or atrium. The ratio of the length of the plaza or atrium to the width may not exceed 3 to 1.
- The total area of walkways, landscaped areas, public plazas, and public atriums must be at least 50 percent of the total area of the vacated streets within the superblock

Proposal. The Benson property is on a platted subdivision that includes several vacated streets totaling approximately 98,880 sf.

- Total BPHS Site SF (based on the property line) = 338,880 sf
  - 5% of the BPHS site area = 16,944 sf
  - The historic front plaza, which is 35,093 sf (14,289 sf of hardscape and 20,804 sf of landscape) meets this requirement.
- 338,880 sf (Site SF) – 240,000 sf (2x4x6x50x100) = approximately 98,880 sf (vacated street)
  - 50% of the vacated street area = approximately 49,440 sf
  - Total public open space (west courtyard and south edge highlighted in yellow on the figure) within vacated street = 25,749 sf = 26%
  - Total area of walkways, landscaped areas, public plazas, and public atriums within the BPHS super block = 64,220 sf = 19%
    - Total area of public walkways, public plaza and atriums (West courtyard, south pedestrian promenade, and East CTE hardscape) = 28,081 sf
    - Total public landscape areas (lawn, planting area and storm water area = 36,139 sf).

Section 33.293.030.B.3. requires that where the site lies between two parallel streets which were formerly connected by a vacated street, a walkway connecting the two parallel streets must be provided as a substitute for the vacated streets. In the case of the BPHS site that would mean the addition of a connection through the site from north to south.

**Findings for 1 and 2:** The property has been a superblock since the school was first developed, which began in 1917-1918 with construction of Building E (Main Building), Building C (North Wing), Building H (South Wing) and Building D (Foundry). Together, these buildings established a near-continuous street frontage along NE Irving Street, NE 12th Avenue, and the south edge of the campus (aligned with NE Glisan Street). These street frontages remain extant and will be maintained by the proposed project, which focuses new construction on the interior of the campus.

Reconfiguring the site to include the required walkways, landscaped areas, public plazas and public atriums and providing the required connection through the site from north to south would be highly disruptive to the historic character and functionality of a secure and cohesive campus. Specifically, by prioritizing compatibility with the surrounding street grid above preserving the property's historic character, such an approach would not meet the following historic resource review criteria:

1. *Historic character.*
2. *Record of its time.*
7. *Differentiate new from old.*
8. *Architectural compatibility.*
9. *Preserve the form and integrity of historic resources.*
10. *Hierarchy of compatibility.*

The proposed project will preserve historic site pedestrian experience and connections. The west entry courtyard will be revitalized with new plantings, ADA connections and site lighting, while respecting its classical symmetry and maintaining the historic berm and central stairway. Key historic site items such as the Benson bubbler and the memorial roses will be salvaged and reinstalled. The historic southern east-west promenade will be maintained as a community connection. This resource will be activated by welcoming signage at both ends, removal of parking, installation of safe walking surfaces, site lighting and plantings.

As such, the proposed project better meets the approval criteria for historic resource review than would a design that meets the standard being modified and the preservation

of the character of the historic resource is more important than meeting the purpose of the standard for which a modification has been requested.

*These criteria are met.*

**3. Parking Lot Landscaping (33.266.130.G).** To reduce the width of the required parking lot landscaping at the southeast parking lot from 5 feet to 3 feet and to not be landscaped to the full L3 standards.

Purpose. The purpose of the Development Standards for All Other Uses of 33.266.130, of which the parking area setbacks and landscaping requirements are a part, include:

- Improve and soften the appearance of parking areas
- Reduce the visual impact of parking areas from sidewalks, streets, and especially from adjacent residential zones
- Reduce the amount and rate of stormwater runoff from vehicle areas
- Reduce pollution and temperature of stormwater runoff from vehicle areas

Requirement. The proposed site plan will improve the southeast parking lot by enhancing circulation and safety and planting interior and perimeter landscaping. Section 33.266.130.G.2, Table 266-5 requires parking lots abutting an OS zone lot line to provide 5 feet of landscaping to the L3 standard. The area available for planting at this south perimeter is less than eight feet and the presence of mature trees along the Buckman Field Park property line both on PPS and PP&R property preclude the planting of additional trees and shrubs due to the complex network of existing tree roots. (Detailed planting plans for the Southeast parking lot are included in Exhibit C.81 and C.83) The proposed landscaping for the Southeast parking lot will soften the appearance of the parking area by providing interior and perimeter landscaping, except at the south edge.

Proposal. The proposal reduces the required parking lot landscaping at the southeast parking lot from 5 feet to 3 feet and to not be landscaped to the full L3 standards. This will not alter the stormwater management functionality of the overall parking lot landscaping and stormwater treatment facilities (Exhibit C.81 and C.83).

**Findings:** The area at the southeast corner of the Benson property has been used for a combination of storage, parking and outdoor student work area throughout the school's history (see Figures 5 – 9, Exhibit A.3/Narrative). It is currently a paved area surrounded by a metal chain-link fence and does not retain any features that contribute to the historic character of the campus.



Early architectural plans for Benson Polytechnic High School envisioned a building at the campus's southeast corner that would mirror the Foundry Building to the north. This building, however, was never constructed. Instead, a building that occupied only a portion of the area east of the south wing was constructed and remained in place for several decades. This building is visible in 1938, 1947 and 1990 aerial photographs of the site. (see Figures 5 – 9, Exhibit A.3/Narrative) This building was demolished to make way for the 1991 construction of the KBPS Building, which occupies roughly the same footprint as the preceding building.

The proposed site plan will improve the southeast parking lot by enhancing circulation and safety and planting interior and perimeter landscaping. Section 33.266.130.G.2, Table 266-5 requires parking lots abutting an OS zone lot line to provide 5 feet of landscaping to the L3 standard. The area available for planting at this south perimeter is less than 5 feet and the presence of mature trees along the Buckman Field Park property line both on PPS and PP&R property preclude the planting of additional trees and shrubs due to the complex network of existing tree roots. (Detailed planting plans for the Southeast parking lot are included in Exhibit C.81 and C.83). The proposed landscaping for the Southeast parking lot will soften the appearance of the parking area by providing interior and perimeter landscaping, except at the south edge.

Runoff from the vehicle area paving will be treated through vegetated filtration facilities prior to infiltration per DEQ and BES requirements. New trees, shrubs, and groundcover will help reduce the amount, rate, and temperature of the stormwater runoff from the vehicle area. For the full BPHS site, stormwater runoff will be managed and infiltrated on-site through new and existing drywell UICs, new soakage trenches, and new vegetated surface infiltration facilities. Any potential increase in temperature of stormwater runoff due to a reduction in landscaping will not negatively impact groundwater.

Given the tight confines of the southeast parking area, strict adherence to the standard would likely render it unusable, or minimally useable, as a parking area. The proposed approach is preferable from a historic resource perspective because it will better activate the space by locating the landscaping in a manner that enables the portion of the site to function as an important parking area for teachers and staff.

As such, the proposed project better meets the approval criteria for historic resource review than would a design that meets the standard being modified and resulting development will meet the purpose of the standard being modified.

*These criteria are met.*

**4. Size of bicycle parking (33.266.220.C.3.b).** To reduce the size of the required bicycle parking spaces from 2 feet x 6 feet to 1 foot, 6 inches x 6 feet.

Purpose. These standards ensure that required bicycle parking is designed so that bicycles may be securely locked without undue inconvenience and will be reasonably safeguarded from intentional or accidental damage.

Requirement. A space 2 feet by 6 feet must be provided for each required bicycle parking space, so that a bicycle six feet long can be securely held with its frame supported so that the bicycle cannot be pushed or fall in a manner that will damage the wheels or components.

Proposal. The applicant proposes to reduce the size of the required bicycle parking spaces from 2-feet x 6-feet to 1-foot, 6-inches x 6-feet.

**Findings:** Reducing the width of the bicycle parking spaces from 2-feet to 1-foot, 6-inches is advantageous because it reduces the amount of historic building frontage that needs to be occupied by bicycle parking, while still providing enough space to park a bicycle effectively and safely. It does this in two ways. First, the reduction in parking space width allows for a greater share of the required bicycle parking to be clustered beneath the covered pavilion in the CTE courtyard at the rear of the property. This eliminates the need for covered bike parking spaces elsewhere and reduces the number of bicycle parking spaces needed along the building's front (west) façade. The narrower width of those spaces further reduces the footprint of the area given over to bike parking along the west façade, thereby preventing the bike parking from being a major new element at this historically sensitive elevation.

PBOT have reviewed the proposal and supplemental information provided during this review and have replied in support of this request:

“PBOT also supports the modification request to reduce bike parking spacing from 2' x 6' down to 1'-6" x 6'. This modification request has been historically supported by PBOT and new zoning code update (March 1, 2020) allows for this spacing outright. PBOT also has no objections to the applicant's requested bike parking Adjustment and Modification” (Exhibit E.2).

As a result, the proposed width reduction in bicycle parking spaces better meets the approval criteria for historic resource review than would a design that employs the standard 2-foot width.

*These criteria are met.*

- 5. Sign standards (32.32.020.A).** For the Scoreboard Sign, to increase the Maximum Area Per Sign allowance from 200 to 285 square feet.
- 6. Sign standards (32.32.030.D).** For the site, to increase the size of the changing image area from 20 to 105 square feet (Modification would allow scoreboard sign, which has 87.7 square feet of changing image area. The site also includes a welcome sign at corner of 12th and Irving, which has 17.3 square feet of changing image area).
- 7. Sign standards (32.32.030.F.2).** To locate a freestanding sign on a non-arterial frontage (one welcome sign on NE 15<sup>th</sup> Ave.).
- 8. Sign standards (32.32.030.F.2).** To locate a freestanding sign on a non-arterial frontage (Scoreboard sign on pedestrian path).

Purpose. The regulations contained in Chapters 32.30 through 32.38 are land use regulations which work in combination with Title 33, Planning and Zoning, to implement Portland's Comprehensive Plan. The standards contained in Chapters 32.32 through 32.34 encourage signs to be compatible with the distinct character of specific areas of the city by regulating the size, placement, and features of signs by base zone, overlay zone, and plan district. Chapter 32.34 includes standards that encourage signs that further the objectives of certain land use categories.

Requirements. The proposed signs are described in Exhibit C and in the table on the following page. The site is within the EX zone. NE Irving (715' of frontage) and NE Irving (475' of frontage) are Arterials. Per Table 2 in Title 32 Section 32.32.020.A, one freestanding sign is allowed for every 300' of arterial frontage. One sf per one ft of primary building wall of Signs Attached to Buildings are allowed where a freestanding sign also occurs. Thus, the site is allowed up to four Freestanding Signs and 200 sf of Signs Attached to Buildings per frontage for a total of 800 sf for the site.

Proposal. The applicant is proposing four new Freestanding Signs for a total of 441 sf, and 2 new Signs Attached to Buildings added to existing 2 signs, for a total of 421 sf (see table below).

**Existing Signs to be Retained and Proposed New Signs**

<b>Sign Type Ref #*</b>	<b>Type</b>	<b>Location</b>	<b>Sign Face Size (sf)</b>	<b>Changing Image size (sf)</b>	<b>Code Requirement</b>
<b>Freestanding Signs</b>					
<b>C.90</b>	New welcome sign	Corner, NE 12th	52	17.3	Compliant – See Mod. #6
<b>C.91</b>	New welcome sign	NE 12	52	-	Compliant – meets freestanding sign standards
<b>C.91</b>	New welcome	NE 15th	52	-	See Mod. # 7
<b>C.96</b>	New Replacement Scoreboard	path	285	87.7	See Mod. # 5, 6 and 8
<b>Total</b>			441	105.0	
<b>Signs Attached to Buildings</b>					
<b>C.93</b>	Existing carved	12th	60 (not included in total)	-	Exempt
<b>C.93</b>	Existing marquee	15 <sup>th</sup> (KPBS/ Building I)	21	-	Compliant – meets attached sign standards
<b>C.95</b>	New Painted wall sign	South Courtyard (radio tower)	200	-	Compliant – meets attached sign standards
<b>C.94</b>	New Sundial	CTE Courtyard (Building C)	200	-	Compliant – meets attached sign standards. Not located on street frontage (internal facing)
<b>Total</b>			421	-	
<b>* Sign Type Ref #, see associated page number in Exhibit C.</b>					

The standards contained in Chapters 32.32 through 32.34 encourage signs to be compatible with the distinct character of specific areas of the city by regulating the size, placement, and features of signs by base zone, overlay zone, and plan district. The BPHS site is in the EX zone, which allows a relatively large and varied amount of signage, including changing image signs.

**Findings for 5 through 8 – Sign Standards (Title 32, Section 32.32).**

Scoreboard. The scoreboard replaces an existing sign. The scoreboard serves, and is oriented towards, the sports fields on the neighboring property (Buckman Field Park), and thus is not located on an arterial street frontage. The scoreboard will only be activated up to one hour before and after an event where the sign is used, per Section 32.32.030.D.3.b. Thus, replacing the existing scoreboard as proposed will not lead to increased street level sign clutter.

The maximum size for a freestanding sign in the EX zone is 200 square feet and the maximum changing image area for a site is 20 square feet. However, the code recognizes the potential need for additional changing image area in the case of signs oriented to sports fields (i.e., scoreboards). The proposed scoreboard is 285 square feet and the total amount of changing image area on the site would be 87.7 square feet. The size of the proposed scoreboard and the amount of changing image area on the scoreboard is consistent with similar football scoreboards provided at other PPS schools.

The existing building-mounted scoreboard is proposed to be replaced with a freestanding sign that is located across the fire lane from this wall, at the south edge of the Benson property. Detaching the scoreboard from Benson's historic south wall is highly preferable to replacing the scoreboard in situ. Removing the scoreboard will enable the currently obscured portion of the south wall to be made visible again and restored in the same manner as that proposed for the other portions of the wall. This will strengthen the south wall's ability to convey its historic significance.

In addition, the proposed size of the new scoreboard (285 square feet, compared to typical limit of 200 square feet) will not adversely affect Benson's historic features because of its physical separation from those features

Welcome Sign at corner of NE 12th and NE Irving (Changing Image Sign). This sign would be located at the corner of NE 12th and NE Irving, two arterial streets. There would be changing image area on one side (total area of moving image features is 17.3 sf). The changing image features cover less than 60 percent of the face of the sign, which is 52 sf, and is less than the 20-sf combined area limit. Thus, as an individual sign, this sign meets the EX standard for changing image signs.

Welcome Sign on NE 15th. Given the large size of the BPHS site and street multiple frontages, this sign is needed to provide adequate wayfinding and direct pedestrians towards the newly renovated south walkway which leads towards the main west building entrance.

As a result, the proposed new scoreboard signage better meets the approval criteria for historic resource review than would a scoreboard that accords with the default signage standards. More broadly, the additional sign will enhance wayfinding at the Benson campus, thereby fostering the use and appreciation of this historic site. In summary, the proposed signage package better meets the approval criteria for historic resource review than would a design that meets the standard being modified and the resulting development will meet the purpose of the standard being modified.

*These criteria are met.*

### **(3) ADJUSTMENT REQUESTS (33.805)**

#### **33.805.010 Purpose**

The regulations of the zoning code are designed to implement the goals and policies of the Comprehensive Plan. These regulations apply city-wide, but because of the city's diversity, some sites are difficult to develop in compliance with the regulations. The adjustment review process provides a mechanism by which the regulations in the zoning code may be modified if the proposed development continues to meet the intended purpose of those regulations. Adjustments may also be used when strict application of the zoning code's regulations would preclude all use of a site. Adjustment reviews provide flexibility for unusual situations and allow for alternative ways to meet the purposes of the code, while allowing the zoning code to continue to provide certainty and rapid processing for land use applications.

#### **33.805.040 Approval Criteria**

The approval criteria for signs are stated in Title 32. All other adjustment requests will be approved if the review body finds that the applicant has shown that either approval criteria A. through F. or approval criteria G. through I., below, have been met.

The following adjustment is requested:

**1. Minimum Bicycle Parking (33.266.210; Table 266-6).** To reduce the number of required long term bicycle spaces from 400 covered spaces to 202 covered spaces and 50 uncovered spaces.

Purpose. The purpose of these standards is to ensure that required bicycle parking is designed so people of all ages and abilities can access the bicycle parking and securely lock their bicycle without undue inconvenience. Bicycle parking is in areas that are reasonably safeguarded from theft and accidental damage. The standards allow for a variety of bicycle types, including but not limited to standard bicycles, tricycles, hand cycles, tandems, electric motor assisted cycles and cargo bicycles. Long-term bicycle parking is in secure, weather protected facilities and is intended for building and site occupants, and others who need bicycle parking for several hours or longer. Short-term bicycle parking is in publicly accessible, highly visible locations that serve the main entrance of a building. Short-term bicycle parking is visible to pedestrians and bicyclists on the street and is intended for building and site visitors.

Requirement: Table 266-6 requires 4 long-term bicycle parking spaces per classroom for schools' grades 6 through 12.

Proposal. To reduce the number of required long term bicycle spaces from 400 covered spaces to 202 covered spaces and 50 uncovered spaces.

**A.** Granting the adjustment will equally or better meet the purpose of the regulation to be modified; and

**Findings:** After the proposed modernization BPHS will have 100 teaching spaces, including all classrooms, shops, and labs. This equates to a total of 400 long-term bicycle parking stalls. The purpose of long-term bicycle parking is to provide employees, students, residents, commuters and others who generally stay at a site for several hours, a secure and weather-protected place to park bicycles. The proposed modernization will decrease the number of bicycle parking spaces to 202 spaces with 100% of the spaces covered and an additional 50 spaces uncovered, exceeding the requirement.

BPHS is a four-year career-technical education (CTE) focus high school. This school is not a typical neighborhood school because students from all areas of the City attend the school and the school is in the center of Portland's Eastside commercial area. As outlined in Exhibit I (and supplemented by the documentation in Exhibit J), based on the modal survey, most students take TriMet (56%) and very few students walk or bike to school (6%). The modal survey also shows that the next highest modal use for students was motor vehicles (carpool, drive alone, or drop off by family/friend) at 37%. This indicates that students that do not use TriMet live far enough away that walking or biking may not be feasible. Because of its CTE focus, BPHS does not fit the standard modal split profile of typical neighborhood schools.

Given ridership patterns at this facility as detailed in Exhibit I, the proposed 202 bicycle parking spaces will provide enough long-term bicycle parking to meet the purpose of the bicycle parking regulations.

PBOT have reviewed the proposal and supplemental information provided during this review and have replied in support of this request:

"The BPHS site has a zoning code requirement of 400 long-term spaces (200 covered), is based on 4 spaces per classroom per the zoning code section 33.266.200, which is only applicable for projects submitted prior to March 1, 2020. Further, these spaces must also meet the location, weather protection and security requirements of 33.266.220.B.

The new BPHS building will have 100 classrooms, therefore the minimum required long-term requirement is 400 bicycle spaces. The applicant has indicated that while there are no plans to significantly increase enrollment numbers, that the building design size after modernization is 1,700 students and 190 staff, for a campus total of 1,890.

The Title 33.266.200 purpose statement requires that bicycle parking is provided in a safe and convenient location to encourage bicycling. Further it ties the minimum required amounts to the City's bicycle mode split goals. At the time of the adoption of the current bicycle parking standards the City's target bicycle mode split goal was 10%; today's target mode split goal is 25%.

The applicant has highlighted that BPHS is a focus school bringing in students from across the city and has a very different student distribution than a typical neighborhood school. To explore this argument, PBOT requested nine additional Student Distribution maps that showed how BPHS student residential information differed from its nearest neighborhood high schools, Grant HS, Cleveland HS, and Lincoln HS. Based on these maps, PBOT can verify that on average only 15% of BPHS students live within 3 miles, whereas the neighborhood schools have 85%, 62%, and 47%, respectively. PBOT recognizes that this is a substantial difference from PPS' traditional neighborhood schools in that there is a smaller percentage of students that will be able and willing to bicycle to school.

Given student distribution differences demonstrated by the additional submitted maps, PBOT is supportive of the Adjustment to reduce the required bicycle parking from 400 spaces to 252 (202 covered). This support is rationalized by the fact that the minimum amount of covered bicycle parking will not be less than the 200 covered spaces required per the original code requirement. By providing 202 covered bicycle parking spaces, the applicant's Adjustment will equally or better meet the purpose statement by providing bicycle parking spaces for more than 10% of the BPHS population. Further, the 202 covered spaces will ensure safe and convenient

bicycle parking spaces to encourage greater use of bicycles. Bicycle parking that is sheltered from the elements is essential when leaving bicycles outside during the duration of a school day (6+ hours). Please note that all 252 long-term spaces will need to meet the security requirements of PCC Chapter 33.266” (Exhibit E.2).”

*This approval criterion is met.*

- B.** If in a residential zone, the proposal will not significantly detract from the livability or appearance of the residential area, or if in a C, E, or I zone, the proposal will be consistent with the desired character of the area; and

**Findings:** The requested adjustment will not impact the classification of the adjacent streets nor the desired character of the area.

*This approval criterion is met.*

- C.** If more than one adjustment is being requested, the cumulative effect of the adjustments results in a project which is still consistent with the overall purpose of the zone; and

**Findings:** Only one adjustment is being requested.

*This approval criterion is met.*

- D.** City-designated scenic resources and historic resources are preserved; and

**Findings:** BPHS is an historic resource; however, the proposed adjustment to the amount of long-term bicycle parking required will not negatively impact the historic character of the building.

*This approval criterion is met.*

- E.** Any impacts resulting from the adjustment are mitigated to the extent practical; and

**Findings:** As estimated using modal split survey data from the Benson High School students and staff described in Exhibit H (and supplemented by the documentation in Exhibit J), the future estimated demand for bicycle parking stalls for 1,700 students and 190 staff is 61 stalls. The District anticipates a greater level of ridership with bicycle parking spaces located near main entrances and sports venues with better visibility. The District, therefore, proposes the placement of 202 bicycle parking spaces with 100 percent of the spaces covered. The 202 bicycle parking stalls should be adequate to meet the demand of the high school now and in the future.

*Because there were no impacts identified in the findings, this criterion does not apply.*

- F.** If in an environmental zone, the proposal has a few significant detrimental environmental impacts on the resource and resource values as is practicable;

**Findings:** *This site is not within an environmental zone. This criterion does not apply.*

## **DEVELOPMENT STANDARDS**

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of

Title 33 can be met or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## CONCLUSIONS

The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance.

Care has been taken to ensure this proposal for the modernization of Benson Polytechnic High School responds well to the existing historic fabric and at the same time looks towards the future. Based on thorough assessment of the existing structures, the proposal has been designed to protect important historic fabric and the new construction has been sensitively designed to maintain the historic character of the resource. Notably, after meeting with the Commission through the Design Advice Request process, the design was revised to maintain the historic brick one-story south façade of the south shop wing. As noted in the findings above:

“These technical wings an integral part of the Technical & Academic mission of Benson, and the design must continue the story of the school, and provide a continuum of use, organization, material, scale of material and detail... By maintaining the most public facades of these wings, the north elevation of the north wing facing SE Irving, and the south elevation of the south wing facing Buckman Field, this history is recognized. In addition, the new construction is being set back at the second floor so as not to obscure the historic configuration of these façades.

This proposal meets the applicable Historic Resource Review criteria and modification criteria and therefore warrants approval.

## LANDMARKS COMMISSION DECISION

It is the decision of the Landmarks Commission to approve Historic Design Review for exterior alterations and new construction to Benson Polytechnic High School, including:

- The demolition of contributing and non-contributing fabric;
- The renovation of remaining fabric;
- New 2-story additions with approximately 165,000 square feet of new floor area, with a final total project size of approximately 379,000 SF;
- A reduction in parking on the main site from 67 spaces to 18 spaces; and,
- The enhancement of exterior spaces.

Approval of the following Modification requests:

1. Superblock Requirements (33.140.310/ 33.293.030.A.1). To reduce the amount of required vacated area to be walkways, landscaped areas, public plazas and public atrium from 50 percent to 26 percent.
2. Superblock Requirements (33.140.310/ 33.293.030.B.3). To not provide the required connection through the site from north to south.
3. Parking Lot Landscaping (33.266.130.G). To reduce the width of the required parking lot landscaping at the southeast parking lot from 5 feet to 3 feet and to not be landscaped to the full L3 standards.
4. Size of bicycle parking (33.266.220.C.3.b). To reduce the size of the required bicycle parking spaces from 2 feet x 6 feet to 1 foot, 6 inches x 6 feet.
5. Sign standards (32.32.020.A). For the Scoreboard Sign, to increase the Maximum Area Per Sign allowance from 200 to 285 square feet.

6. Sign standards (32.32.030.D). For the site, to increase the size of the changing image area from 20 to 105 square feet. (Modification would allow scoreboard sign, which has 87.7 square feet of changing image area. The site also includes a Welcome sign at corner of 12th and Irving, which has 17.3 square feet of changing image area).
7. Sign standards (32.32.030.F.2). To locate a freestanding sign on a non-arterial frontage (one Welcome sign on NE 15<sup>th</sup> Ave.).
8. Sign standards (32.32.030.F.2). To locate a freestanding sign on a non-arterial frontage (Scoreboard sign on pedestrian path).

Approval of the following Adjustment requests:

1. Minimum Bicycle Parking (33.266.210; Table 266-6). To reduce the number of required long term bicycle spaces from 400 covered spaces to 202 covered spaces and 50 uncovered spaces.

Approvals per Exhibits C.1-C.92, signed, stamped, and dated July 17, 2020, subject to the following conditions:

- A.** As part of the building permit application submittal, the following development-related conditions (B – H) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled “ZONING COMPLIANCE PAGE- Case File LU 20-124442 HRM AD. All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled “REQUIRED.”
- B.** At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C.** No field changes allowed.
- D.** A follow-up review is required for the external lighting in the West Courtyard.
- E.** A follow-up review is required for the painted sign on the radio tower facing south towards Buckman Field.
- F.** A follow-up review is required for the fencing facing east towards NE 15th and south toward Buckman Field.
- G.** On the south elevation of Building G2, the back face of the illuminated control joints is to be brick.
- H.** On the east elevation of the South Wing, the two-story solid brick wall is to have control joints to match those on the south elevation of building G2, without the illumination.

By:   
\_\_\_\_\_  
Kristin Minor, Landmarks Commission Chair

Application Filed: February 28, 2020  
Decision Filed: July 14, 2020

Decision Rendered: July 13, 2020  
Decision Mailed: July 24, 2020

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on February 28, 2020 and was determined to be complete on May 22, 2020.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on February 28, 2020.

*ORS 227.178* states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. The **120 days expire on: September 19, 2020.**

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. This report is the final decision of the Landmarks Commission with input from other City and public agencies.

**Conditions of Approval.** This approval may be subject to several specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appeal of this decision.** This decision is final unless appealed to City Council, who will hold a public hearing. Appeals must be filed by 4:30 pm on August 7, 2020 at 1900 SW Fourth Ave. The appeal application form can be accessed at <https://www.portlandoregon.gov/bds/45477>.

**Towards promoting social distancing during the COVID-19 pandemic, the completed appeal application form must be e-mailed to [LandUseIntake@portlandoregon.gov](mailto:LandUseIntake@portlandoregon.gov) and to the planner listed on the first page of this decision.** If you do not have access to e-mail, please telephone the planner listed on the front page of this notice about submitting the appeal application.

If you are interested in viewing information in the file, please contact the planner listed on the front of this decision. The planner can provide some information over the phone. Please note that due to COVID-19 and limited accessibility to files, only digital copies of material in the file are available for viewing. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at <https://www.portlandoregon.gov/citycode/28197>.

If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of City Council is final; any further appeal is to the Oregon Land Use Board of Appeals (LUBA).

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to City Council on that issue. Also, if you do not raise an issue with enough specificity to give City Council an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Who can appeal:** You may appeal the decision only if you have written a letter which was received before the close of the record at the hearing or if you testified at the hearing, or if you are the property owner or applicant. Appeals must be filed within 14 days of the decision. **An appeal fee of \$5,000.00 will be charged.**

Neighborhood associations may qualify for a waiver of the appeal fee. Additional information on how to file and the deadline for filing an appeal will be included with the decision. Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services in the Development Services Center, 1900 SW Fourth Ave., First Floor. Fee waivers for neighborhood associations require a vote of the authorized body of your association. Please see appeal form for additional information.

**Recording the final decision.**

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **August 7, 2020** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

**Applying for your permits.** A building permit, occupancy permit, or development permit must be obtained before carrying out this project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed here.
- All applicable development standards, unless specifically exempted as part of this land use review.
- All requirements of the building code.
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**

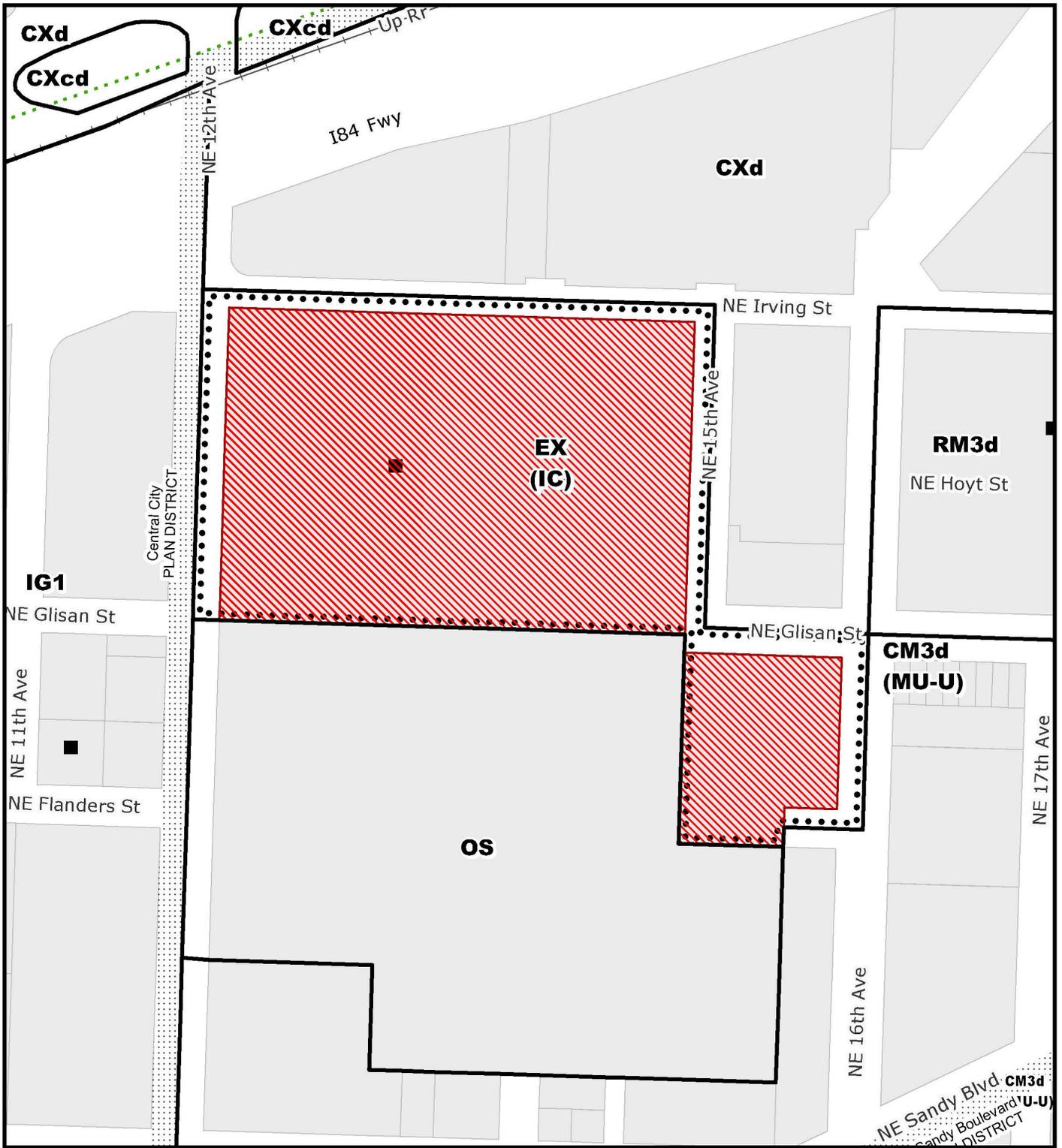
**EXHIBITS – NOT ATTACHED UNLESS INDICATED**

- A. Applicant's Statement
  - 1. Original Submittal February 28, 2020 (superseded)
  - 2. Incomplete Response and Revised Proposal May 22, 2020 (superseded)
  - 3. Final Submittal May 5, 2020
- B. Zoning Map (attached)
- C. Plan & Drawings
  - 1. Table of Contents
  - 2. Project Description
  - 3. Historic Significance
  - 4. Entrix Report
  - 5. Existing Site Survey
  - 6. Proposed Site (Attached)
  - 7. Plan - LL
  - 8. Plan - L1
  - 9. Plan - L2
  - 10. Roof Plan
  - 11. All elevations (Attached)
  - 12. Overall West Elevation - Existing and Demolition
  - 13. Overall West Elevation - New and Site Elements
  - 14. West Elevation – Enlarged
  - 15. West - Wall Sections
  - 16. Overall North Elevation - Existing and Demo
  - 17. Overall North Elevation - New and Site Elements
  - 18. North Elevation – Enlarged
  - 19. North Elevation – Enlarged
  - 20. North - Wall Sections
  - 21. Overall East Elevation - Existing and Demo
  - 22. Overall East Elevation - New and Site Elements
  - 23. East Elevation - Enlarged
  - 24. East Elevation - Enlarged
  - 25. East - Wall Sections
  - 26. Overall South Elevation - Existing and Demo
  - 27. Overall South Elevation - New and Site Elements
  - 28. South Elevation - Enlarged
  - 29. South Elevation - Enlarged
  - 30. South - Wall Sections
  - 31. South - Wall Sections
  - 32. Internal Courtyards/Overall Site Sections - North
  - 33. Internal Courtyards - North Elevations
  - 34. Internal Courtyards/Overall Site Sections - South
  - 35. Internal Courtyards - South Elevations
  - 36. Internal Courtyards - Wall Sections
  - 37. Internal Courtyards/Overall Site Sections - East
  - 38. Internal Courtyards/Overall Site Sections - West
  - 39. Social Courtyard - East and West Enlarged Elevations
  - 40. Materials - Historic Adjacent
  - 41. Materials - New construction
  - 42. Details - Restored Wood Windows in Historic Facades
  - 43. Details - New Windows in Historic Brick Facades
  - 44. Details - New Windows in Historic Concrete Facades
  - 45. Details - New Storefront Windows at New Brick Facades
  - 46. Details - New Storefront Windows at New Terracotta
  - 47. Details - Storefront Windows at Metal Wall panel

48. Details - Typical Seismic Expansion Joints
  49. Details - HM Door at Brick
  50. Details - HM Door at Terracotta
  51. Details - Metal Screens at Historic Facades
  52. Details - Louvers at Historic Facades
  53. Details - Fall Protection and Roof Access
  54. Details - Ships ladders at Existing Building Roofs
  55. Existing Site - Aerial.
  56. Site - West Courtyard
  57. Site - West Courtyard
  58. Existing Site -Aeronautics Automotive Shops
  59. Site - Proposed CTE Courtyard
  60. Site - Proposed CTE Courtyard
  61. Site - South Courtyard and Pedestrian Promenade
  62. Site - South Courtyard and East End of Pedestrian Promenade
  63. Site - Northeast Courtyard
  64. Site - CTE Parking Lot Planting Schedule
  65. Site - CTE Parking Lot Planting Plan
  66. Site - South Parking Lot Planting Plan
  67. Site - Bike Parking and Circulation plan
  68. Site Lighting - Site Lighting Plan
  69. Site Lighting - Photometric Plan
  70. Site Lighting - Luminaire Schedule
  71. Site Lighting - Luminaire Schedule
  72. Site Signage - location Plan
  73. Site Signage - Freestanding Sign with Changing Image
  74. Site Signage - Freestanding Sign with Static Image
  75. Site Signage - Existing Fascia Sign
  76. Site Signage - Sundial
  77. Site Signage - Painted Building Sign at Radio Tower
  78. Site Signage - Scoreboard Sign
  79. Cutsheets
  80. Cutsheets
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  91. Cutsheets
  92. Cutsheets
- D. Notification information:
1. Request for response
  2. Posting letter sent to applicant
  3. Notice to be posted
  4. Applicant's statement certifying posting
  5. Mailed notice
  6. Mailing list
- E. Agency Responses:
1. Bureau of Environmental Services
  2. Bureau of Transportation Engineering and Development Review

3. Water Bureau
  4. Fire Bureau
  5. Bureau of Parks, Forestry Division
  6. Site Development Review Section of BDS
- F. Letters
1. Frances Gates, June 26, 2020, wrote with questions whether art that promotes diversity will be included, and with concern about careless driving by students.
- G. Other
1. Original LUR Application
  2. HRI Form
  3. Early Assistance Meeting: EA 16-155128 APPT
  4. Second Briefing to the Landmarks Commission: September 11, 2017
  5. Early Assistance Meeting: EA 19-139545 APPT: May 9, 2019
  6. Design Advice Request (DAR #1): EA 19-191986 DA: August 26, 2019
  7. Early Assistance Pre-Application Conference (PC): EA 19-210336 PC: September 5, 2019
  8. Design Advice Request (DAR #2): EA 19-230402 DA: November 18, 2019
  9. Incomplete Letter, February 13, 2020
- H. Hearing: July 13, 2020
1. Staff Report
  2. PPS response to F1, 7.12.20
  3. Staff Power Point Presentation

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868)**



# ZONING

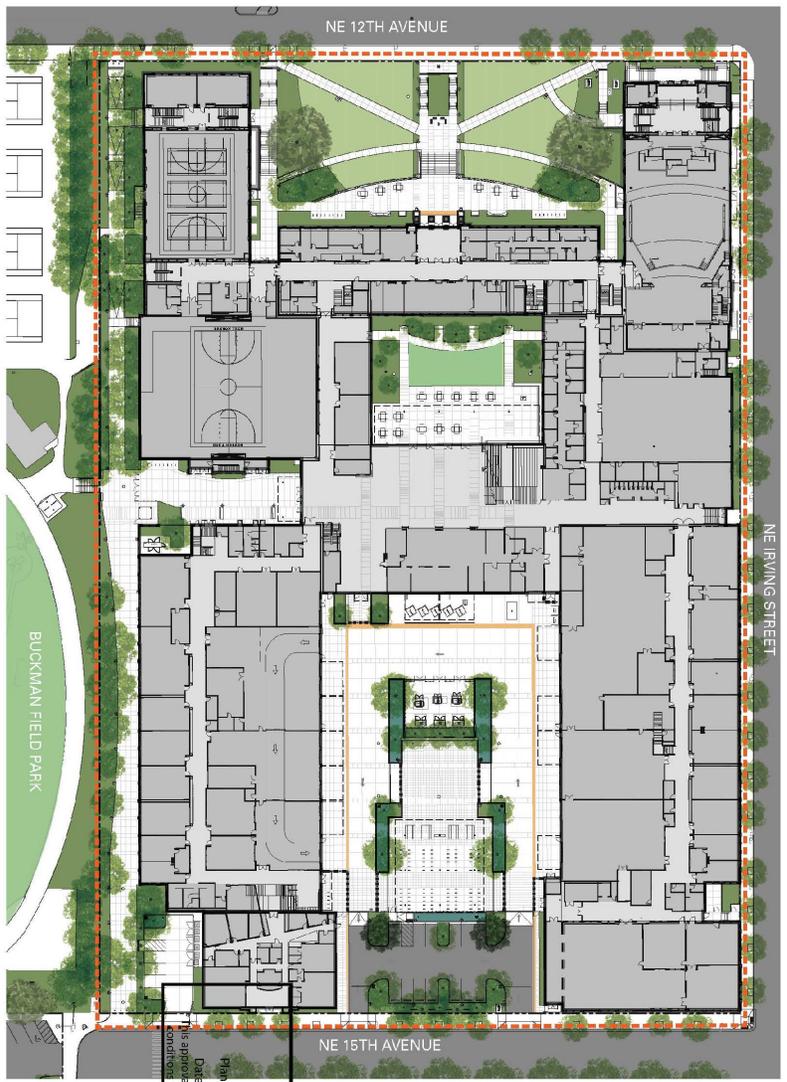


-  Site
-  Historic Landmark
-  Recreational Trails

File No.	<u>LU 20-124442 HRM AD</u>
1/4 Section	<u>2931-32, 3031-32</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1N1E35BD 1400</u>
Exhibit	<u>B Mar 04, 2020</u>

SITE  
 PROPOSED SITE - RENDERING

Benson Polytechnic High School  
 Historic Resource Review



- LEGEND**
- PROPERTY LINE
  - FENCE
  - LAWN
  - SYNTHETIC TURF
  - SHRUB PLANTING
  - STORMWATER PLANTING
  - CONCRETE PAVING
  - COLORED CONCRETE PAVING
  - ASPHALT PAVING
  - PROPOSED LIGHT POLE
  - PROPOSED TREE

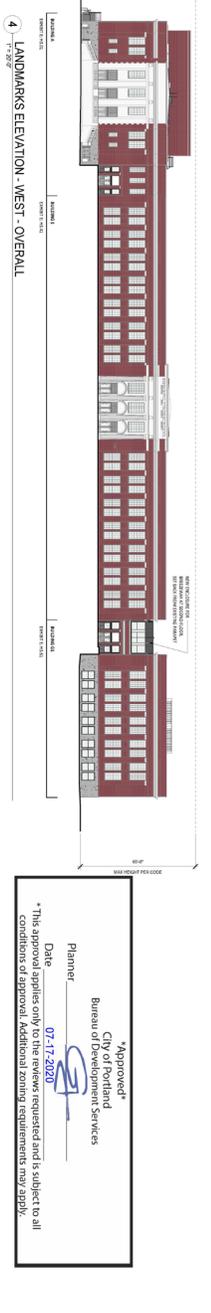
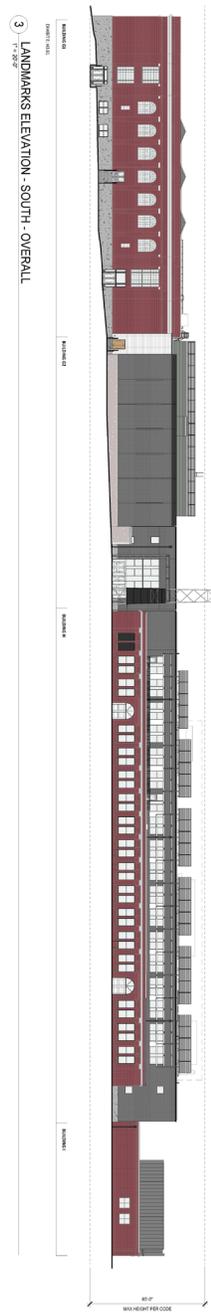
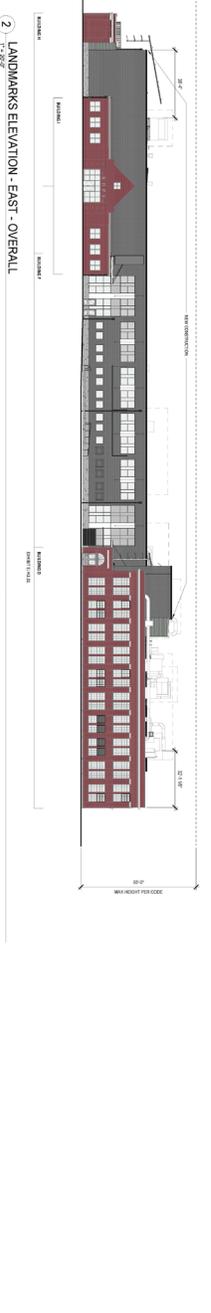
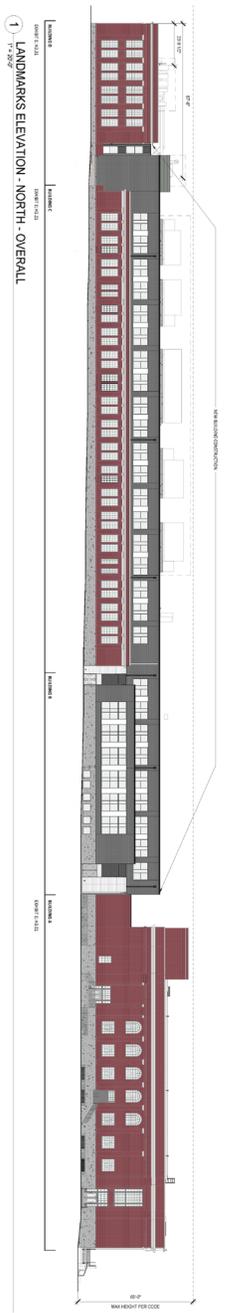
\*Approval\*  
 City of Portland  
 Bureau of Development Services  
 Planner  
 Date 07-17-2020  
 This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

BASSETTI ARCHITECTS | ARCHITECTURAL RESOURCES GROUP  
 JUNE 29, 2020

30' 20' 10' 0'

Exhibit C.006

DESIGN APPROACH / C.71  
 LU 20-12442 HRM AD



\*Approved\*  
 City of Portland  
 Bureau of Development Services  
 Planner \_\_\_\_\_  
 Date 02-17-2020  
 \*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.\*

Exhibit C.11

75% DESIGN DEVELOPMENT



**bassett architects**  
 271 NW 9th Ave, Suite 2400  
 Portland, Oregon 97209  
 Phone: 503.228.8821 Fax: 503.248.8819

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT TITLE  
**BENSON POLYTECHNIC HIGH SCHOOL MODERNIZATION**  
 SHEET NO. 20-104442-11  
 DATE: 02-17-2020  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Name]

Overall Elevations  
 LU  
 20-104442-11  
 HRM AD