



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
Rebecca Esau, Director
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www.portlandoregon.gov/bds

Date: September 1, 2020

From: Megan Sita Walker, Land Use Services
503-823-7294 / MeganSita.Walker@portlandoregon.gov

REQUEST FOR RESPONSE

Case File: LU 20-169249 DZ – Central Plaza Garage Alterations
Pre App: PC # 19-267842

This notice is being sent to all service and technical review agencies for their input on the proposal described below. Neighborhood Associations also receive this advance notice via e-mail. Your timely response, as indicated below, will help the assigned planner determine if applicable approval criteria can be met, or what conditions might be required.

- The approval criteria are listed below. Although we are interested in any comments you may have, please consider your response in terms of these criteria.
- All agencies are encouraged to use this as an opportunity to inform the applicant of any additional requirements that may be imposed by your agency during building permit phase – especially those that would significantly affect the proposal.
- Please note in your response which requirements are specifically associated with the applicable land use review approval criteria, and which requirements you have the independent authority to impose at time of building permits.
- Neighborhood Associations are encouraged to submit comments by the deadline noted below. To comment, you may write to Megan Sita Walker at 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201. You can also e-mail your comments to me at my e-mail address identified above. After the staff report is published, please submit your comments to the Design Commission at 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201 and fax them to 503-823-5630.

The Bureau of Development Services recommendation will be published ten days before the scheduled hearing date. You will also receive a Notice of Public Hearing for this proposal, with hearing date and time confirmed, mailed twenty days prior to the hearing.

- **Please send your response to BDS no later than: September 17, 2020 – 16 days after the date of this RFR** (If I receive comments after this date, I may not have enough time to include them in the staff report).
- **We must publish our report by: September 21, 2020**
- **A public hearing before the Design Commission is tentatively scheduled for October 1, 2020 @ 1:30PM**

Applicant(s): Randall Rieks | Hennebery Eddy Architects
921 SW Washington Ste 250
Portland, OR 97205

Jon McGrew | Hennebery Eddy Architects
921 SW 9th Ave, Suite 250
Portland, OR 97205

Owner: Mark Central Plaza LLC
111 SW Columbia St., Suite 1380
Portland, OR 97201-5845

Owner's Agent: Scott Andrews | Melvin Mark Brokerage Company
111 SW Columbia St., Suite 1380
Portland, OR 97201

Site Address: 337 SW ALDER ST

Legal Description: BLOCK 48 LOT 5-8 LAND ONLY SEE R246083 (R66770-5811) FOR
IMPS, PORTLAND

Tax Account No.: R667705810

State ID No.: 1N1E34CD 09000

Quarter Section: 3029 & 3129

Neighborhood: Portland Downtown, contact Wendy Rahm at wwrahm@aol.com

Business District: Downtown Retail Council, contact at lfrisch@portlandalliance.com

District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

Plan District: Central City - Downtown

Other Designations: none

Zoning: CXd – Central Commercial with the Design Overlay

Case Type: DZ – Design Review

Procedure: Type III, with a public hearing before the Design Commission. The decision of the Design Commission can be appealed to City Council.

Proposal:

Type III Design Review for proposed alterations to the ground floor of the Central Plaza Garage with a full block frontage on SW 4th Avenue in Downtown Subdistrict of the Central City Plan District bound by SW Washington to the north and SW Alder to the south. The proposal includes changes to the existing ground floor retail frontage along SW 4th Avenue with new aluminum storefront with increased header height at corner bays, recessed storefronts providing a continuous soffit along entries, new continuous polycarbonate canopies with steel supports, new tenant signage, and new paint.

Approval Criteria:

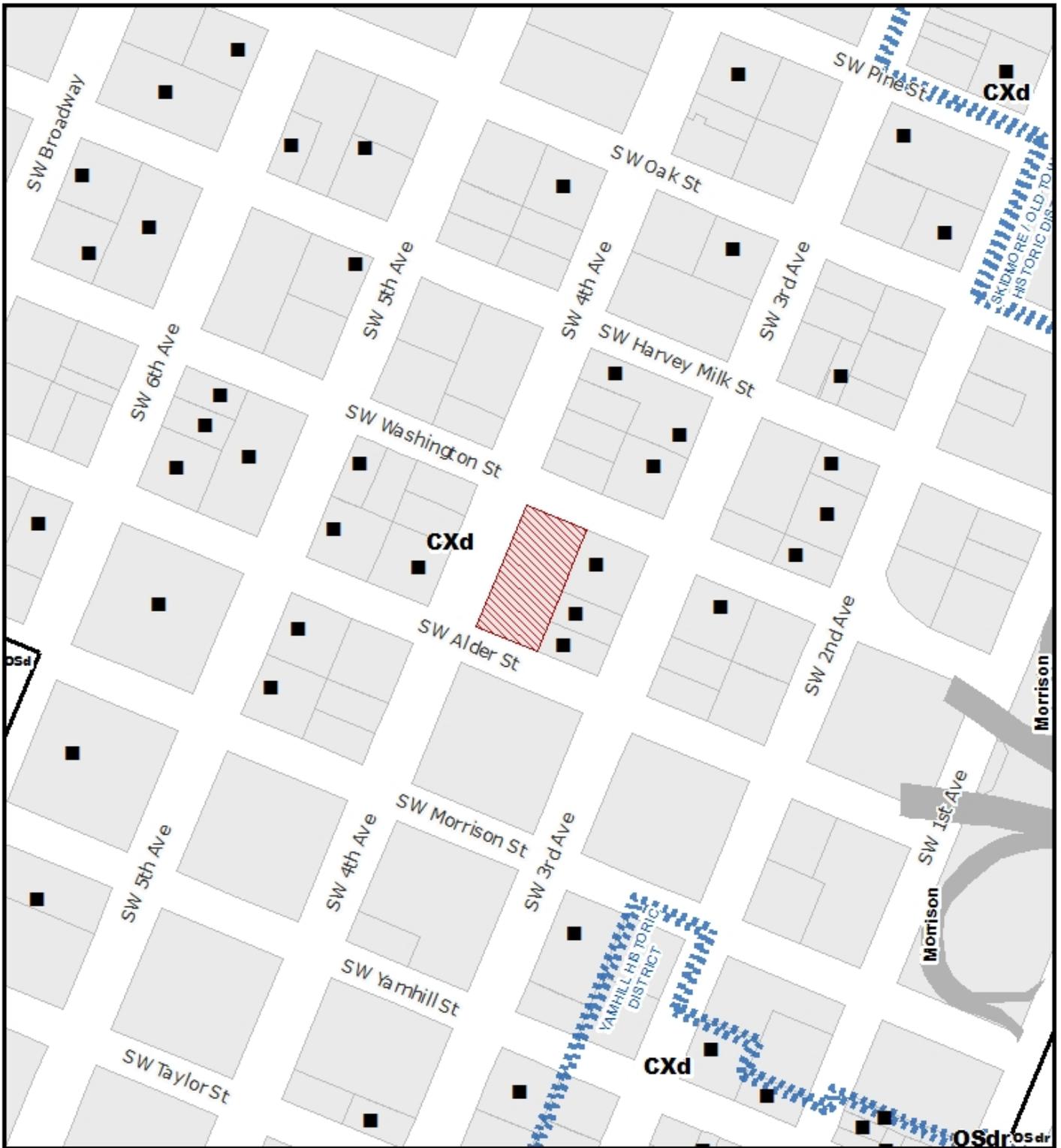
In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The applicable approval criteria are:

- *Central City Fundamental Design Guidelines*

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was filed, provided that the application is

complete at the time of filing, or complete within 180 days. This application was filed on July 23, 2020 and determined to be complete on August 21, 2020.

Enclosures: Zoning Map, Existing & Proposed Site Plans, Existing & Proposed Ground Floor Plans , and Proposed Elevations



ZONING 
 CENTRAL CITY PLAN DISTRICT
 DOWNTOWN SUB DISTRICT

-  Site
-  Historic Landmark
-  Bridge

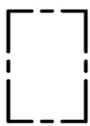
File No.	LU 20 - 169249 DZ
1/4 Section	3129,3029
Scale	1 inch = 200 feet
State ID	1N1E34CD 9000
Exhibit	B Jul 23, 2020



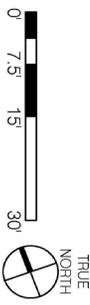
SITE DATA

LOT AREA = 20,000 SF (0.46 ACRES)
 NUMBER OF STORIES = 11 STORIES, W/ BASEMENT - **NO CHANGE**
 GROSS SQUARE FOOTAGE = 215,780 SF - **NO CHANGE**
 FLOOR AREA RATIO = **NO CHANGE**

SITE PLAN LEGEND

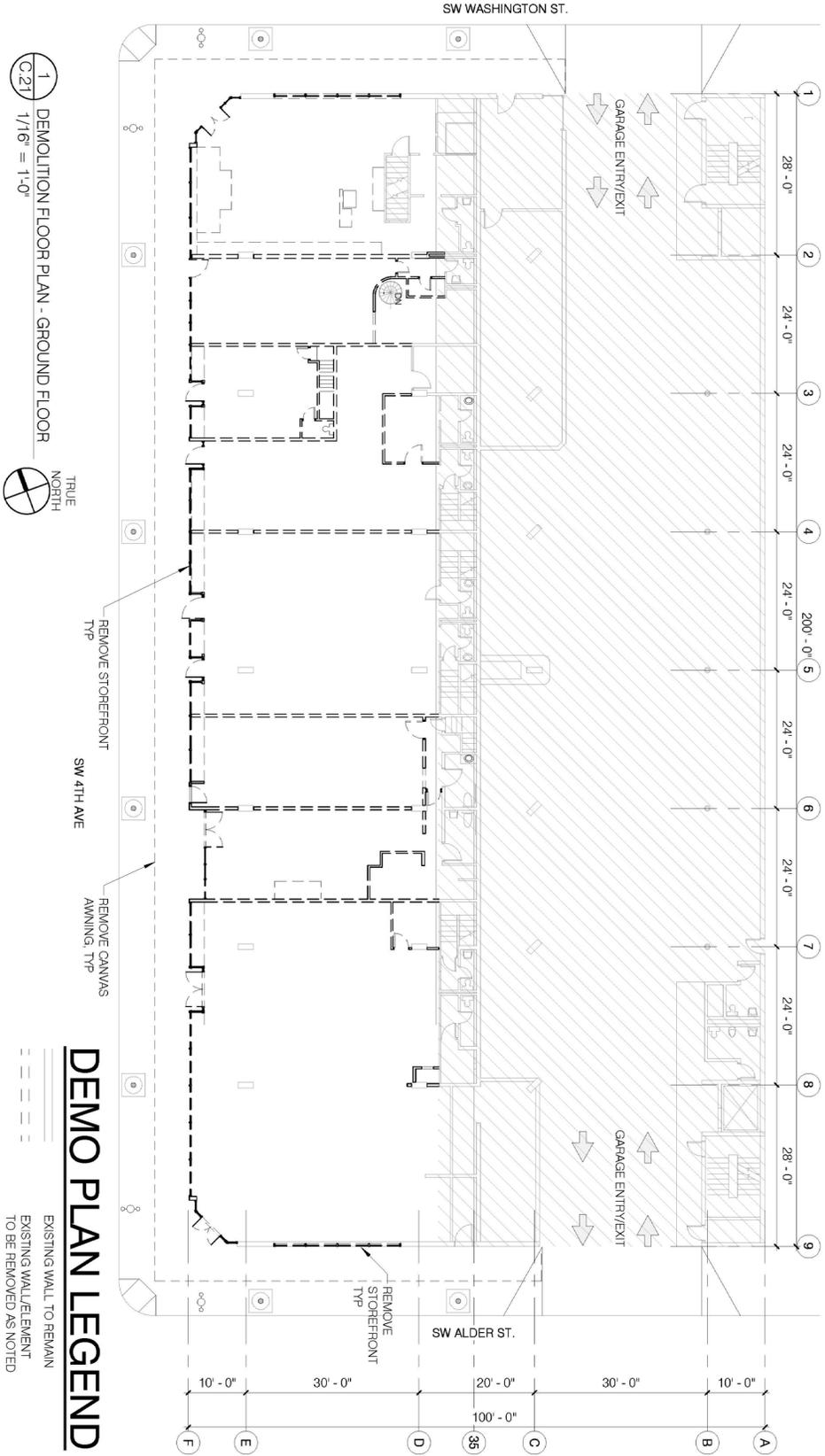
-  ELEMENTS OVERHEAD
-  AREA OF WORK
-  PROPERTY LINE

1 SITE PLAN
 C.1
 1" = 30'-0"



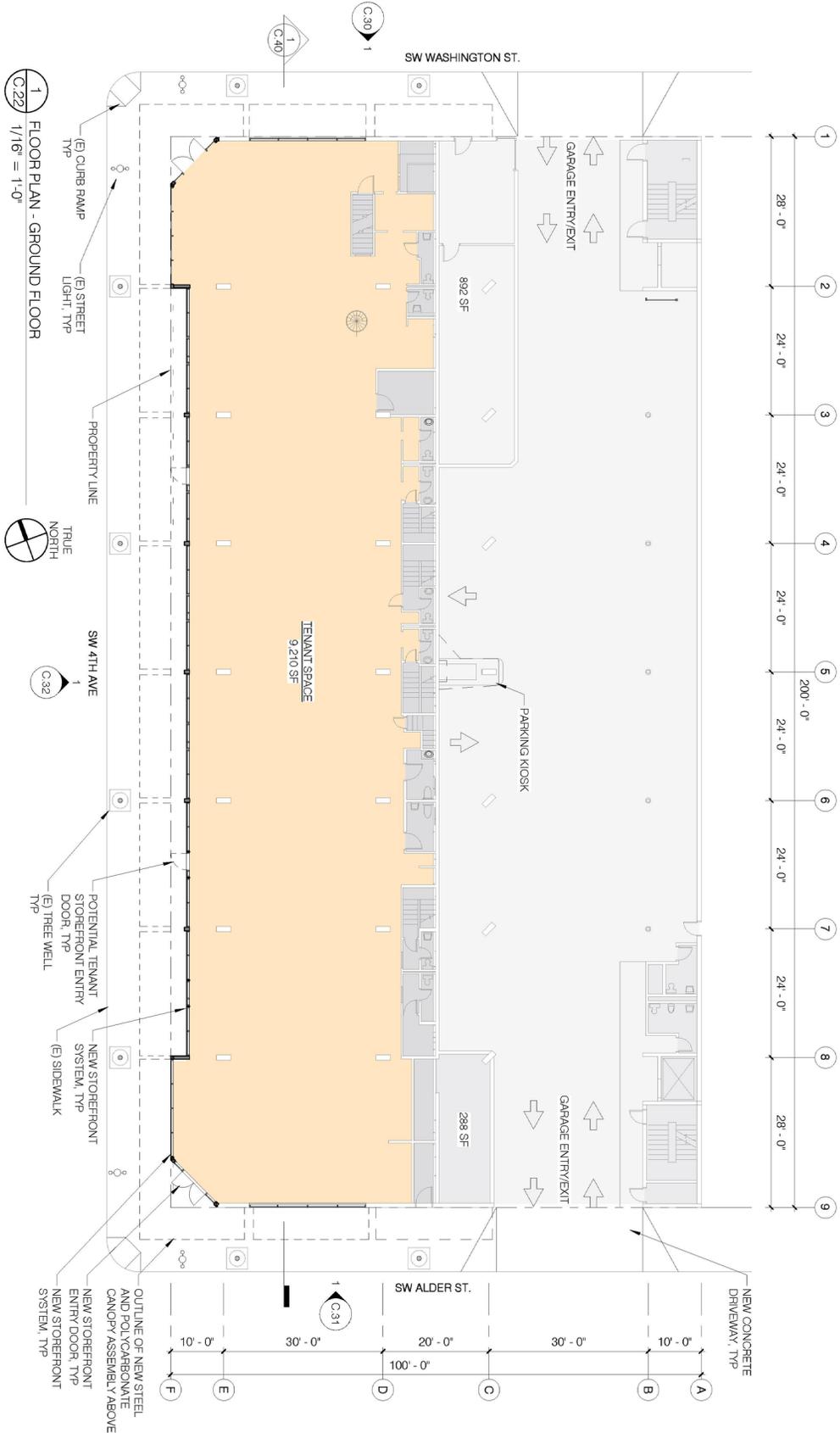


Hemphery Eddy Architects



DEMO PLAN LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL/ELEMENT TO BE REMOVED AS NOTED
- AREA OUTSIDE OF WORK



1 FLOOR PLAN - GROUND FLOOR
1/16" = 1'-0"

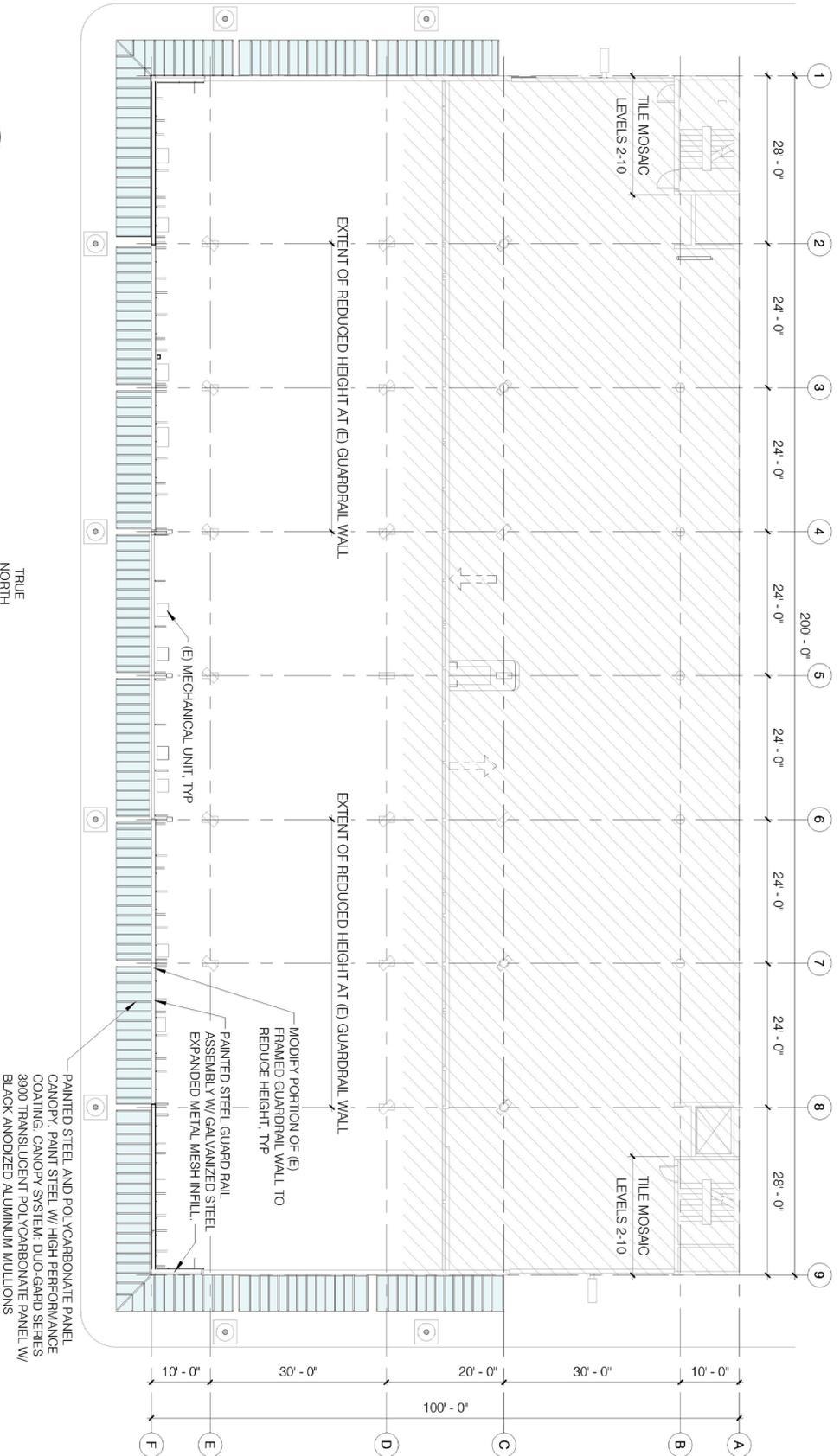
Hemery Eddy Architects

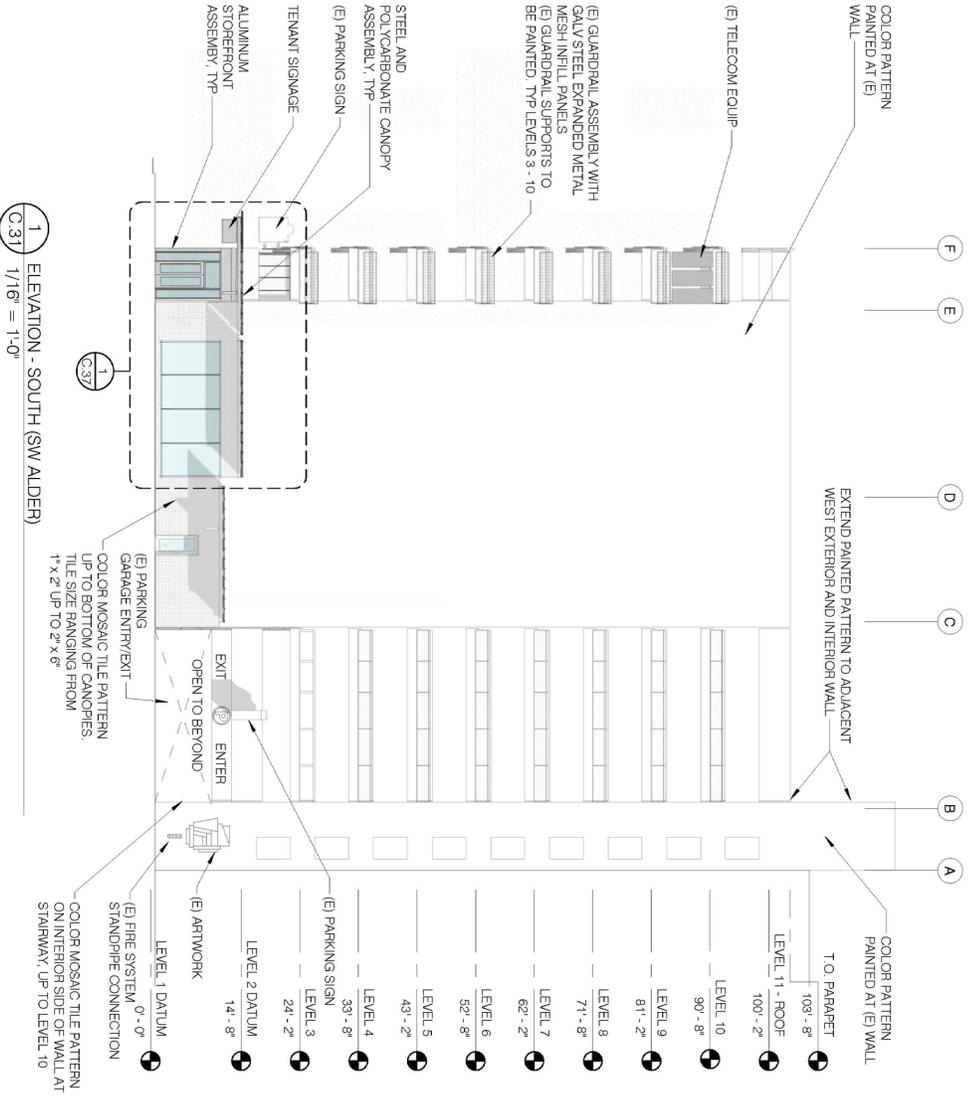
Hemery Eddy Architects

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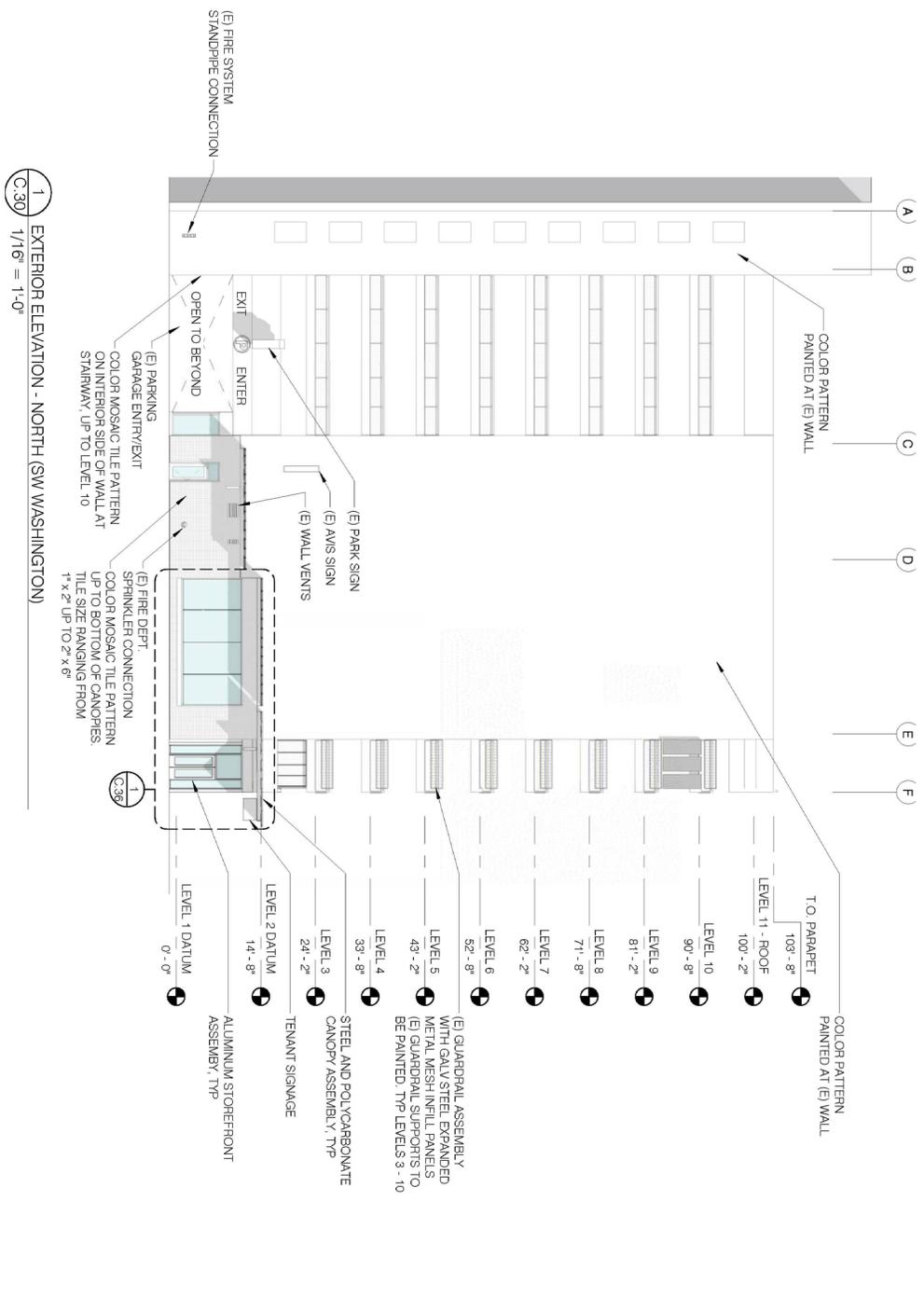
SHEET C.22 | 43
LU 20-169249 DZ

1 FLOOR PLAN-2ND FLOOR
C.23 1/16" = 1'-0"



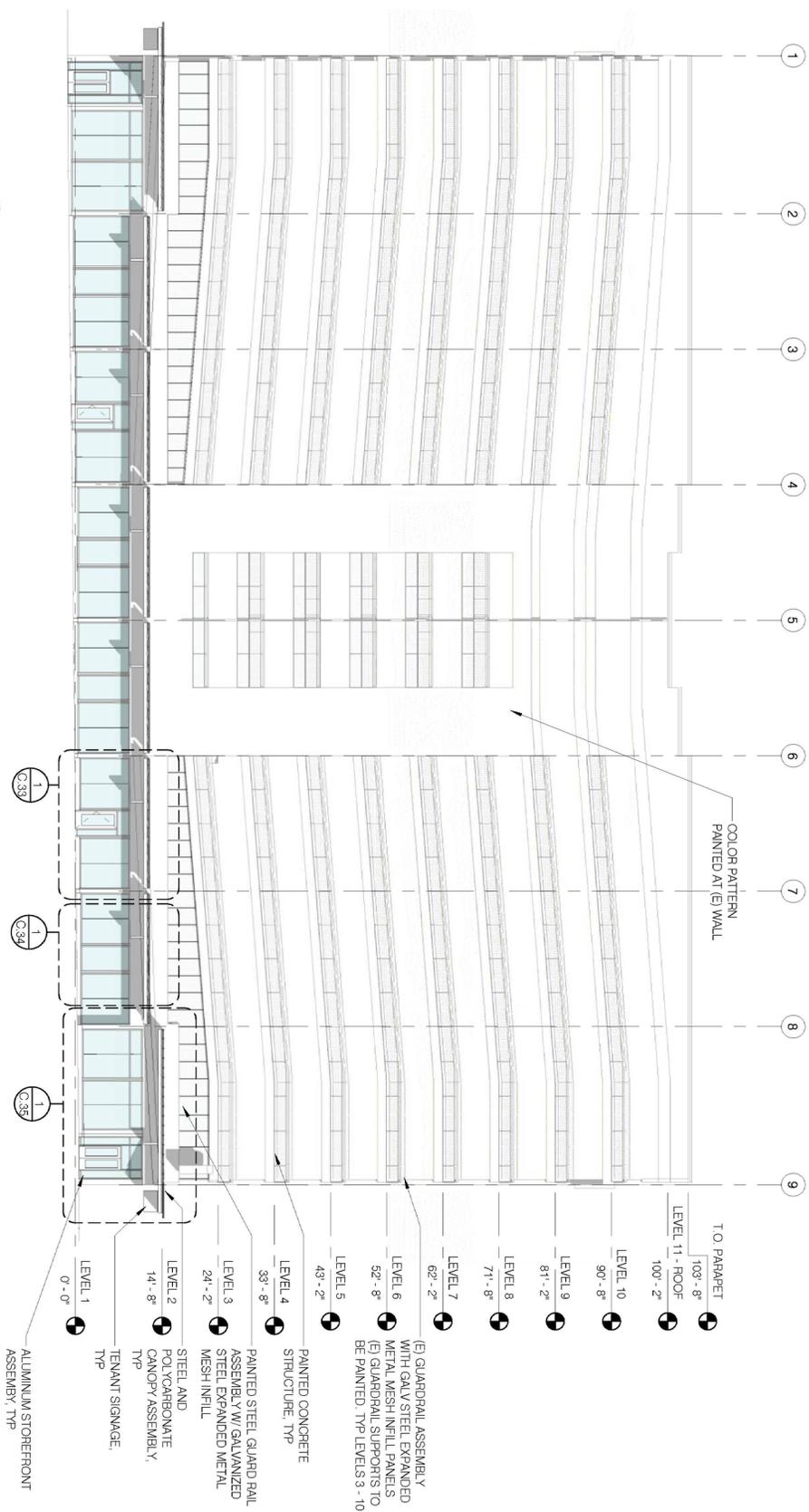


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1
C.30
1/16" = 1'-0"

EXTERIOR ELEVATION - NORTH (SW WASHINGTON)



1 EXTERIOR ELEVATION - WEST (SW 4TH AVE)
 C.32 1/16" = 1'-0"

- LEVEL 11 - ROOF
103' - 8"
 - LEVEL 10
100' - 2"
 - LEVEL 9
90' - 8"
 - LEVEL 8
81' - 2"
 - LEVEL 7
71' - 8"
 - LEVEL 6
62' - 2"
 - LEVEL 5
43' - 2"
 - LEVEL 4
33' - 8"
 - LEVEL 3
24' - 2"
 - LEVEL 2
14' - 8"
 - LEVEL 1
0' - 0"
- (E) GUARDRAIL ASSEMBLY WITH GALV STEEL EXPANDED METAL MESH INFILL PANELS
 - (E) GUARDRAIL SUPPORTS TO BE PAINTED TYP LEVELS 3 - 10
 - PAINTED CONCRETE STRUCTURE, TYP
 - PAINTED STEEL GUARD RAIL ASSEMBLY W/ GALVANIZED STEEL EXPANDED METAL MESH INFILL
 - STEEL AND POLYCARBONATE CANOPY ASSEMBLY, TYP
 - TENANT SIGNAGE, TYP
 - ALUMINUM STOREFRONT ASSEMBLY, TYP