



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Dan Ryan, Commissioner
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www.portland.gov/bds

Date: October 12, 2020
To: Interested Person
From: Grace Jeffreys, Land Use Services
503-865-6521/Grace.Jeffreys@portlandoregon.gov

NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, we need to receive your written comments by 5 p.m. on November 2, 2020. **During the COVID-19 pandemic, your comments must be e-mailed to the assigned planner listed above;** please include the Case File Number in your e-mail. If you do not have access to e-mail, please telephone the planner listed above about submitting comments. Note that all correspondence received will become part of the public record.

CASE FILE NUMBER: LU 20-194894 DZ **345 NE 102ND, RADON PIPE**

Applicant: Tamara Linde, Cascade Radon
12839 NE Airport Way Bldg 9, Portland, OR 97230
tamara@cascaderadon.com, 503.421.4813

Party of Interest: Irvine & Company, LLC
345 NE 102nd Ave, Portland, OR 97220

Owner: St Boomer LLC
345 NE 102nd Ave, Portland, OR 97220

Site Address: 345 NE 102ND AVE

Legal Description: S 157.5' OF LOT 1 EXC PT IN ST S 157.5' OF LOT 2 LAND & IMPS SEE R184476 (R407400031) & R695602 (R407400032) FOR BILLBOARDS, HUDSON AC

Tax Account No.: R407400030
State ID No.: 1N2E33DA 00300
Quarter Section: 3040

Neighborhood: Hazelwood, contact Arlene Kimura at arlene.kimura@gmail.com
Business District: Gateway Area Business Association, contact at gabapdxboard@gmail.com

District Coalition: East Portland Community Office, contact at 503-823-4550.

Plan District: Gateway

Zoning: CXd, Central Commercial with Design Overlay

Case Type: DZ, Design Review

Procedure: Type II, an administrative decision with appeal to the Design Commission.

Proposal:

The applicant proposes exterior alterations to an existing property in the Gateway Plan District. This proposal is for one radon vent pipe to be located on the 6/12 sloped composition roof, painted to match roof color, and located 30 feet from the sidewalk.

Design Review is required because the proposal is for non-exempt exterior alterations per Portland Zoning Code 33.420.041.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- Gateway Regional Center Design Guidelines

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on September 23, 2020 and determined to be complete on October 7, 2020.

Decision Making Process

The Bureau of Development Services will make a decision on this proposal.

After we consider your comments, we will do one of the following:

- Approve the proposal;
- Approve the proposal with conditions; or
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

If you are interested in viewing information in the file, please contact the planner listed on the front of this proposal. The planner can provide some information over the phone. Please note that due to COVID-19 and limited accessibility to files, only digital copies of material in the file are available for viewing. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at <https://www.portlandoregon.gov/citycode/28197>.

Appeal Process

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Design Commission. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the

review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

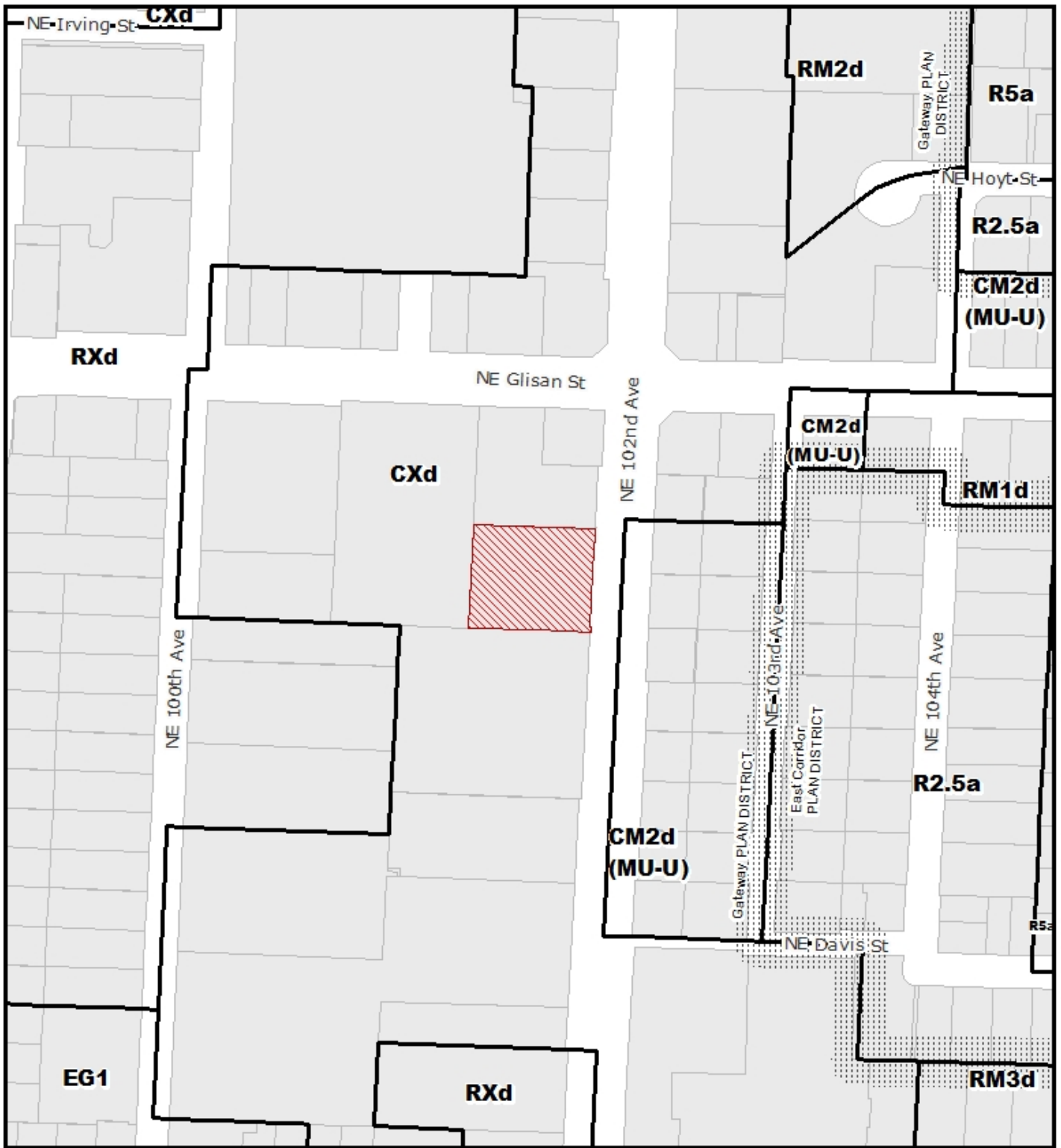
There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

Appeal of the Final City Decision

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures: Zoning Map, Site Plan, Elevation

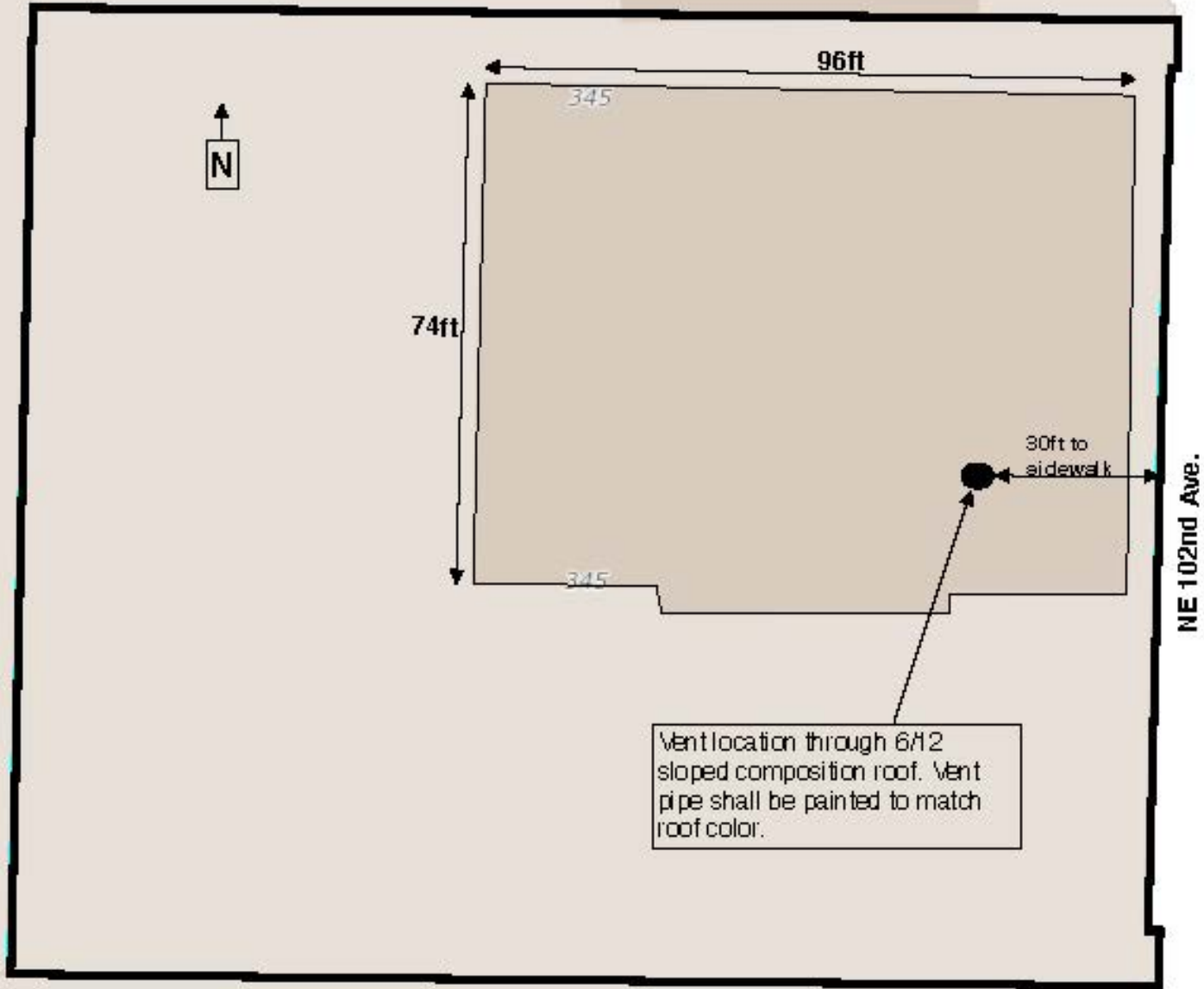


ZONING  NORTH

GATEWAY PLAN DISTRICT

 Site

File No.	LU 20 - 194894 DZ
1/4 Section	3040
Scale	1 inch = 200 feet
State ID	1N2E33DA 300
Exhibit	B Sep 25, 2020



Vent location through 6/12 sloped composition roof. Vent pipe shall be painted to match roof color.

