



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Plan Review Services**  
FROM CONCEPT TO CONSTRUCTION

Dan Ryan, Commissioner  
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**Date:** October 16, 2020  
**To:** Interested Person  
**From:** Morgan Steele, Land Use Services  
503-865-6437/Morgan.Steele@portlandoregon.gov

## **NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD**

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, **we need to receive your written comments by 5 p.m. on November 6, 2020. Your comments must be e-mailed to the assigned planner listed above**; please include the Case File Number in your e-mail. If you do not have access to e-mail, please telephone the planner listed above about submitting comments. Note that all correspondence received will become part of the public record.

## **CASE FILE NUMBER: LU 20-161013 EN AD**

**Applicant:** Benjamin Brodsky | Prologis, L.P., A Limited Partnership Of Delaware  
12720 Gateway Drive, Suite 110 | Tukwila, WA 98168

**Owners:** Danielle Zeghib  
3635 NE Columbia Boulevard | Portland, OR 97211

Scott Krieger | Broadmoor Inc.  
3509 NE Columbia Boulevard | Portland, OR 97211

**Representative:** Gabriela Frask | Mackenzie  
1515 SE Water Avenue, Suite 100 | Portland, OR 97214  
[gfrask@mcknze.com](mailto:gfrask@mcknze.com) | 503.224.9560

**Site Address:** 3509 NE Columbia Boulevard

**Legal Description:** TL 100 86.05 ACRES SPLIT MAP R315222 (R941130540), SECTION 12 1N 1E; TL 2300 0.32 ACRES, SECTION 13 1N 1E; TL 1100 37.75 ACRES SPLIT MAP R315193 (R941121180), SECTION 13 1N 1E; TL 100 0.18 ACRES, SECTION 13 1N 1E; TL 200 0.20 ACRES, SECTION 13 1N 1E

**Tax Account No.:** R941121180, R941130440, R941130540, R941132220, R941132270  
**State ID No.:** 1N1E12D 00100, 1N1E13AD 02300, 1N1E13A 01100, 1N1E13AB 00100, 1N1E13AB 00200

**Quarter Section:** 2134, 2234, 2235, 2334

**Neighborhood:** Sunderland, contact [sandral@cnncoalition.org](mailto:sandral@cnncoalition.org)  
**Business District:** Columbia Corridor Association, contact at [info@columbiacorridor.org](mailto:info@columbiacorridor.org)  
**District Coalition:** Central Northeast Neighbors, contact Alison Stoll at 503-823-2778.

**Plan District:** Portland International Airport - Middle Columbia Slough Subdistrict  
**Other Designations:** 100-Year Floodplain; *Columbia Corridor: Industrial/Environmental Mapping Project* – Site CS1: Buffalo Slough/Peninsula Canal

**Zoning:** *Base Zones:* General Industrial 2 (IG2), Open Space (OS)  
*Overlay Zones:* Environmental Conservation (c), Airport Height (h), Prime Industrial (k), Environmental Protection (p), PDX Noise Impact (x)

**Case Type:** EN AD – Environmental Review & Adjustment Review  
**Procedure:** Type II, an administrative decision with appeal to the Hearings Officer.

**Proposal:**

The applicant is proposing to develop the southern portion of the current Broadmoor Golf Course with a new 350,000± square foot industrial building and associated development including parking, stormwater treatment facilities, and a stormwater outfall. The subject site, Broadmoor Golf Course, is located near the intersection of NE 33<sup>rd</sup> Avenue and NE Columbia Boulevard in Northeast Portland and will no longer function as a golf course upon re-development. The northern portion of the golf course is currently under Environmental Review for a resource enhancement project which proposes to turn existing golf course terrain into a 12.4-acre wetland (LU 20-147136 EN).

The proposed industrial building and associated development will permanently impact 158,890 square feet of the resource area of the Environmental Conservation overlay zone and 253 square feet of the Environmental Protection overlay zone. The proposal will further impact natural resources by requiring the removal of 33 non-native trees (712 inches total diameter breast height). To mitigate for these impacts, the applicant is proposing to install native plantings consisting of 1,436 trees and 2,795 shrubs as well as structure removal from the Middle Columbia Slough (above-ground fuel tanks, septic tank, maintenance sheds, and restroom) and a northern drainage ditch (culvert), slough bank restoration, and restoration of existing impervious surfaces (primarily golf cart paths) through revegetation.

Further, the subject site currently contains a City of Portland Major Public Trail Designation. However, due to the proximity of the airport and its runways, it is unclear at this time where the final trail alignment will be placed. Therefore, the applicant has provided 25-foot wide easements for three City-approved alignments to ensure future dedication and installation of a public trail.

The site is within the City’s Environmental Conservation and Environmental Protection overlay zones. Certain standards must be met to allow the work to occur by right. If the standards are not met, an Environmental Review is required. In this case, the development will exceed the maximum disturbance limits and include parking and lighting within the resource area and the outfall exceeds the maximum size and disturbance area width; therefore, Standards 33.430.140.A, Q, R and 33.430.180.A and H are not met by the proposal. For these reasons, an Environmental Review is required. Further, lighting is proposed in the Environmental Zone within the Portland International Airport Plan District and therefore standard 33.565.410.C.4 is not met. For this reason, an Adjustment Review is also required.

**RELEVANT APPROVAL CRITERIA:**

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- ❖ **33.430.250.A – Outfalls**
- ❖ **33.430.250.E – Other Development**
- ❖ **33.805.040 – Adjustments**

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is

complete at the time of submittal, or complete within 180 days. This application was submitted on June 29, 2020 and determined to be complete on October 14, 2020.

### **DECISION MAKING PROCESS**

The Bureau of Development Services will make a decision on this proposal. After we consider your comments we will do one of the following:

- Approve the proposal;
- Approve the proposal with conditions; or
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

If you are interested in viewing information in the file, please contact the planner listed on the front of this proposal. The planner can provide some information over the phone. Please note that due to COVID-19 and limited accessibility to files, only digital copies of material in the file are available for viewing. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at <https://www.portlandoregon.gov/citycode/28197>.

### **APPEAL PROCESS**

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Hearings Officer. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

### **APPEAL OF THE FINAL CITY DECISION**

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

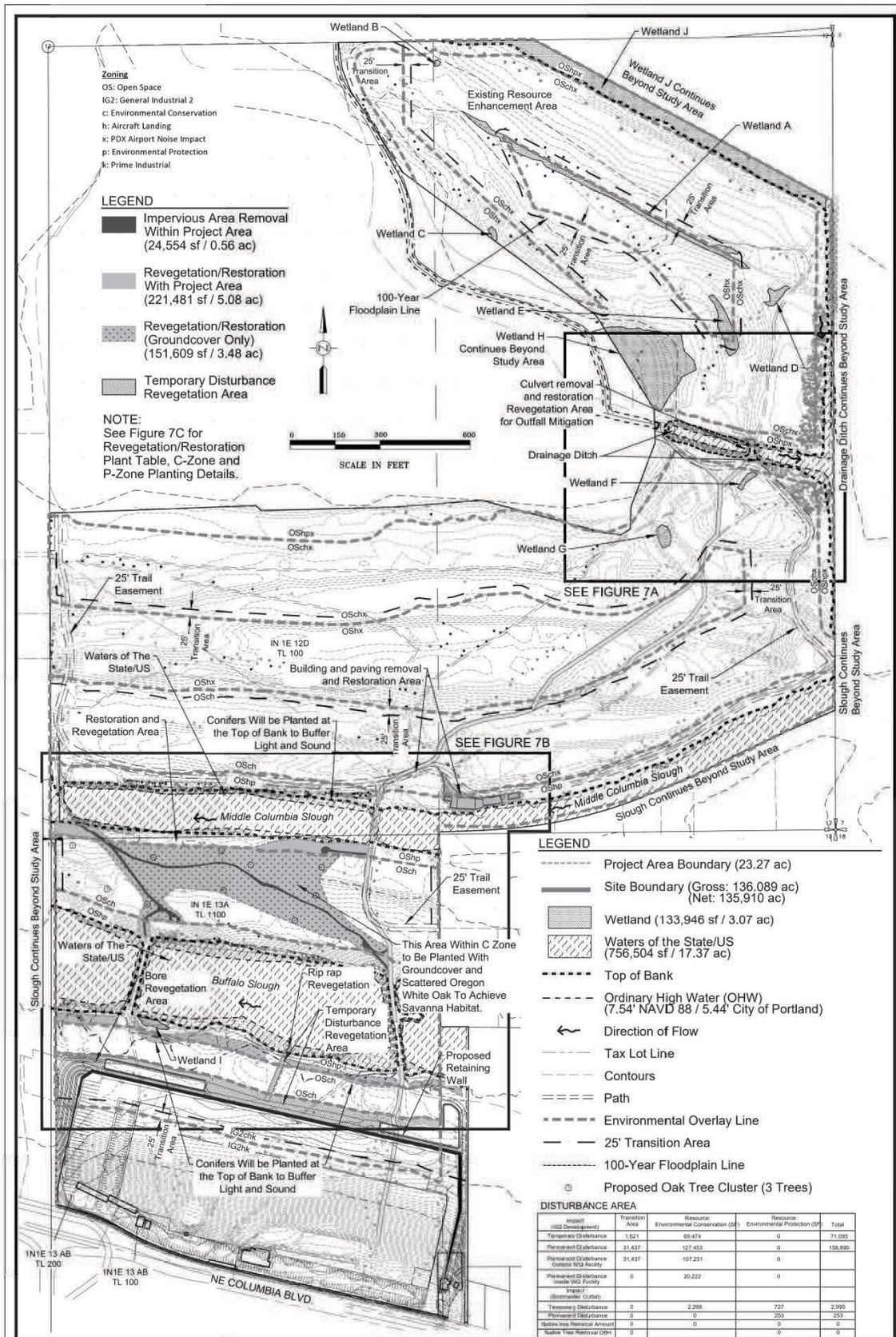
**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**

### **Enclosures:**

Zoning Map  
Site Plans







Plan provided by  
 DOWL and Tapani, Inc.  
 Base provided by S & F Land Services  
 City of Portland Datum

Mitigation Site Plan Overview  
 Broadmoor Golf Course - Portland Oregon

FIGURE  
**7**

10-1-2020