



**City of
Portland, Oregon**
Bureau of Development Services
FROM CONCEPT TO CONSTRUCTION

Dan Ryan, Commissioner
Rebecca Esau, Director
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www.portland.gov/bds

Date: October 19, 2020
To: Interested Person
From: Hannah Bryant, Land Use Services
503-865-6520 / Hannah.Bryant@portlandoregon.gov

NOTICE OF A TYPE I PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, we need to receive your written comments by 5 p.m. on November 2, 2020. **Your comments must be e-mailed to the assigned planner listed above**; please include the Case File Number in your e-mail. If you do not have access to e-mail, please telephone the planner listed above about submitting comments. Note that all correspondence received will become part of the public record.

CASE FILE NUMBER: LU 20-197478 HR – WINDOW REPLACEMENT IN IRVINGTON

Owner/Applicants: Catherine Glavan & Bradford Glavan
2714 NE 18th Ave
Portland, OR 97212-3314

Site Address: 2714 NE 18TH AVE

Legal Description: BLOCK 39 N 35' OF LOT 12 S 1/2 OF LOT 13, IRVINGTON

Tax Account No.: R420408440

State ID No.: 1N1E26AC 12700

Quarter Section: 2732

Neighborhood: Irvington, contact Dean Gisvold at deang@mcewengisvold.com

Business District: Soul District Business Association, contact at Info@nnebaportland.org

District Coalition: Northeast Coalition of Neighborhoods, contact Jessica Rojas at jessica@necoalition.org

Plan District: NONE

Other Designations: *Contributing Resource in the Irvington Historic District*

Zoning: R5 – Residential 5,000 with Historic Resource Protection Overlay

Case Type: HR – Historic Resource Review

Procedure: Type I, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

Proposal:

The applicant seeks Historic Resource Review approval to reconfigure and replace two windows on the north side façade and to replace a band of three original windows on the front (west) façade. The reconfiguration on the north side is requested to facilitate an interior remodel. The proposed windows will match windows on the south façade. The replacement of the front (west)

windows is requested due to deterioration of the original wood windows. The applicant proposes to use Marvin Ultimate wood windows.

Historic Resource Review is required for non-exempt exterior alterations in the Irvington Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria specified in the Portland Zoning Code, Title 33. The relevant approval criteria are:

- *Other Approval Criteria 33.846.060.G*

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on September 30, 2020 and determined to be complete on October 14, 2020.

Decision Making Process

The Bureau of Development Services will make a decision on this proposal. After we consider your comments we will do one of the following:

- Approve the proposal;
- Approve the proposal with conditions; or
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

If you are interested in viewing information in the file, please contact the planner listed on the front of this proposal. The planner can provide some information over the phone. Please note that due to COVID-19 and limited accessibility to files, only digital copies of material in the file are available for viewing. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at <https://www.portlandoregon.gov/citycode/28197>.

Appeal Process

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem OR 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues which may provide the basis for an appeal to LUBA must be raised in writing before the deadline for comments, or you may not be able to raise that issue in an appeal. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

Zoning Map
Site Plan

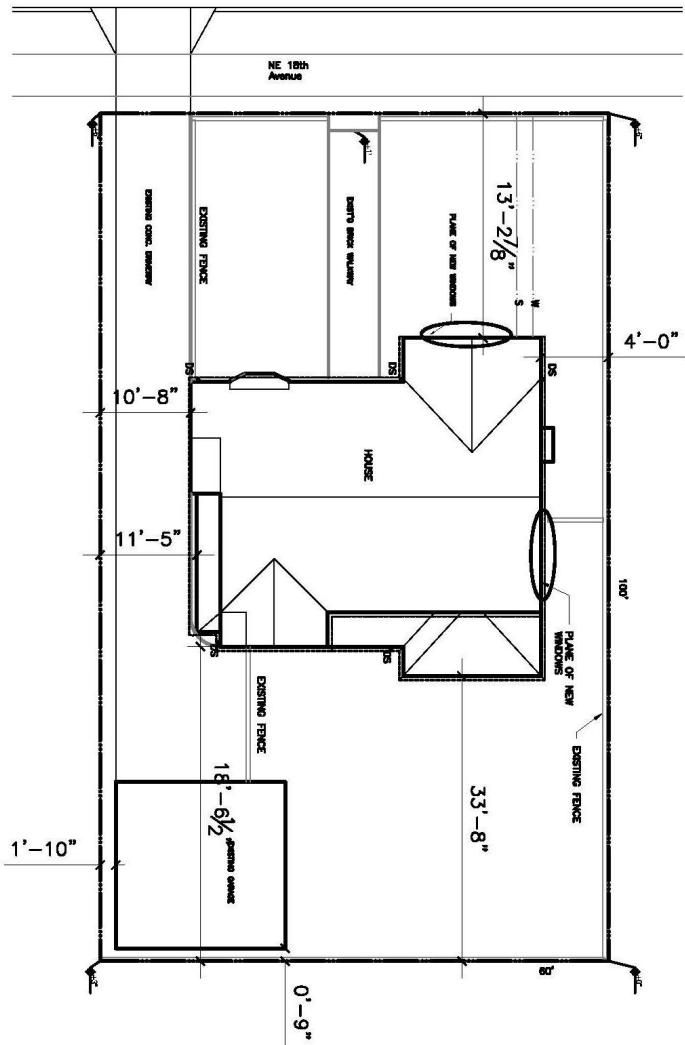


ZONING 
 NORTH
 IRVINGTON HISTORIC DISTRICT

-  Site
-  Historic Landmark

File No.	LU 20 - 197478 HR
1/4 Section	2732
Scale	1 inch = 200 feet
State ID	1N1E26AC 12700
Exhibit	B Oct 02, 2020

GLAVAN HOUSE
 SEPT 27, 2020



LU 20-197478 HR
 SITE PLAN
 1/16" = 1'-0"