



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

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Date: December 16, 2021
To: Interested Person
From: Megan Sita Walker, Land Use Services
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NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 21-094177 HR – REAR ALTERATIONS

GENERAL INFORMATION

Applicant: Colin Jensen | Thesis Studio Architecture
1033 SE Main St., Ste 2
Portland, OR 97214
(503) 701-7027

Owner(s): Jamie Isenstein & Paul Hogan
1524 SE Poplar Ave
Portland, OR 97214-4863

Site Address: 1524 SE POPLAR AVE

Legal Description: BLOCK 20 LOT 13, LADDS ADD
Tax Account No.: R463304490
State ID No.: 1S1E02DB 00500
Quarter Section: 3232

Neighborhood: Hosford-Abernethy, contact Michael Wade at wade.michael@comcast.net

Business District: Hawthorne Blvd. Bus. Assoc., contact at explore@hawthornepdx.com
District Coalition: Southeast Uplift, contact Nancy Champlin at Nanci@seuplift.org

Plan District: NONE
Other Designations: Non-contributing resource in the Ladd's Addition Historic District

Zoning: R5 – Residnetial 5,000 with Historic Resource Protection Overlay Zone

Case Type: HR – Historic Resource Review
Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

Proposal:

The applicant requests Historic Resource Review approval for alterations to the rear elevation of a non-contributing resource in the Ladd's Addition Historic District. The proposed alterations include:

On the Side and Rear (south and west) Elevations

- Removal of a non-original rear porch with deck and low slope roof;
- Alterations to an enclosed mudroom to include removal of non-original windows and a small (less than 14 square foot) addition at the rear, southwest corner of the mudroom to align with the main façade. The new area of cladding limited to the mudroom addition will be either a small area of fiber cement cladding to match the existing non-original asbestos cladding or wood cladding to match the material and reveal of the original wood cladding if it remains underneath the asbestos cladding;
- Installation of three (3) new wood windows with simulated divided lites;
- Installation of a single full-lite door with two (2) side lites. The proposed rear door is a 'Simpson' door with a 'Waterbarrier MDO' exterior and a wood interior;
- Installation of a rear deck with a wooden railing and storage area below; and
- Installation of two (2) new light fixtures.

Historic resource review is required because the proposal includes non-exempt exterior alterations in the Ladd's Addition Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- *Ladd's Addition Conservation District Guidelines*

ANALYSIS

Site and Vicinity: The subject, 5,120 SF property fronts onto SE Poplar Avenue to the northwest and is located within the Ladd's Addition Historic District, listed on the National Register of Historic Places on August 31, 1988. The period of significance of the Ladd's Addition Historic District is 1891-1939. The existing house, built in 1907, is classified as non-contributing in the district and is noted in the Ladd's Addition nomination as follows:

This two-and-one-half story el-shaped building has a steeply-pitched, side-facing double-gable roof with projecting eaves; the roof extends in a flare on the northwest end of the building to cover the reentrant porch. The front-facing wing has a gable roof with projecting eaves and a gabled square bay window. Windows are primarily one-over-one double-hung wood sash windows, with diamond-paned leaded glass in the upper sashes. There is a small polygonal bay window with a hipped roof on the north elevation, with diamond-paned leaded glass casements. The porch has been altered, with a flat-roofed extension beyond the plane of the building, supported on a rectangular wood post and a vertical slat screen; the front gable end has been altered with a series of metal sash casements and glazing extending to the eave line of the roof; the original siding is covered with asbestos shingles. Window, porch and siding changes significantly affect the building's historic character. The building has a concrete foundation and basement, and a typical mid-block setback. A vertical wood board fence extends from the corner of the front elevation to the front lot line; there are some ornamental shrubs in the front yard, and a brick-paved path leading to the front porch.

The Historic District, with its distinctive pattern of streets, alleys, and public gardens, is significant as an early example of planned suburban development related to the extension of streetcar lines east of the Willamette River in the late nineteenth century. The historic character of the neighborhood is one of small to medium-sized houses, set back moderately from tree-lined streets, with five public gardens incorporated into the distinctive layout of the

subdivision at significant nodes. A few churches, small apartment buildings, and modest commercial properties are interspersed throughout the district. Dense traditional storefront commercial and apartment development is concentrated along SE Hawthorne, the northern boundary street, and SE Division at the south, which carried the original streetcar lines.

Zoning: The Residential 5,000 (R5) single-dwelling zone is intended to preserve land for housing and to provide housing opportunities for individual households. The zone implements the comprehensive plan policies and designations for single-dwelling housing. Minimum lot size is 3,000 square feet, with minimum width and depth dimensions of 36 and 50 feet, respectively. Minimum densities are based on lot size and street configuration. Maximum densities are 1 lot per 5,000 square feet of site area.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in the region and preserves significant parts of the region’s heritage. The regulations implement Portland’s Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region’s citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city’s economic health, and helps to preserve and enhance the value of historic properties.

Ladd’s Addition is Portland’s oldest planned residential community (1891) and one of the oldest in the western United States. Ladd’s radial street plan marked a dramatic break in Portland’s typical grid street pattern. With a formal symmetry echoing Renaissance cities and gardens, the radial streets converge at five formal gardens, which are the showpieces of the community. Parking strips are lines with mature street trees, green archways of elms and maples. The architectural character of Ladd’s Addition was established in the three decades following the turn of the century. Although the individual structures represent a variety of styles, including Bungalow, Mission, Tudor and Colonial Revival, they have a continuity of materials, scale, detailing, orientation and setback which creates a sense of architectural uniformity.

Land Use History: City records indicate there are no prior land use reviews for this site.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **November 1, 2021**. The following Bureaus have responded with no issues or concerns:

1. Bureau of Environmental Services (See Exhibit E-1)
2. Bureau of Transportation Engineering (See Exhibit E-2)
3. Life safety Division of BDS (See Exhibit E-3)
4. Site Development Section of BDS (See Exhibit E-4)
5. Water Bureau (See Exhibit E-5)
6. Fire Bureau (See Exhibit E-6)

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on November 1, 2021. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846.060 - Historic Resource Review

Purpose of Historic Resource Review

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Resource Review Approval Criteria

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the Ladd's Addition Historic District and the proposal is for a non-exempt treatment not requiring a new foundation. Therefore, Historic Resource Review approval is required. The approval criteria are the *Ladd's Addition Conservation District Design Guidelines – Exterior Rehabilitation*.

Staff has considered all guidelines and addressed only those applicable to this proposal.

Ladd's Addition Conservation District Guidelines – Exterior Rehabilitation

- 1. Façades Oriented to a Street.** In rehabilitating existing buildings, the architectural integrity of street-oriented façades should be maintained. Additions and structural alterations should be limited to the rear and side yard façades and be minimally visible from the street.
- 2. Foundations.** Changes to the foundation should match or be compatible with the original foundation in height and materials.

Findings for 1 and 2: The proposed alterations occur on side and rear elevations and will not impact the architectural integrity of the street-oriented facades of the resource. Where alterations are proposed to extend an existing non-original mudroom to better align with the façade of the resource, a small portion of new stem wall is proposed. This stem wall will match the existing foundation and will not be visible from the street.

These guidelines are therefore met.

- 3. Exterior Siding Material.** Restoration and maintenance of original siding materials is encouraged. Materials used on additions should match or be compatible with the predominant materials used on the original structure. Most single family residences and duplexes in Ladd's Addition feature stucco, horizontal wood siding, wood shingles, brick or a combination of these materials. Most commercial and multi-family structures feature stucco or brick. The following materials are discouraged: plywood, used brick, shakes, exposed concrete block and metal.

Findings for 3: The proposal currently does not include removal of the non-original asbestos siding that occur on all facades of the resource. If the non-original cladding were removed and the original cladding were repaired and restored, this would be considered exempt from review. For the limited new area of cladding at the southwest (rear) corner where the non-original mud room is to be expanded by 14SF, a relatively small area of fiber cement siding is proposed to blend in with the existing non-original siding. While the approval of fiber cement cladding is typically not supported, in this situation where the area of new cladding is limited to the rear corner of the building, the property is listed as non-contributing in the District, and the restoration of the originally cladding is not currently proposed, this small area of fiber cement cladding to match the non-original asbestos cladding is supported. However, if restoration and repair of the original cladding underneath the asbestos cladding is pursued (which would be considered exempt from review) new cladding to match original wood cladding in terms of material and reveal is also approved in the area of the mud room addition.

This guideline is therefore met.

- 4. Roof Form.** Repair and alteration of roofs should retain:
 - a. The original roof shape and pitch;
 - b. Original structural and decorative features such as gables, dormers, chimneys, cornices, parapets, pediments, frieze boards, exposed rafters and other ornamental details; and,
 - c. Whenever possible the original type, size, color, and pattern of roofing materials. New roof features including roof additions and new dormers should be

compatible in size, scale, materials, and color with the original building. Skylights, solar, mechanical and service equipment, and new roof features should be inconspicuous from the street.

Findings for 4: The proposal does not include alterations to the original roof form of the building or detailing. Where alterations associated with the minor addition to the non-original mudroom occur at the rear, a return eave detail is proposed to compliment the original roof detailing to remain.

This guideline is therefore met.

5. Front Façade Detailing. Original entrances to buildings, front porches and projecting features, such as balconies, bays, and dormer windows should be retained or restored.

Findings for 5: The proposal does not include alterations to front façade detailing.

This guideline is therefore not applicable.

6. Windows and Doors. Original windows and doors, including trim, should be retained or restored. If repair is not feasible, new windows or windows on additions should match or be compatible with original windows in form, materials, type, pattern and placement of openings. On residences, the removal of original wood sash windows and replacement with aluminum sash is especially discouraged. Restoration of commercial storefront windows with large fixed glass panes below and smaller glass panes above is especially encouraged.

Findings for 6: Non-original picture windows at the rear of the building are proposed to be removed and replaced with all-wood windows with simulated divided lites to relate to match the proportion and detailing of the existing/ original wood windows that remain. The proposed simulated divided lites include both an interior and exterior muntin with a spacer bar between the panes of the new dual glazed window. The proposed rear door is also wood which better relates to the original detailing that remains intact on this non-contributing resource. As such, the proposal is compatible with original elements of the subject property in terms of form, materials, type/ operation, and placement, and with the District as a whole.

This guideline is therefore met.

8. Color. Restoration of original colors, or colors appropriate to the style and era of the building, is encouraged.

Findings for 8: The proposed paint on the exterior of the building will be selected from a historically-minded color palette appropriate to the style and era of the building.

This guideline is therefore met.

13. Crime Prevention. Crime prevention elements should be included in the design with specific attention to landscaping, parking areas, walkways, lighting, entries, and visibility. Windows and entries should not be obscured. Parking areas, walkways, and entries should be adequately illuminated for visibility.

Findings for 13: The alterations to the rear of the building to relocate the rear door toward the center of the rear elevation along with the addition of a usable deck with two (2) proposed light fixtures. The increase in glazing on the west (rear) elevation and development of an illuminated, usable outdoor area at the back of the house support crime prevention.

This guideline is therefore met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The proposed alterations to the side and rear elevations of the non-contributing resource are intended to restore the character of the building to ensure compatibility with the building itself as well as the district as a whole. The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review approval criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

Historic Resource Review Approval of exterior alterations to a non-contributing resource in the Ladd's Addition Historic District to include the following:

On the Side and Rear (south and west) Elevations

- Removal of a non-original rear porch with deck and low slope roof;
- Alterations to an enclosed mudroom to include removal of non-original windows and a small (less than 14 square foot) addition at the rear, southwest corner of the mudroom to align with the main façade. The new area of cladding limited to the mudroom addition will be either a small area of fiber cement cladding to match the existing non-original asbestos cladding or wood cladding to match the material and reveal of the original wood cladding if it remains underneath the asbestos cladding;
- Installation of three (3) new wood windows with simulated divided lites;
- Installation of a single full-lite door with two (2) side lites. The proposed rear door is a 'Simpson' door with a 'Waterbarrier MDO' exterior and a wood interior;
- Installation of a rear deck with a wooden railing and storage area below; and
- Installation of two (2) new light fixtures.

Approved per Exhibits C-1 through C-10, signed and dated December 14, 2021, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 21-094177 HR." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

Staff Planner: Megan Sita Walker

contact the planner listed on the front page of this decision for assistance in filing the appeal and information on fee waivers. Please see the appeal form for additional information.

If you are interested in viewing information in this file, please contact the planner listed on the front of this notice. The planner can email you documents from the file. A fee would be required for all requests for paper copies of file documents. Additional information about the City of Portland, and city bureaus is available online at <https://www.portland.gov>. A digital copy of the Portland Zoning Code is available online at <https://www.portlandoregon.gov/zoningcode>.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **December 30, 2021** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

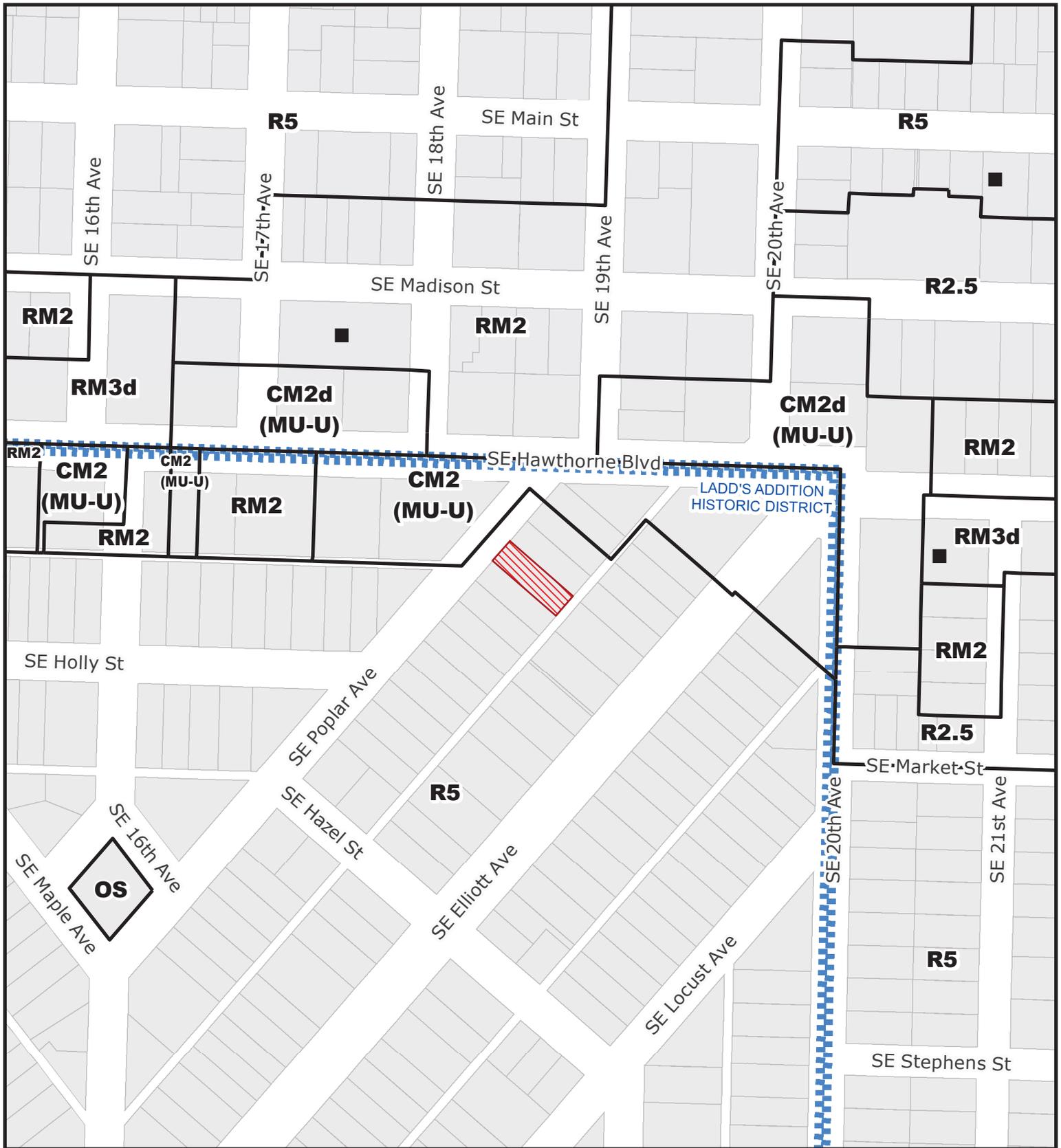
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement:
 - 1. Original Narrative
 - 2. Original Drawing Set
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Existing South (Rear) Elevation
 - 3. Existing West (Side) Elevation
 - 4. Proposed South (Rear) Elevation (attached)
 - 5. Proposed West (Side) Elevation (attached)
 - 6. Specifications – Door
 - 7. Details – Door
 - 8. Details – Windows
 - 9. Specifications – Door Hardware
 - 10. Specifications – Light Fixtures
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Bureau of Environmental Services
 - 2. Bureau of Transportation Engineering
 - 3. Life safety Division of BDS
 - 4. Site Development Section of BDS
 - 5. Water Bureau
 - 6. Fire Bureau
- F. Correspondence: none
- G. Other:
 - 1. Original LU Application
 - 2. Oregon Historic Site Record
 - 3. Page from Ladd's Nomination (Section 7, Page 7.233)
 - 4. Email Correspondence between staff and the applicant

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING



For Zoning Code in effect Post August 1, 2021



Site



Historic Landmark

THIS SITE LIES WITHIN THE:
LADD'S ADDITION HISTORIC DISTRICT

File No.	LU 21 - 094177 HR
1/4 Section	3232
Scale	1 inch = 200 feet
State ID	1S1E02DB 500
Exhibit	B Oct 08, 2021

*** Approved per Conditions 'B' - 'C' ***

Approved
City of Portland
Bureau of Development Services

Planner _____

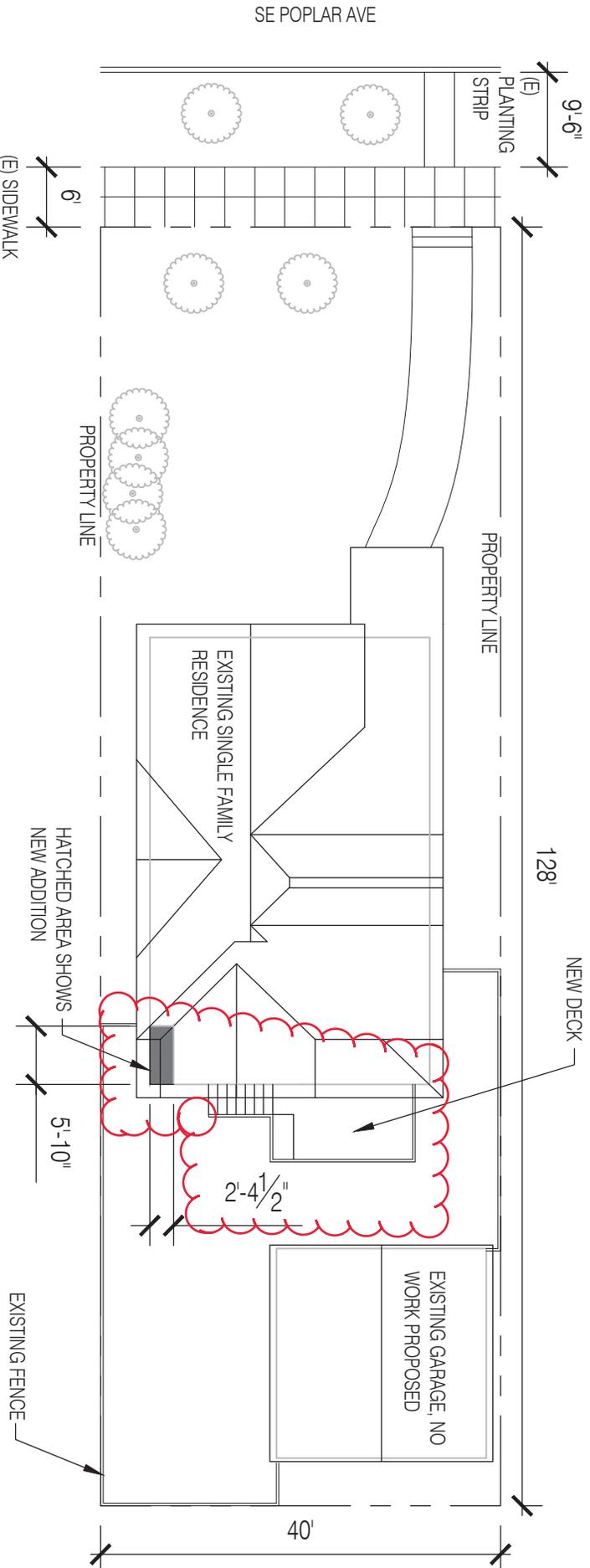


Date _____

12-16-2021

*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

1524 SE POPLAR AVE
LAND USE REVIEW
TYPE IX HISTORIC



PROPOSED SITE PLAN
LADD'S ADDITION HISTORIC DISTRICT

scale 1/16" = 1' on 8.5x11" sheet

THESIS
STUDIOS
EXH C-1

LU 21-094177 HR

* Approved per Conditions 'B' - 'C'*

Approved
City of Portland
Bureau of Development Services

Planner

Date

12-16-2021

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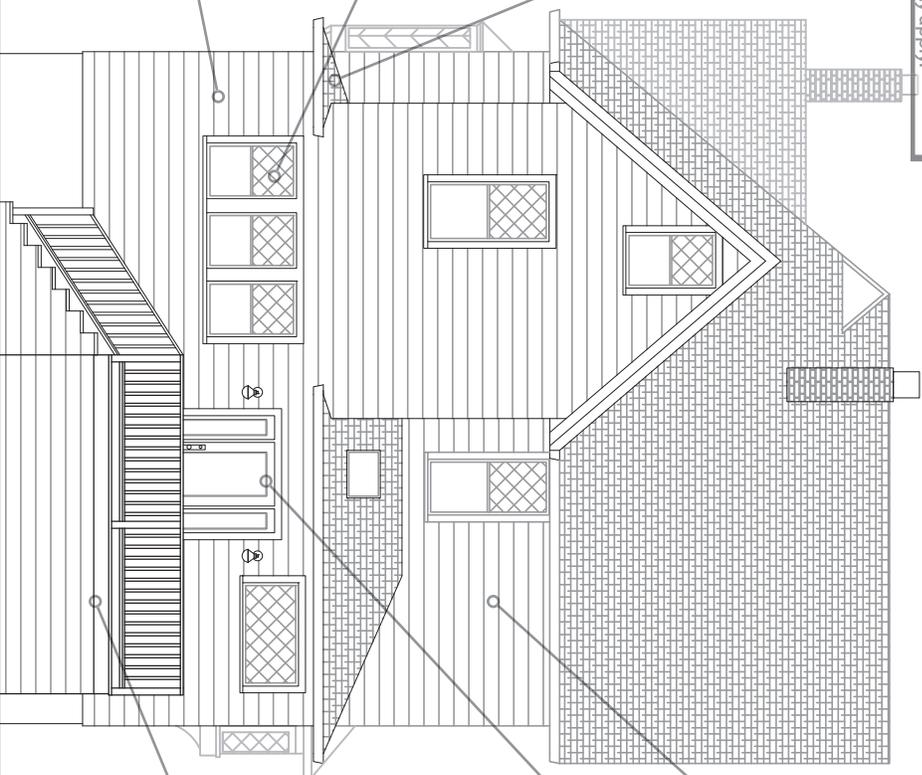
Small New Roof Section Over

addition will match house existing and will provide a better balance to the back facade

new windows on back of house will be custom-made to match existing and original window style of the home

corner of main level will be infilled to removed awkward jog of walls, resulting in small 9 square feet addition to kitchen inside

scale 1/8" = 1' on 8.5x11" sheet



house to receive new paint

new Craftsman-style back door with better access to garden, see door spec sheets for more details; new sconces on each side of door

new deck with wood railing will feel much more era-appropriate and original to architecture of home

PROPOSED ELEVATIONS LADD'S ADDITION HISTORIC DISTRICT

1524 SE POPLAR AVE
LAND USE REVIEW
TYPE IX HISTORIC

*** Approved per Conditions 'B' - 'C'***

Approved
City of Portland
Bureau of Development Services

Planner

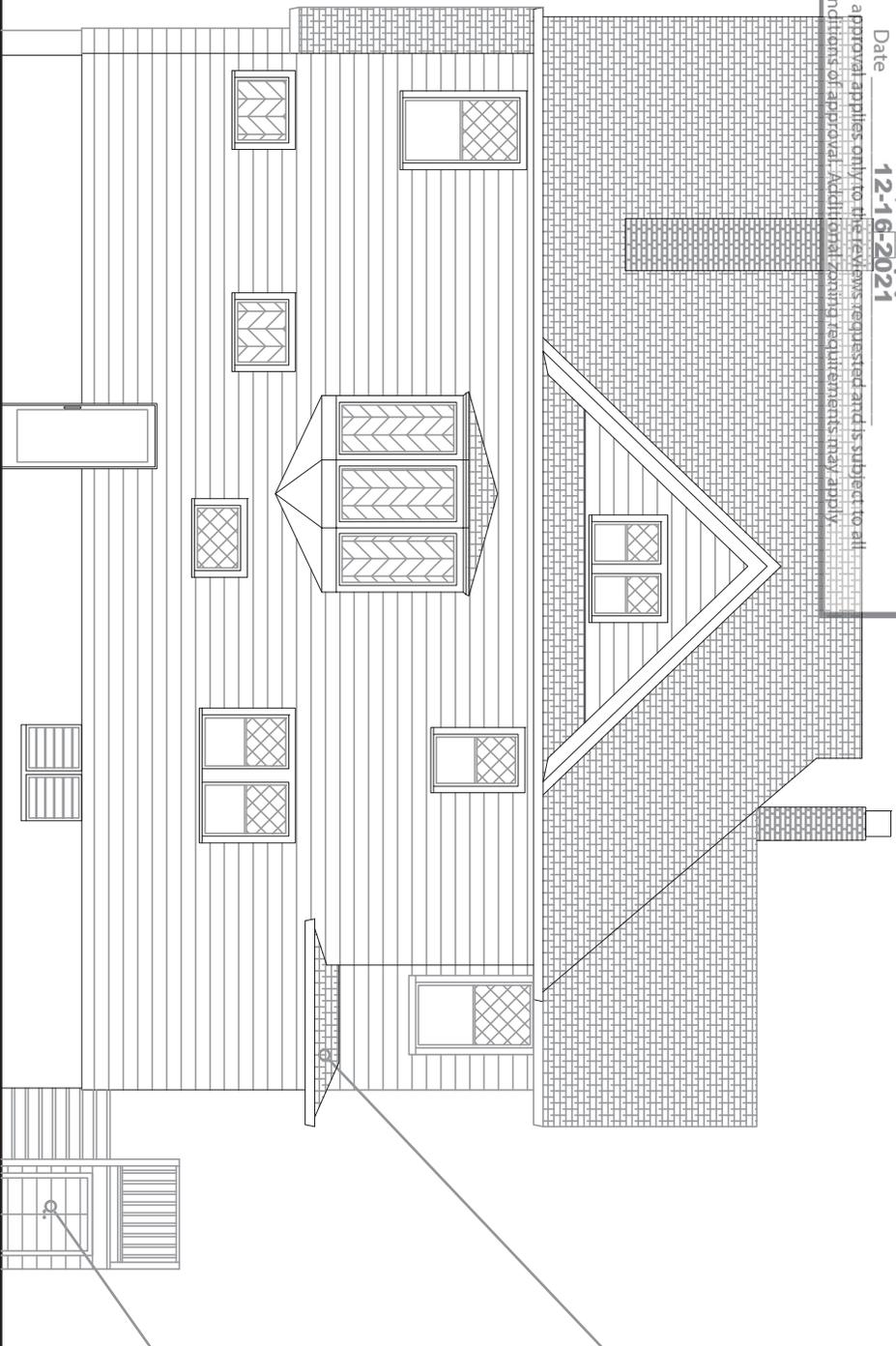


Date

12-16-2021

*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

1524 SE POPLAR AVE
LAND USE REVIEW
TYPE IX HISTORIC



small new roof over 9 square feet addition to match house existing in style

storage access

scale 1/8" = 1' on 8.5x11" sheet

PROPOSED ELEVATIONS
LADD'S ADDITION HISTORIC DISTRICT