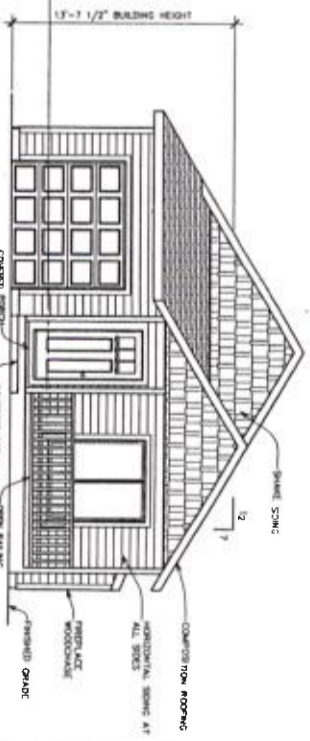
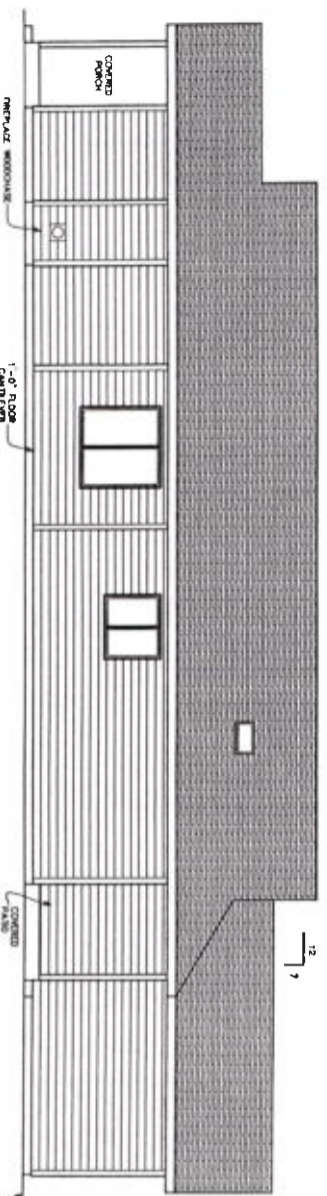


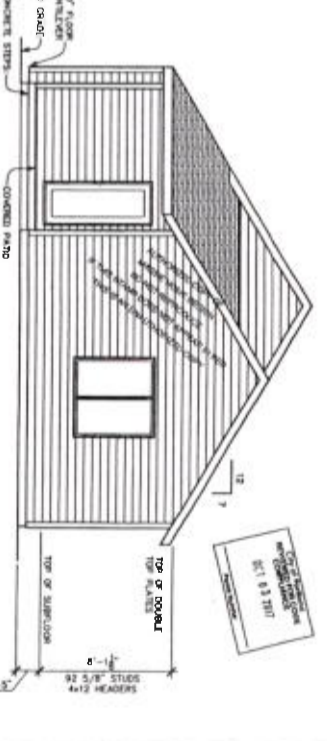
**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

City of Portland  
Bureau of  
Development Services  
By: *[Signature]*  
Approved by:  
Planning and Land Use Review

CITY OF PORTLAND ZONE CODE: R2-10  
STREET ADDRESS: 1100 NE 11TH AVE  
PROJECT ADDRESS: 1100 NE 11TH AVE  
STREET ADDRESS: 1100 NE 11TH AVE  
AREA OF STREET FRONTAGE: 1100 NE 11TH AVE

(EAST LOT)

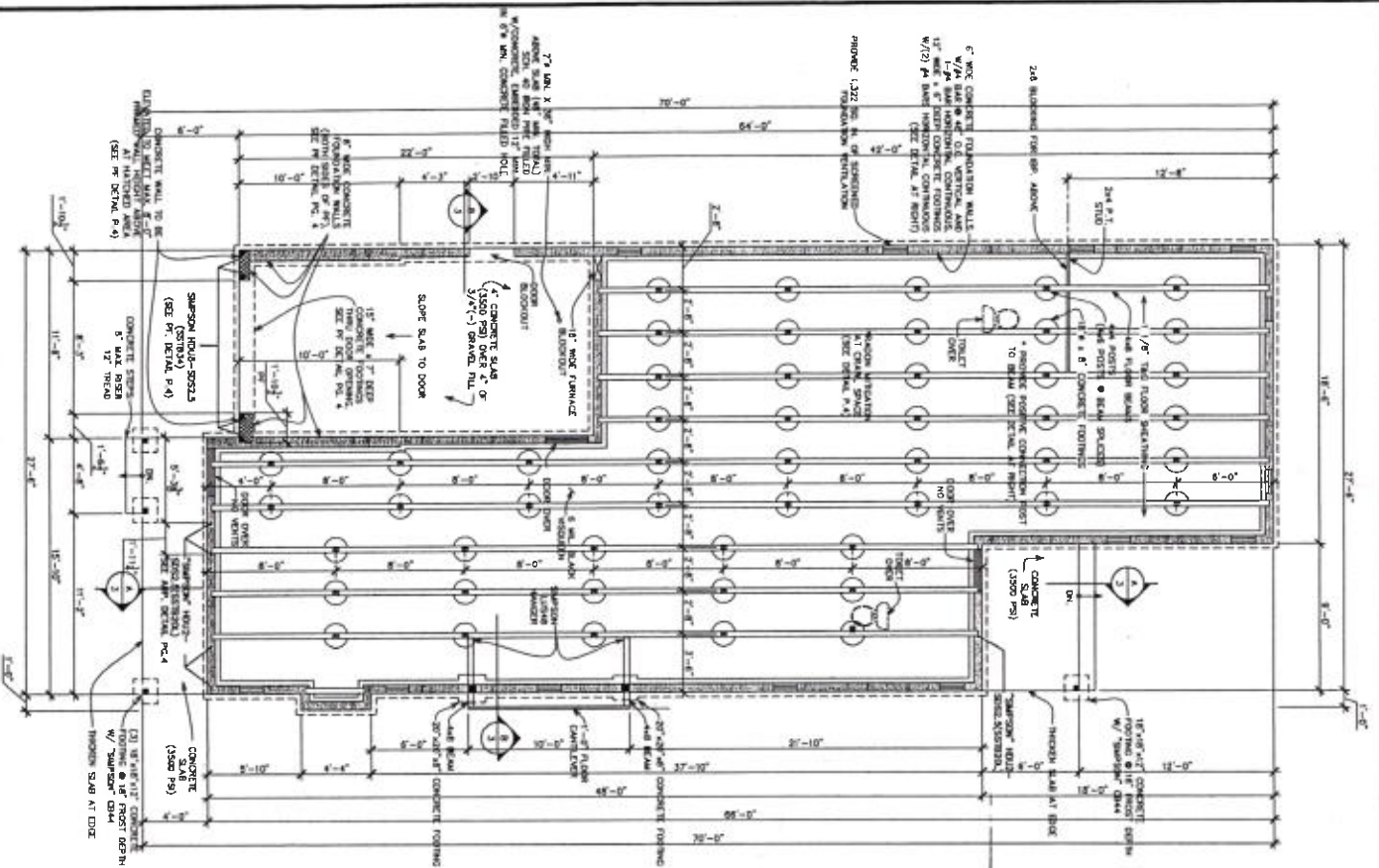
**PLAN 1383**  
**FOR**  
**KIMCO PROPERTIES LTD**

PROJECT ADDRESS:  
E. 12.5' OF LOT 29 & 28  
BE SALMON ST. (OLD ADDRESS 1182)  
PORTLAND, OREGON 97216  
THESE PLANS ARE FOR THE CONSTRUCTION OF  
THE BUILDING ONLY AND ARE NOT TO BE COPIED  
IN ANY FORM WITHOUT THE EXPRESS WRITTEN  
PERMISSION OF MASSIE HOME DESIGN.

**MHD**  
**MASSIE HOME DESIGN**  
100 NW 20TH ST, STE 200  
PORTLAND, OREGON 97209  
PHONE: (503) 463-1100  
EMAIL: hrend@massiehd.com

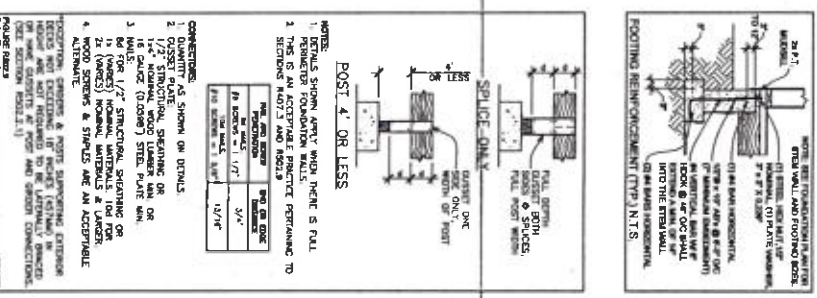
DESIGNER: E.H.  
DATE: 7-21-17  
REV:  
JOB NO: 1383  
OF 10

17-129201-R5 SCAN 2

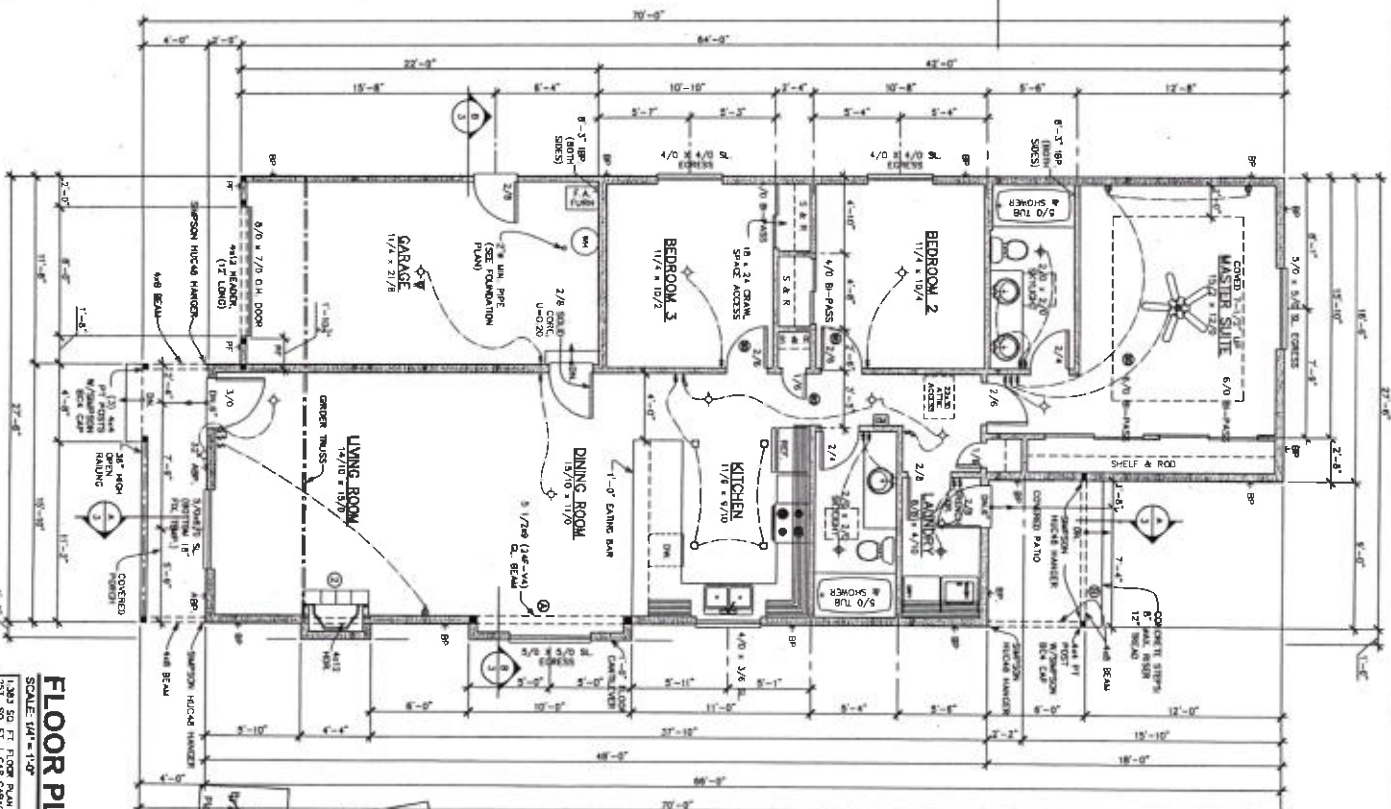


**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

NOTE: SHIMMER PRODUCTS TO BE INSTALLED AS SHOWN ON SHEETS 1001-1002 OF THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK. CONSULT SHIMMER DIVISION FOR MORE INFORMATION.



- NOTE: 1" DETAILS SHOWN ANYWHERE OTHER THAN FOUNDATION JOINTS SHALL BE AS SHOWN ON SHEETS 1001-1002 OF THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK. CONSULT SHIMMER DIVISION FOR MORE INFORMATION.
- 1. DETAILS SHOWN ANYWHERE OTHER THAN FOUNDATION JOINTS SHALL BE AS SHOWN ON SHEETS 1001-1002 OF THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK. CONSULT SHIMMER DIVISION FOR MORE INFORMATION.
  - 2. PERMITTED FOUNDATION WALLS PERFORMING TO PERMITS.
  - 3. PERMITTED FOUNDATION JOINTS PERFORMING TO PERMITS.
  - 4. PERMITTED FOUNDATION JOINTS PERFORMING TO PERMITS.
- | ITEM | DESCRIPTION                    | QUANTITY | UNIT |
|------|--------------------------------|----------|------|
| 1    | POST 4" OR LESS                | 1        | EA   |
| 2    | SPLICE-DIM                     | 1        | EA   |
| 3    | FOOTING REINFORCEMENT (TYPE 1) | 1        | EA   |
- CONNECTIONS:** AS SHOWN ON DETAILS.
- 1. 1/2" MINIMUM SPACING OR 12" MAXIMUM SPACING.
  - 2. 1/2" MINIMUM SPACING OR 12" MAXIMUM SPACING.
  - 3. 1/2" MINIMUM SPACING OR 12" MAXIMUM SPACING.
- NOTES:**
- 1. FOR 1/2" STRUCTURAL STEELING OR 1/2" STRUCTURAL STEELING.
  - 2. FOR 1/2" STRUCTURAL STEELING OR 1/2" STRUCTURAL STEELING.
  - 3. FOR 1/2" STRUCTURAL STEELING OR 1/2" STRUCTURAL STEELING.
  - 4. FOR 1/2" STRUCTURAL STEELING OR 1/2" STRUCTURAL STEELING.



**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
1.393 SQ. FT. FLOOR PLAN  
297 SQ. FT. 1' C&G GARAGE

- LEGEND**
- 1. SHIMMER HICED HANGER
  - 2. CONCRETE STEPS
  - 3. SPRING
  - 4. CAPPED W/ SLATE
- NOTES:**
- 1. SHIMMER HICED HANGER TO BE INSTALLED AS SHOWN ON SHEETS 1001-1002 OF THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK.
  - 2. CONCRETE STEPS TO BE INSTALLED AS SHOWN ON SHEETS 1001-1002 OF THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK.
  - 3. SPRING TO BE INSTALLED AS SHOWN ON SHEETS 1001-1002 OF THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK.
  - 4. CAPPED W/ SLATE TO BE INSTALLED AS SHOWN ON SHEETS 1001-1002 OF THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK.
- PERMITS:**
- 1. PERMITS SHOWN ANYWHERE OTHER THAN FOUNDATION JOINTS SHALL BE AS SHOWN ON SHEETS 1001-1002 OF THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK.
  - 2. PERMITS SHOWN ANYWHERE OTHER THAN FOUNDATION JOINTS SHALL BE AS SHOWN ON SHEETS 1001-1002 OF THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK.
  - 3. PERMITS SHOWN ANYWHERE OTHER THAN FOUNDATION JOINTS SHALL BE AS SHOWN ON SHEETS 1001-1002 OF THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK.
- DATE:** 01.03.2010
- PROJECT:** 1001-1002
- DRAWN BY:** [Name]



(3) 1.5" GALLERY PEAR (PRIUS CALLERNA (ASTOCKART) OR EQUIV. ALTERNATE TREE MANUAL REVISION FOR THE FIRST YEAR

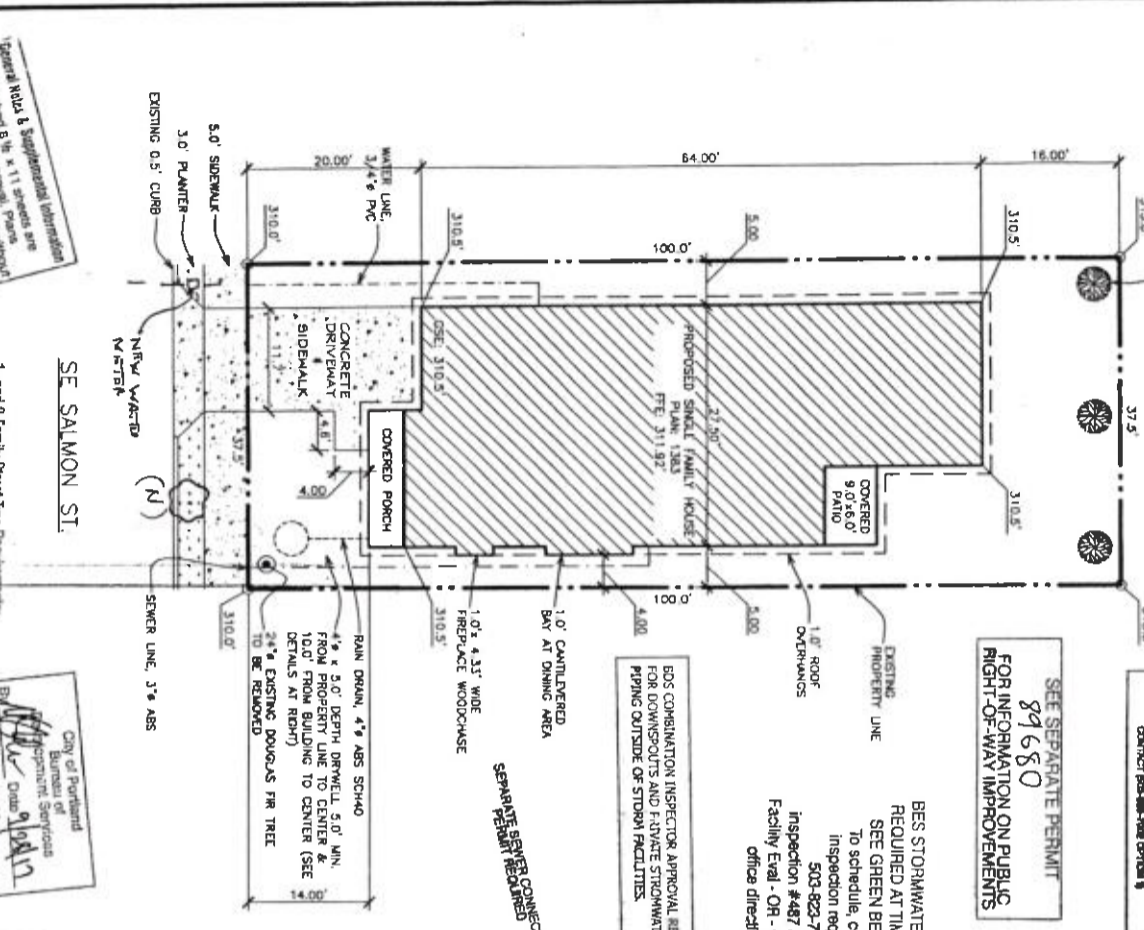
AS A CONDITION OF FINAL OCCUPANCY PERMITS, THE ASSOCIATED NEIGHBORHOOD PERMIT MUST BE APPROVED BY THE NEIGHBORHOOD COUNCIL (SEE THE CITY OF PORTLAND)

SEE SEPARATE PERMIT 891680 FOR INFORMATION ON PUBLIC RIGHT-OF-WAY IMPROVEMENTS

BES STORMWATER FACILITY INSPECTION REQUIRED AT TIME OF CONSTRUCTION. SEE GREEN BES INSPECTION CARD. To schedule, contact the automated inspection request (AIR) system at 503-823-7000 and request inspection #487 BES Cheshire Stormwater Facility Eval - OR - you may also contact our office directly at 503-823-2059.

BES CONSTRUCTION INSPECTOR APPROVAL REQUIRED FOR DOWNSPOUTS AND EXPOSED STORMWATER PIPING OUTSIDE OF STUDY FACILITIES.

SEPARATE SEWER CONNECTION PERMIT REQUIRED



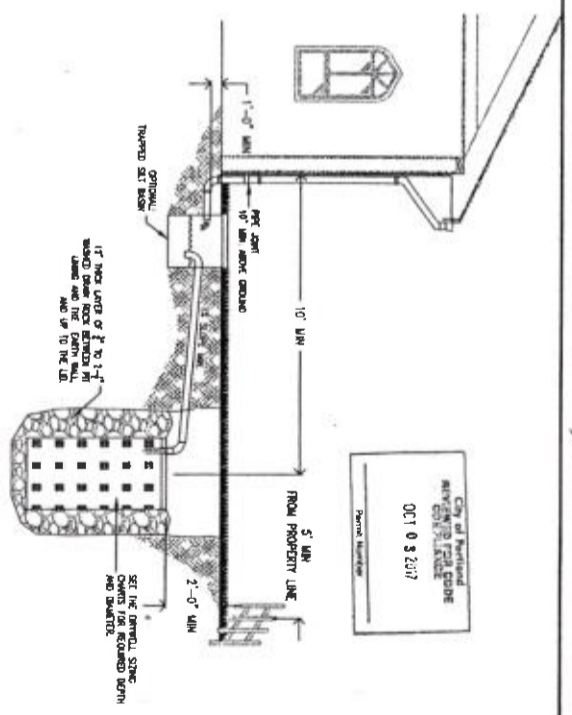
General Note & Supplemental Information: The attached 8 1/2" x 11" sheets are part of this plan and you without are considered appended to the approved set of plans.

1- and 2-Family Street Tree Requirements: 1 1/2-inch caliper Street Trees Required. Plant trees per Urban Forestry guidelines. Call 503-823-8733 for more information.

City of Portland Bureau of Planning and Zoning Services Approved By: [Signature] Date: 9/10/17

NOTE: CONTRACTOR TO SPECIFY EXACT LOCATION OF UTILITY STRAPS

TOTAL IMPROVEMENTS AREA: 2,174.6 SQ. FT. IMPROVEMENTS ROOF AREA: 1,946 SQ. FT.



City of Portland APPROVED FOR CODE OCT 0 9 2017

Table 2-6: Drywell Boring Logs

Once approval has been given by BES for onsite installation of stormwater, the following chart shall be used to select the number and size of drywells. Drywell boxes are accessible.

Area (sq-ft)	5' Drywell Depth	10' Drywell Depth	15' Drywell Depth	20' Drywell Depth
1000	1	1	1	1
2000	1	1	1	1
3000	1	1	1	1
4000	1	1	1	1
5000	1	1	1	1
6000	1	1	1	1
7000	1	1	1	1
8000	1	1	1	1
9000	1	1	1	1
10000	1	1	1	1

- Provide protection from all vehicle traffic, equipment loading, and foot traffic in proposed infiltration areas prior to, during, and after construction.
- Staging criteria: Gravelly sand, gravelly sandy sand, or other equally porous material must occur in a continuous 5' deep stratum within 12' of the ground surface. Drywell shall not be placed where base of facility has less than 5' of separation to water table.
- Storage Exhibit 2-36 is used to size the drywell(s) based on impervious area.
- Top of drywell must be below lowest finished floor.
  - Setback (from center of Drywell):
    - 10' from foundations
    - 5' from property lines
    - 20' from deepsoak.
- Piping shall be ABS SCH40, cast iron, or PVC SCH40. 3" pipe required for risicles extending up to 1000 ft. of impervious area, otherwise 4" minimum pipe. Piping must have 1% grade. Uniform Plumbing Code also applies.
- Trapped air header: Optional for roof runoff or production only period areas.

STORMWATER MANAGEMENT TYPICAL DETAILS

- Simplified Design Approach - DRYWELL

NUMBER SW-180 7-1-10

City of Portland Bureau of Environmental Services

(EAST LOT)

PROJECT LOCAL DESCRIPTION: STATE OLD D. 1489000 9100 VENTURA PK. BLOCK 8 E. 325 OF LOT 29 & 30 NW 1/4 NE 1/4 BE 2.1.15 R. 2E. 1W. MULTITHROWAL CO. PROJECT ADDRESS: SE SALMON ST (OLD ADDRESS: 11803) PORTLAND OR 97214 PROPOSED PROJECT FOR: MICO PROPERTIES LTD. ZONING: ZONE R8

FLA NETWORK AREA: 2918 SQ. FT. DRIVEWAY & SIDEWALK COVERED FRONT PORCH REBAR COVERED PATIO TOTAL: 3811 SQ. FT. LOT COVERAGE: 13700 SQ. FT. BUILDING AREA (NOT INCLUDING OVERHANGS) 47% LOT COVERAGE

SITE PLAN SCALE: 1" = 10' DATE: 3-24-17 JOB#: 17-210

MASSIE HOME DESIGN PHONE: (503) 831-1100 EMAIL: [redacted]