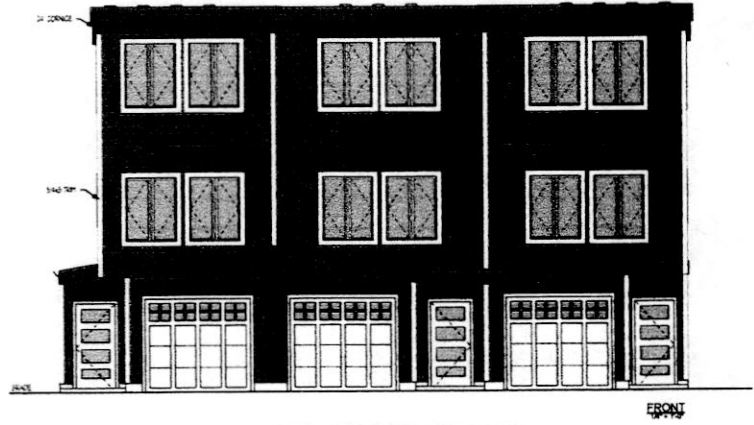


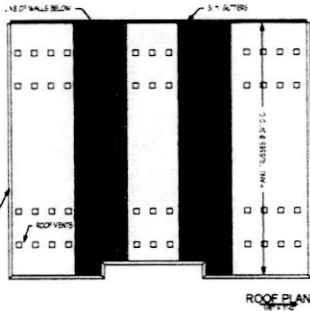
DRAWING INDEX	
Sheet Number	Sheet Name
1	ELEVATIONS AND ROOF PLAN
2	FIRST FLOOR PLAN
3	SECOND FLOOR PLAN
4	THIRD FLOOR PLAN
5	FOUNDATION PLAN
6	GENERAL NOTES
7	SECTIONS
8	DETAILS
SP	SITE PLAN

PERFORMANCE REQUIREMENTS	
ENERGY CODE	100
WIND LOAD	100
SEISMIC	100
ROOF LOADS	100
WIND UPLIFT	100
ROOF DRAINAGE	100
ROOF VENTING	100
ROOF INSULATION	100
ROOF FLASHING	100
ROOF PENETRATIONS	100
ROOF CURBS	100
ROOF EAVES	100
ROOF GUTTERS	100
ROOF SLOPE	100
ROOF STRUCTURE	100
ROOF TRUSSING	100
ROOF VENTING	100
ROOF WEATHERING	100
ROOF WATERPROOFING	100
ROOF WIND UPLIFT	100
ROOF WIND RESISTANCE	100

ENERGY CODE REQUIREMENTS

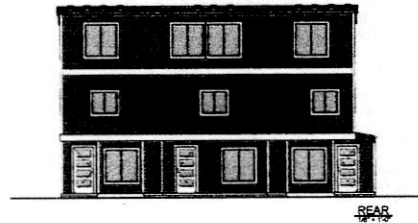


NOTE:
SOLAR, MECHANICAL, AND PLUMBING VENTS, ATIC VENTS,
SOLAR COLLECTORS AND OTHER PENETRATIONS OF THE ROOF
ARE NOT PERMITTED WITHIN 4'-0" OF THE CORNER TO ENCASE SPANNING WALL.

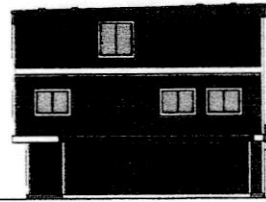


NO OVERHANG OR BALDING PERMITTED
-IF CORNER REQUIRED - SEE DETAILS ON SHEET

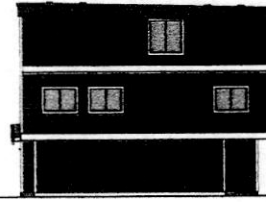
ROOF PLAN



REAR



LEFT



RIGHT

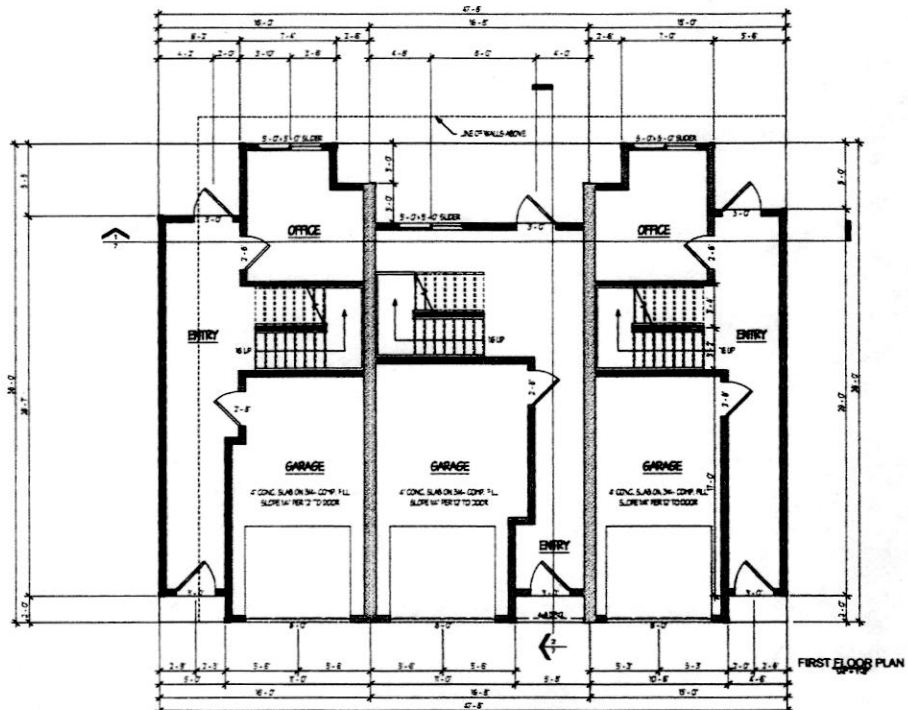
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SKYLINE CONSTRUCTION
ELEVATIONS AND ROOF

Project Number: 1010
Date: 10/10
Drawn by: T.C.
Area: As Ind.
Scale: As Ind.
1

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FIRST FLOOR PLAN

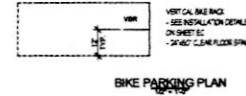
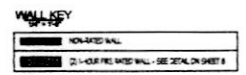
TABLE 101 (2)
OPTIONAL FEATURES

<input type="checkbox"/>	NON-EFFICIENT BUILDING ENVELOPE INTERIOR WALLS - U-0.056 (2) INTERIOR TYPING AND WALL TO CEILING - U-0.028 (3) BRASS (2) E, AND FLAT CEILING - U-0.056 (4) E AND FINISHED FLOORS - U-0.056 (3) E AND WINDOWS - U-0.30 (2) AND DOORS - ALL DOORS U-0.30 (2) E ADDITION OR OF PERMANENTLY INSTALLED LIGHTING FIXTURES AS HIGH-EFFICIENCY LIGHTS OR COMBINATION FEATURE (2) E E
<input type="checkbox"/>	SUCCESS HEAT/PUR REPLACE ELECTRIC RESISTANCE HEATING IN AT LEAST THE FRONT ZONE OF DWELLING UNIT AT LEAST ONE SUCCESSIVE UNIT HAVE 200 WHP HAVE A 1/2" HP OF GAS UNIT SHALL NOT HAVE INSULATED BACKUP RESISTANCE HEAT AND IS LARGER UNIT. IF MORE THAN ONE IS INSTALLED IN THE SAME UNIT SHALL BE SIZED TO HAVE CAPACITY TO MEET THE ENTIRE UNIT AS DESIGNATED DATE AT 65 DEGREE WINTER DESIGN OUTDOOR CONDITIONS. ELECTRIC RESISTANCE HEATING MAY BE PROVIDED TO ANY SECONDARY ZONE IN THE DWELLING. A PACKAGED TYPICAL HEAT PUMP (HP) WITH COMPRESSOR EXPOSED TO BE USED WHEN NO SUPPLEMENTAL ZONE HEATERS ARE INSTALLED IN THE BUILDING AND HEAT TO SMOOTH TRANSIENT HEAT IS ALLOWED IN A HP.

TABLE 102 (1)
RESISTANCE (U-VALUE) EQUIVALENTS

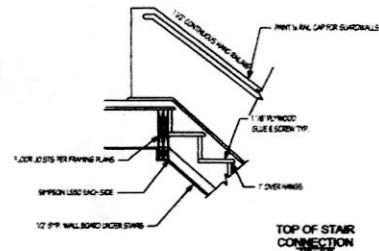
REMOVE BRICK WALL	6.0
BRICK BLOCK WALL	3.5
PLASTER LATH	0.38
PAINTED OIL LATH	0.38
POSSIBLE ROOF	0.38
SLAB-ON-GRADE FLOOR	0.7
CONCRETE FLOOR	0.05
CONCRETE SLAB INTERIOR	0.05
CONCRETE SLAB	0.05
CONCRETE SLAB	0.05
CONCRETE SLAB	0.05
CONCRETE SLAB	0.05
CONCRETE SLAB	0.05
CONCRETE SLAB	0.05
CONCRETE SLAB	0.05
CONCRETE SLAB	0.05

- 1. All work shall be in accordance with the contract documents.
- 2. The contractor shall be responsible for obtaining all necessary permits.
- 3. The contractor shall be responsible for obtaining all necessary insurance.
- 4. The contractor shall be responsible for obtaining all necessary bonding.
- 5. The contractor shall be responsible for obtaining all necessary approvals.
- 6. The contractor shall be responsible for obtaining all necessary clearances.
- 7. The contractor shall be responsible for obtaining all necessary licenses.
- 8. The contractor shall be responsible for obtaining all necessary certificates.
- 9. The contractor shall be responsible for obtaining all necessary registrations.
- 10. The contractor shall be responsible for obtaining all necessary memberships.

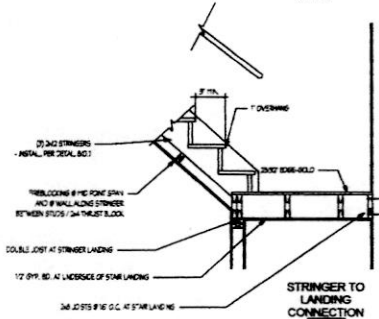


NOTE
- ALL PERFORMED AND 1 HOUR FIRE RATED WALL SHALL BE PROTECTED PERIODICALLY AND REPAIRS SHALL BE MAINTAINED AT ALL TIMES.
- REPAIRS SHALL BE MAINTAINED AT ALL TIMES.
- REPAIRS SHALL BE MAINTAINED AT ALL TIMES.

GENERAL CONSTRUCTION NOTES
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS.
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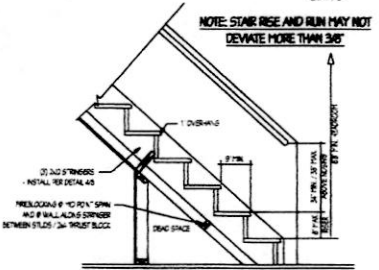


TOP OF STAIR CONNECTION

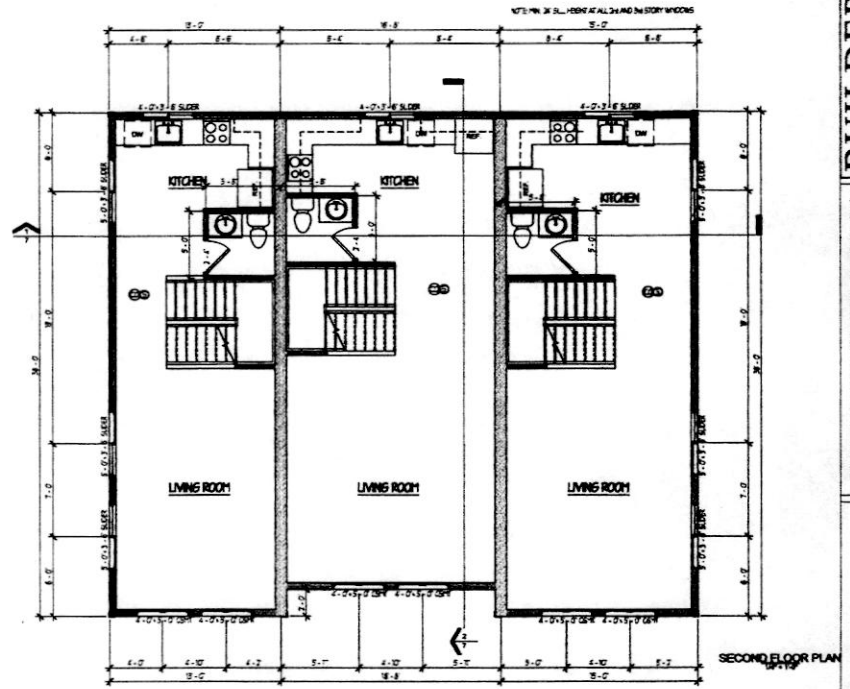


STRINGER TO LANDING CONNECTION

NOTE: STAIR RISE AND RUN MAY NOT DEVIATE MORE THAN 3/8"

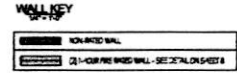


STRINGER TO FLOOR CONNECTION

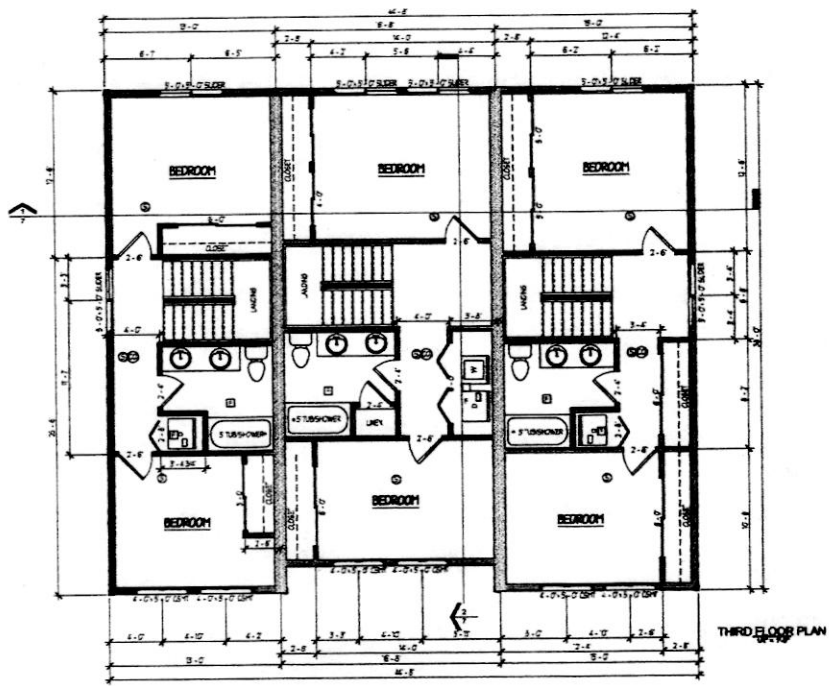
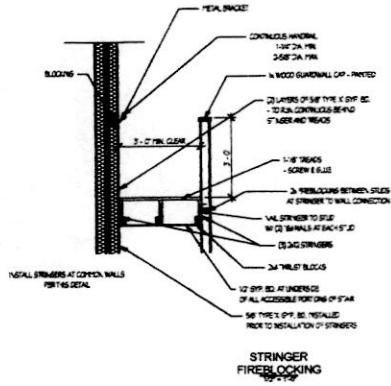


SECOND FLOOR PLAN

- NOTE:
- ALL FINISHING AND 1 HOUR FIRE WALL TO BE PROVIDED PER CODES ON SHEET A
 - FLOOR FINISHING TO BE PROVIDED AT ALL AREAS - SEE 10 DIVISION
 - GROUND NOT ALLOWED UNDER ANY TERRACE OR DECK
 - ALL STAIRS SHALL BE CONFORMED TO ALL APPLICABLE CODES, SUCH AS: IBC, IRC, AND ALL LOCAL ORDINANCES, SUCH AS: SLOPES, RISERS, HANDRAILS, GUARDS, SPRING, CLEARANCE, PANELS AND SWEEPINGS



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WALL KEY

[Symbol]	NON-BRICK WALL
[Symbol]	1/2\"/>

BUILDERS DESIGN

11715 THE WINDLEBEE ST. PORTLAND, OR 97228

SKYLINE CONSTRUCTION

THIRD FLOOR PLAN

Project number: 10710
 Date: 10/10/10
 Drawn by: [Name]
 Title: As Bldg
 4