

NE IRVING ST
(60'0")

ROOF AREA: 1,094 SQ. FT. LOT 1
ROOF AREA: 1,096 SQ. FT. LOT 2

EACH LOT (2) 15" CALLETT PEAR
(PYRUS CALLETTIANA
('ARISTOCRATI')) OR EQUAL MEDIUM TREE
* MANUAL IRRIGATION FOR
THE FIRST YEAR

PROJECT LEGAL DESCRIPTION: LOT 1
PROPERTY ID: STATE ID: INZC3BD
ROSEWOOD BLOCK 3 LOT 1
M.L. # 141400 (N. R. 2E W. M.)
MULTIHOUSING CO. (OREGON)

PROJECT LEGAL DESCRIPTION: LOT 2
PROPERTY ID: STATE ID: INZC3BD
ROSEWOOD BLOCK 3 LOT 2
M.L. # 141400 (N. R. 2E W. M.)
MULTIHOUSING CO. (OREGON)

PROJECT ADDRESS:
NE IRVING ST (TOD ADDRESS: 720 NE 91ST)
PORTLAND, OREGON 97220

PROPOSED PROJECT FOR:
SKORO HOMES, LLC

PROJECT LEGAL DESCRIPTION: LOT 1
PROPERTY ID: STATE ID: INZC3BD
DRIVEWAY & SIDEWALK
COVERED FRONT PORCH
REAR PATIO (10x10)

PROJECT ADDRESS:
NE IRVING ST (TOD ADDRESS: 720 NE 91ST)
PORTLAND, OREGON 97220

PROPOSED PROJECT FOR:
SKORO HOMES, LLC

LOT COVERAGE:
TOTAL = 339.2 SQ. FT.
2,450 SQ. FT. BUILDING AREA
(NOT INCLUDING OVERHANGS)
46.1% LOT COVERAGE

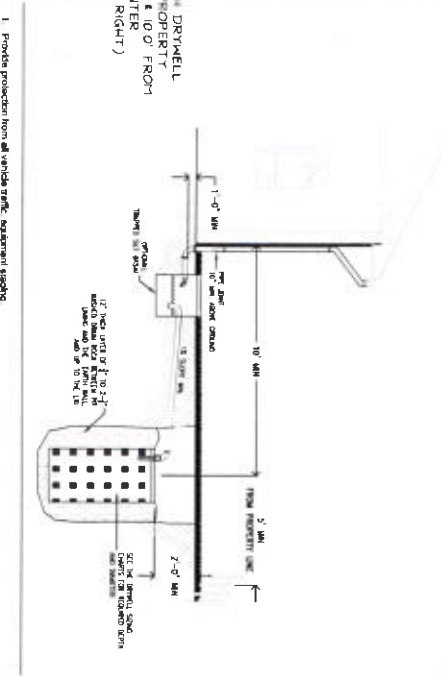
LOT COVERAGE:
TOTAL = 339.2 SQ. FT.
2,450 SQ. FT. BUILDING AREA
(NOT INCLUDING OVERHANGS)
46.1% LOT COVERAGE

STORMWATER MANAGEMENT TYPICAL DETAILS
DRYWELL

1. Protect protection from all vehicle traffic, underground loading and floor traffic to proposed infiltration device prior to casting and after construction.
2. String should be made from galvanized steel pipe, 2" diameter, and shall be secured to the ground surface. Drywells shall not be located where there is a risk of water damage to the structure.
3. String Embedment 3-26 is used to allow the drywell(s) to be placed on a prepared area.
4. Top of drywell must be below lowest finished floor.
5. Substrate (from owner of Drywells):
a. 3" from concrete slab
b. 2" from cast-in-place
c. 2" from cast-in-place
6. String shall be ABS SCHEDULE 40 and 1/2" PVC SCHEDULE 40 pipe required for building opening up to 1500' of horizontal area, otherwise 4" minimum pipe. Piping must have 1/2" grade Uniform Plumbing Code steel supports.
7. Trapped air bubbles. Checked for roof runoff or penetration only perched areas.

Submittal Schedule Summary Table

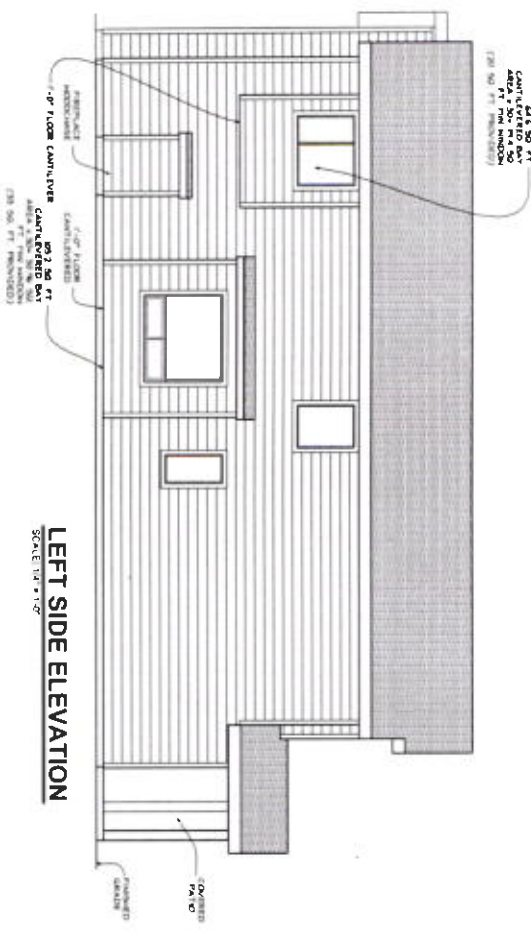
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2. String Embedment	1	2	
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5. String Embedment	1	2	
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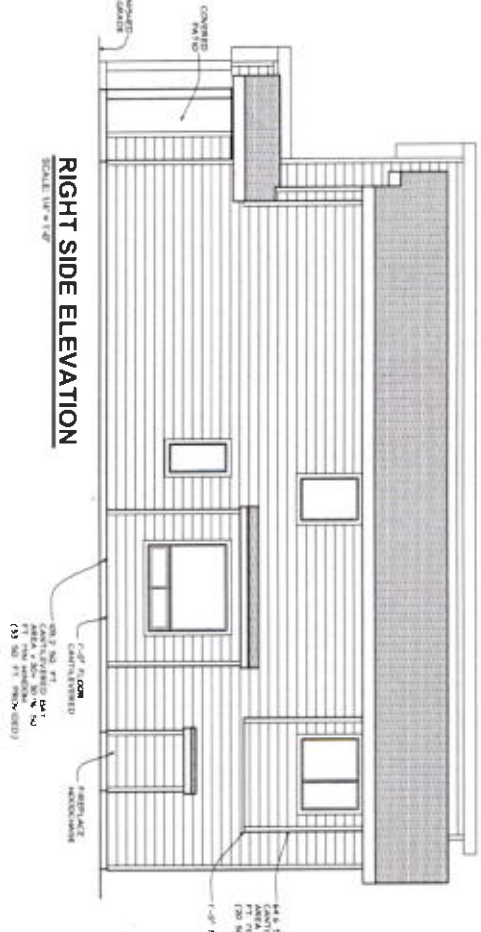
- NOTES:**
1. ALL UTILITIES IN THE RIGHT OF WAY WITHIN THE DEVELOPMENT PROPERTIES FRONTAGE MUST BE LOCATED THROUGH 811, ONE CALL. APPLICANT WILL NEED TO BE ABLE TO PROVIDE THE LOCATE TICKET NUMBER IF REQUESTED FOR VERIFICATION.
 2. CONTRACTOR TO SPECIFY EXACT LOCATIONS OF UTILITY STUBS.
 3. UNDERGROUND GAS LINE (VERIFY LOCATION).
 4. SEPARATION BETWEEN SANITARY SEWER & WATER LINE SHOULD BE 5 FT. MINIMUM SKIN TO SKIN. SEPARATION BETWEEN ELECTRICAL SERVICE LINE & WATER LINE SHOULD BE 4 FT. MINIMUM. ALL OTHER UTILITIES NEED TO HAVE 3 FT. MINIMUM SEPARATION WITHIN WATER LINE.
 5. TREES MUST BE A MINIMUM OF 5 FT. FROM THE NEAREST EDGE OF WATER PIPE, VALVE OR METER BOX & A MINIMUM OF 10 FT. FROM A FIRE HYDRANT. REFERENCE STANDARD DRAWING P-845 FOR MORE INFORMATION.

SITE PLAN
NORTH

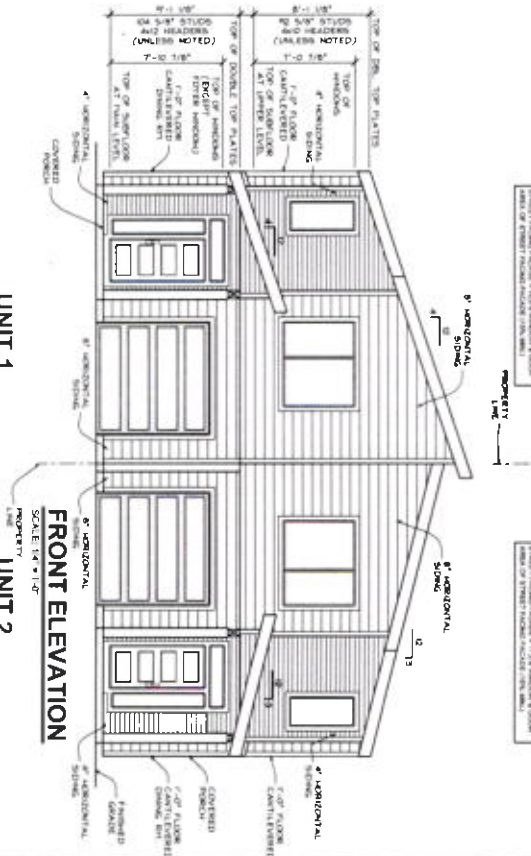
MASSIE HOME DESIGN
3800 NW 20TH ST. STE. 203
PORTLAND, OREGON 97220
PHONE: 503.563.1100
EMAIL: info@massiehome.com



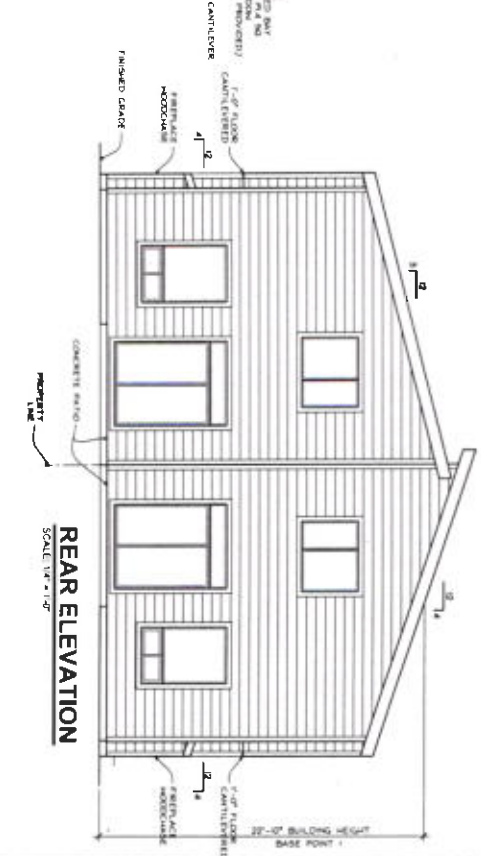
LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"



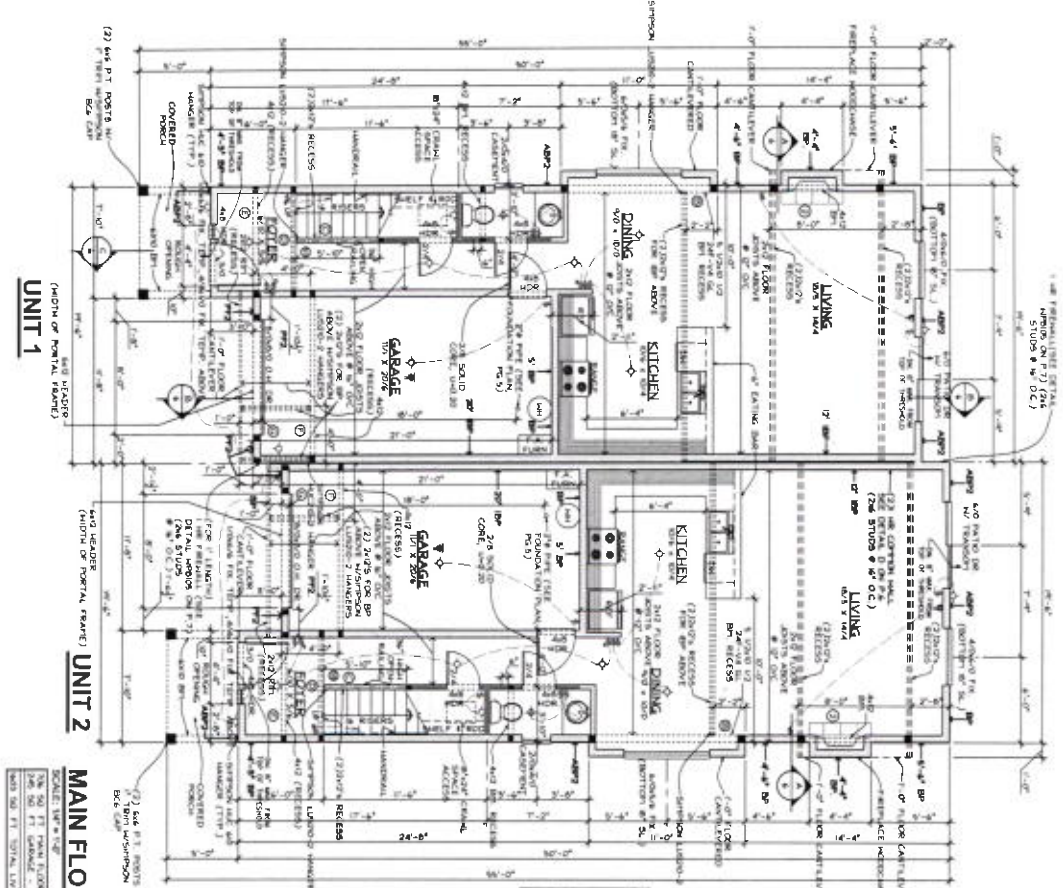
REAR ELEVATION
SCALE 1/4" = 1'-0"

UNIT 1

UNIT 2

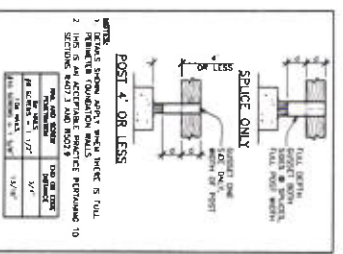
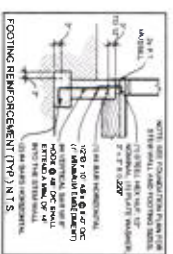
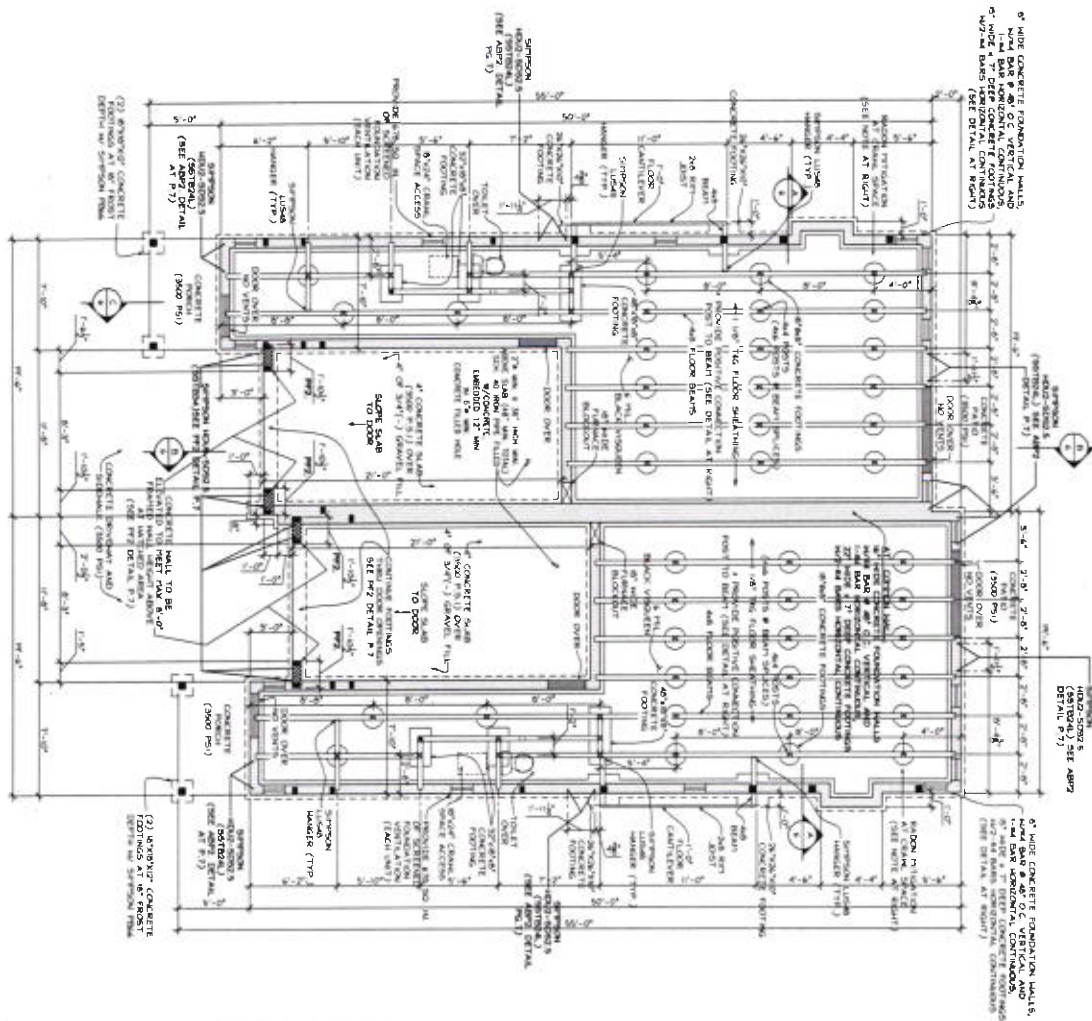
PROPERTY LINE

STRUCTURAL INDEPENDENT



NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISHES ARE TO BE AS SHOWN ON THE FINISH SCHEDULE.
3. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
4. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ENERGY EFFICIENCY CODE (IECC).
5. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL AND PLUMBING CODE (IMC).
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FOOTING REINFORCEMENT (TYP) IN IS.

POST 4, OR LESS

NOTE: SEE CONSTRUCTION FOR REINFORCEMENT DETAILS.

1. ALL REINFORCEMENT SHALL BE #4 OR #5 BARS UNLESS OTHERWISE NOTED.

2. ALL REINFORCEMENT SHALL BE DEVELOPED AS PER ACI 308R-02.

3. ALL REINFORCEMENT SHALL BE PROTECTED WITH A MINIMUM OF 2\"/>

FOUNDATION PLAN

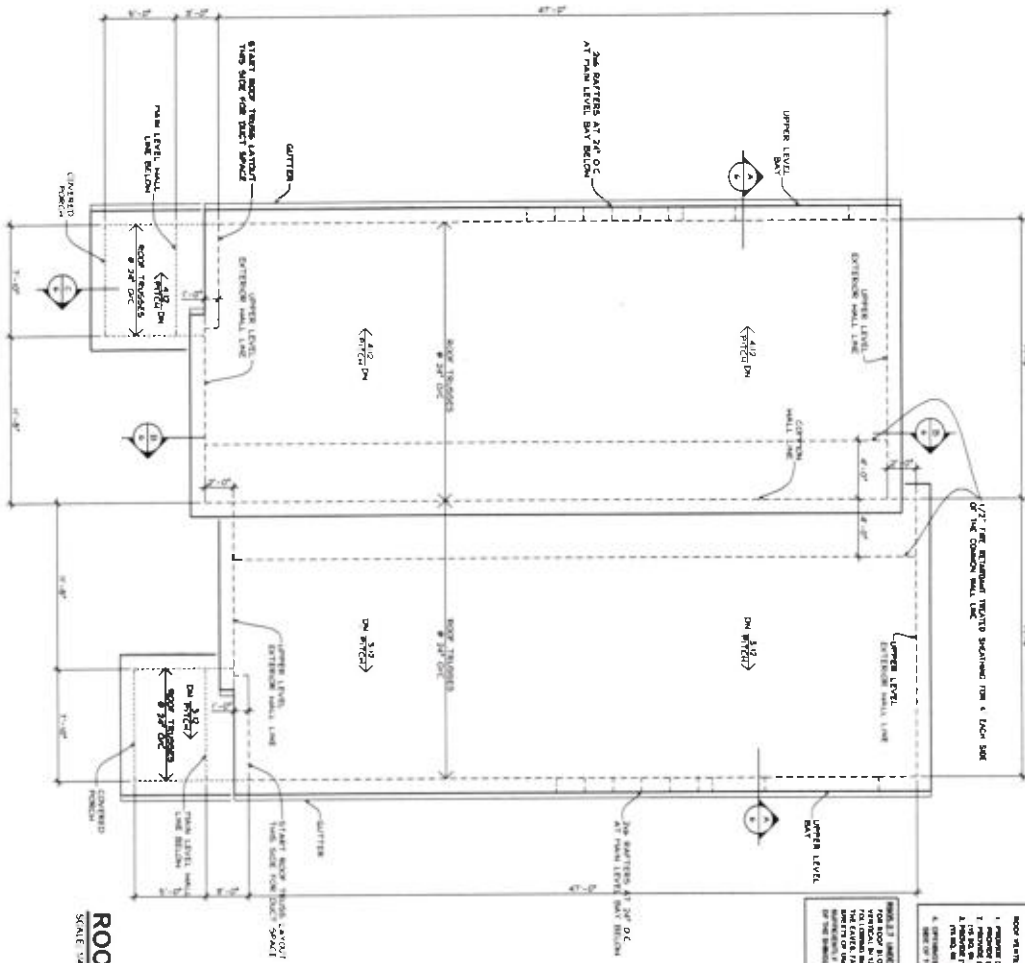
SCALE: 1/4" = 1'-0"

NOTE: SHAPING PRODUCTS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. SEE COMMENTS FOR SHAPING SCHEDULE FOR MORE INFORMATION.

1. ALL REINFORCEMENT SHALL BE #4 OR #5 BARS UNLESS OTHERWISE NOTED.

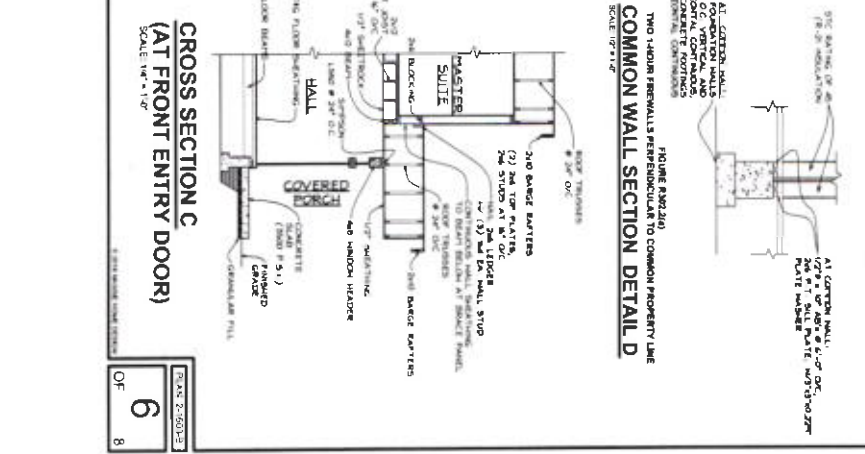
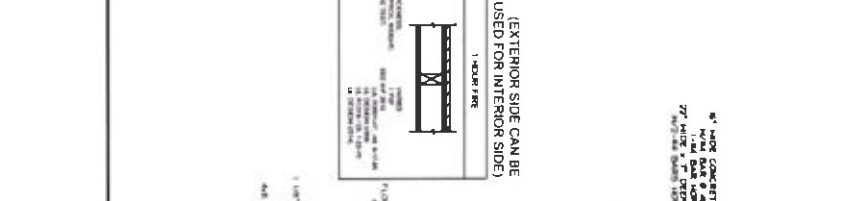
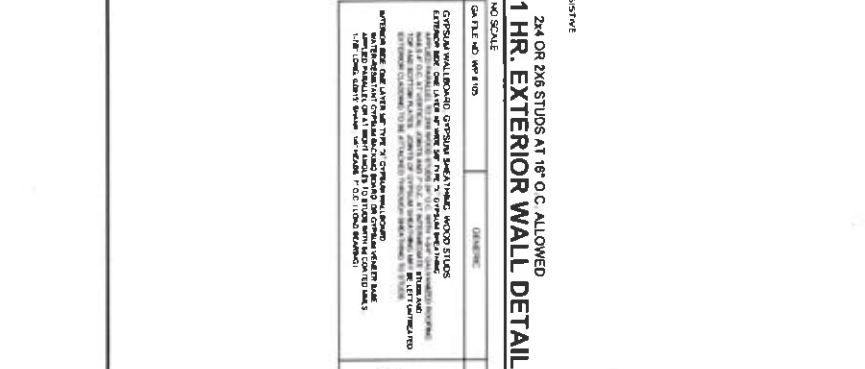
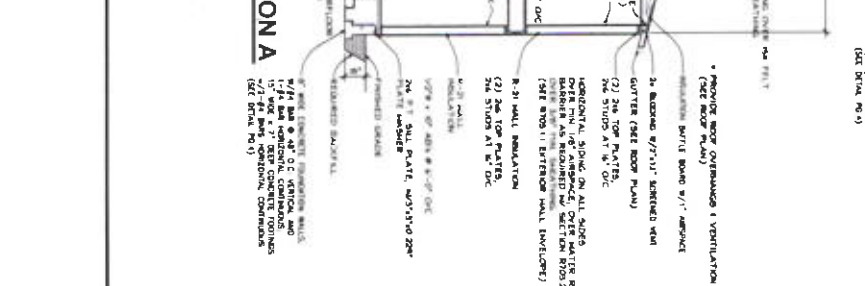
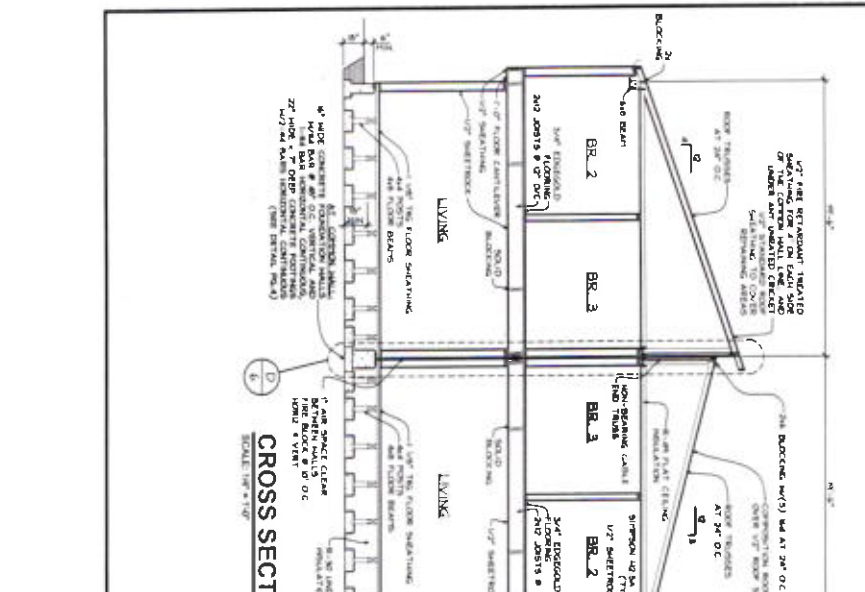
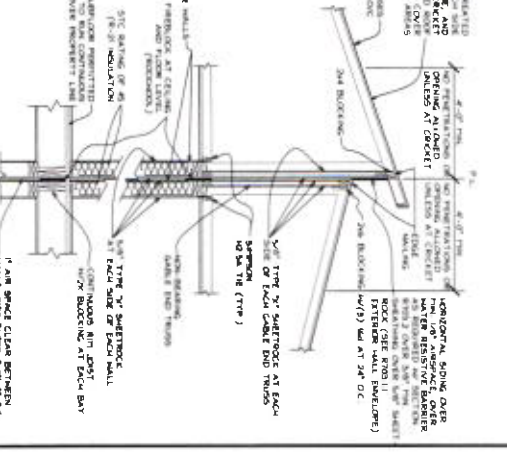
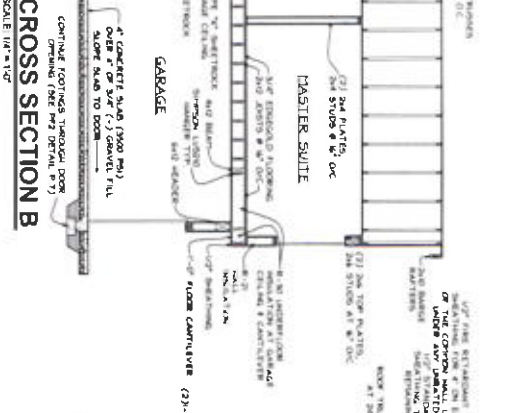
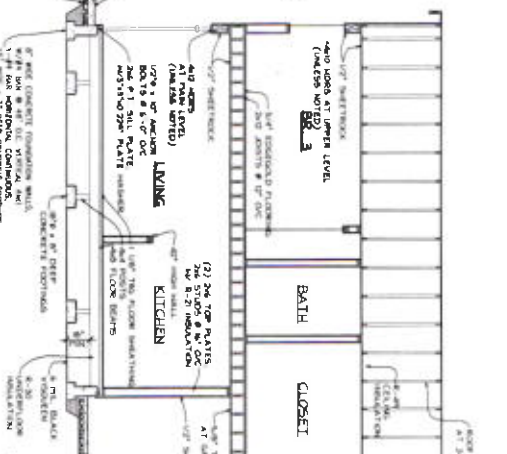
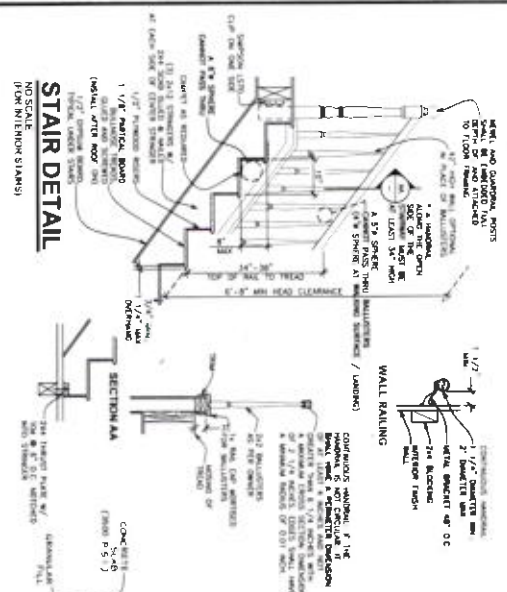
2. ALL REINFORCEMENT SHALL BE DEVELOPED AS PER ACI 308R-02.

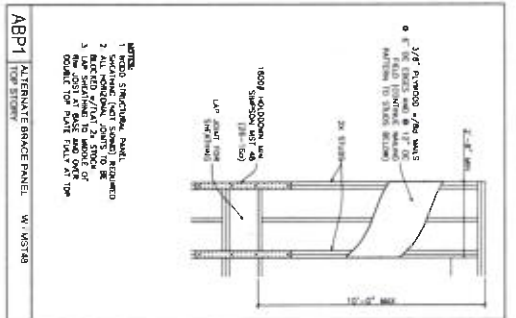
3. ALL REINFORCEMENT SHALL BE PROTECTED WITH A MINIMUM OF 2\"/>



ROOF PLAN
SCALE: 1/4" = 1'-0"

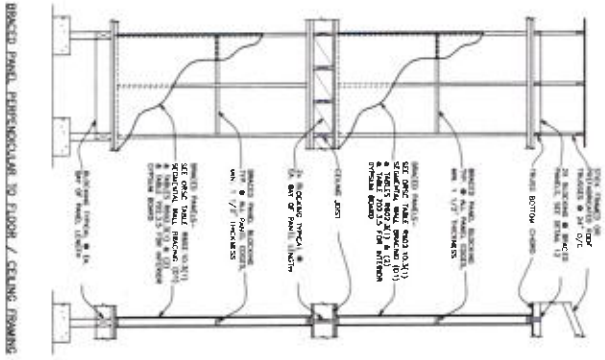
1. CONSTRUCTION NOTES
2. SEE PLAN FOR DETAILS OF ROOF TRUSSES AND WALLS.
3. SEE PLAN FOR DETAILS OF ROOF TRUSSES AND WALLS.
4. SEE PLAN FOR DETAILS OF ROOF TRUSSES AND WALLS.
5. SEE PLAN FOR DETAILS OF ROOF TRUSSES AND WALLS.
6. SEE PLAN FOR DETAILS OF ROOF TRUSSES AND WALLS.
7. SEE PLAN FOR DETAILS OF ROOF TRUSSES AND WALLS.
8. SEE PLAN FOR DETAILS OF ROOF TRUSSES AND WALLS.
9. SEE PLAN FOR DETAILS OF ROOF TRUSSES AND WALLS.
10. SEE PLAN FOR DETAILS OF ROOF TRUSSES AND WALLS.





ABP1 ALTERNATE BRACE PANEL W. 1:10788

- NOTES:
- WOOD STRUCTURAL PANEL FRAMEWORK
 - ALL HORIZONTAL JOINTS TO BE FULLY BRACED TO A JOINT OF THE BRACE AND JOINT OF THE STUDS
 - SEE DETAIL FOR JOINTS

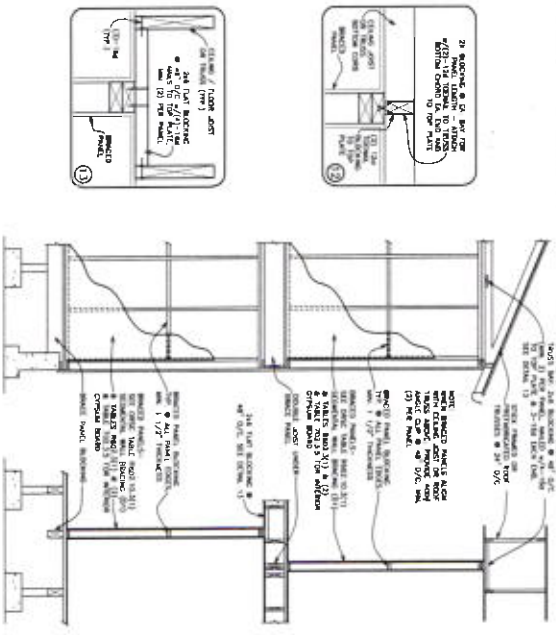


BRACED PANEL, PARALLEL TO FLOOR / CEILING FRAMING

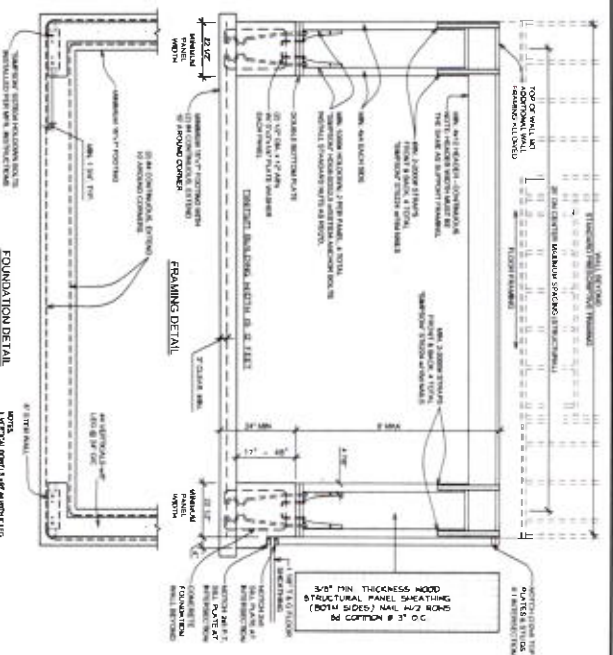
(2008 ORSC)

(BP) INTERIOR BRACED WALL PANEL METHOD #3 - DETAILS

- OREGON INTERPRETIVE REGULATORY DIVISION
 BP: AT COMMON WALL INTERIOR BRACE PANEL (A) COMMON WALL 48" WIDTH W/ BR/COOLER COATED NAILS 1 7/8" LONG, 0.0252 SPAC, 1/4" HOOKS @ 7" O.C. MAX. 3/8" TYPE X SHEETROCK (PER TABLE R122.3.3 2008 ORSC)
 BP: INTERIOR BRACE PANEL 48" WIDTH W/ 4d @ 7" O.C. 1/2" MIN. SHEETROCK (PER 602.10.3 2008 ORSC)
 BP: BRACE PANEL 48" WIDTH W/ 4d @ 7" O.C. 1/2" O.C. FIELD 3/8" TYPE X SHEETROCK

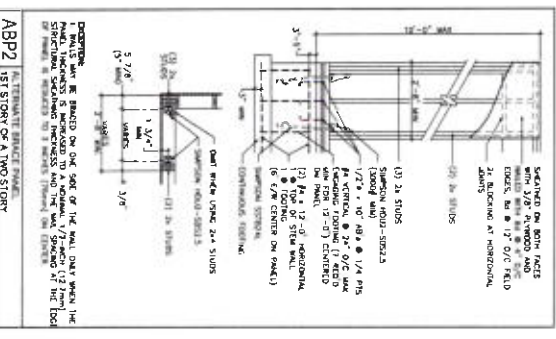


BRACED PANEL, PARALLEL TO FLOOR / CEILING FRAMING



PF2 = PORTAL FRAME, 2 STORY STRUCTURE AT INTERSECTION

THE PANELS AT THE END OF EACH PORTAL FRAME MUST BE EQUAL WIDTH AND HEIGHT



ABP2 ALTERNATE BRACE PANEL 1ST STORY OR A TWO STORY