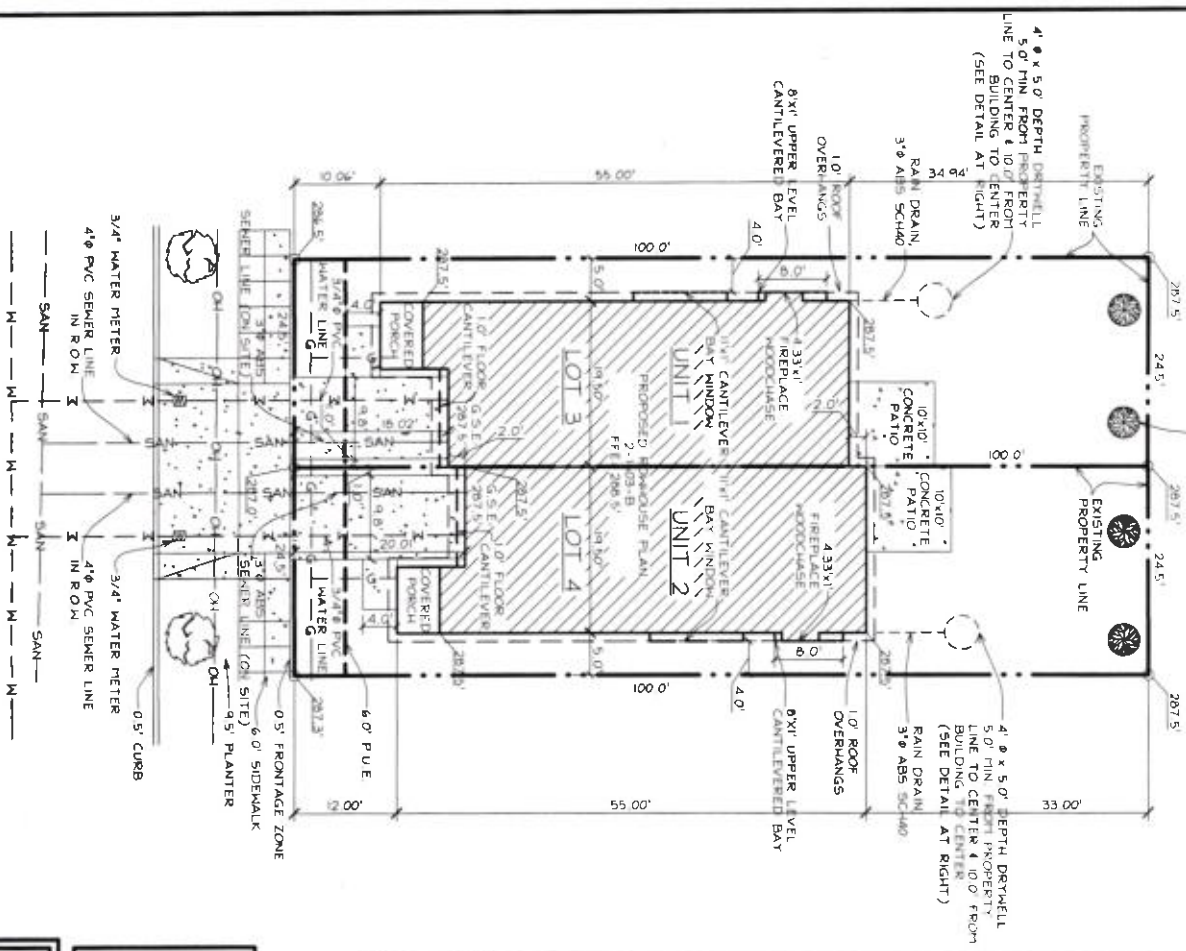
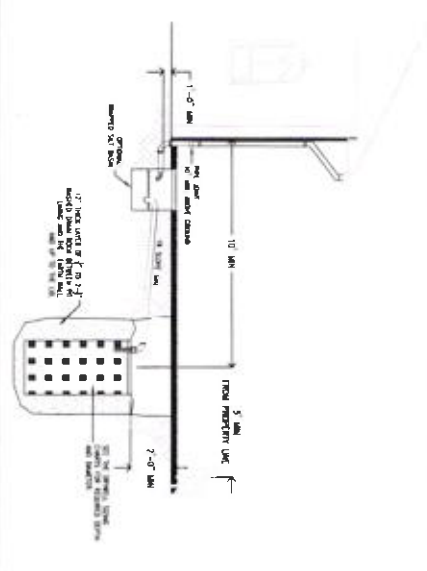


EACH LOT (2) 1.5" GALLERY PEAR
(PYRUS CALLERYANA
(ARISTOCRAT)) OR EQUAL MEDIUM TREE
ANNUAL IRRIGATION FOR
THE FIRST YEAR



NE IRVING ST.
(60'0")

ROOF AREA 1,094 SQ FT LOT 3
ROOF AREA 1,096 SQ FT LOT 4



1. Provide protection from all utilities with 4" diameter rigid pipe and floor joists, to prevent infiltration around pipe in utility and floor construction.
2. Shingled gable roof shall have 1/2" OSB or 1/2" plywood sheathing over 2x6 rafters. All roof surfaces shall be covered with 1/2" of rigid surface. Downspout shall be placed where there is no less than 2' of separation to nearest utility.
3. String Electric 2-0/0 is used in this the drywall(1) based on hydraulic area.
4. Top of drywall must be below lowest finished floor.
5. Sealants from corner of Drywall:
 - a. 3/4" Firestop Mortar
 - b. 3/4" Firestop Sealant
 - c. 20' from construction
6. Plans shall be ABS SCHED and top of PVC SCHED 3" also required for standing opening up to 1500 ft. of vertical pipe available or minimum pipe Piping must have 1% grade Underlayment Code also apply.
7. Trusscut all truss. Optional for roof truss or production only panel truss.

TABLE 2.06 - Stormwater Details

Note: Material has been given by RLS for every variation of date or provide date with RLS for RLS.

Item	Quantity	Unit	Notes
1. 1/2" OSB	1000	SQ FT	Roof sheathing
2. 1/2" Plywood	1000	SQ FT	Roof sheathing
3. 2x6 Rafters	1000	LF	Roof framing
4. 3/4" Firestop Mortar	1000	LB	Sealant
5. 3/4" Firestop Sealant	1000	LB	Sealant
6. 20' from construction	1000	LF	Sealant
7. 1/2" OSB	1000	SQ FT	Roof sheathing
8. 1/2" Plywood	1000	SQ FT	Roof sheathing
9. 2x6 Rafters	1000	LF	Roof framing
10. 3/4" Firestop Mortar	1000	LB	Sealant
11. 3/4" Firestop Sealant	1000	LB	Sealant
12. 20' from construction	1000	LF	Sealant

STORMWATER MANAGEMENT TYPICAL DETAILS
- Simplified Design Approach -
DRYWELL

SW-180
1.1.18

- NOTES:**
1. ALL UTILITIES IN THE RIGHT OF WAY WITHIN THE DEVELOPMENT PROPERTIES FRONTAGE MUST BE LOCATED THROUGH 811. ONE CALL APPLICANT WILL NEED TO BE ABLE TO PROVIDE THE LOCATE TICKET NUMBER IF REQUESTED FOR VERIFICATION.
 2. CONTRACTOR TO SPECIFY EXACT LOCATIONS OF UTILITY STUBS.
 3. UNDERGROUND GAS LINE (VERIFY LOCATION)
 4. SEPARATION BETWEEN SANITARY SEWER & WATER LINE SHOULD BE 5 FT. MINIMUM SKIN TO SKIN. SEPARATION BETWEEN ELECTRICAL SERVICE LINE & WATER LINE SHOULD BE 4 FT. MINIMUM. ALL OTHER UTILITIES NEED TO HAVE 3 FT. MINIMUM SEPARATION WITHIN WATER LINE.
 5. TREES MUST BE A MINIMUM OF 5 FT. FROM THE NEAREST EDGE OF WATER PIPE, VALVE OR METER BOX & A MINIMUM OF 10 FT. FROM A FIRE HYDRANT. REFERENCE STANDARD DRAWING P-845 FOR MORE INFORMATION.

PROJECT LEGAL DESCRIPTION: LOT 3
STATE ID: 1N2E33B0
ROSEWOOD BLOCK 3 LOT 3
SET 14 MM THE SEC 23 T1N, R2E W1 M
MULTIHOME CO., OREGON

PROJECT ADDRESS:
NE IRVING ST (OLD ADDRESS: 720 NE 91ST)
PORTLAND OREGON 97220

PROPOSED PROJECT FOR:
SIXORO HOMES, LLC

PROJECT LEGAL DESCRIPTION: LOT 4
STATE ID: 1N2E33B0
ROSEWOOD BLOCK 3 LOT 4
SET 14 MM THE SEC 23 T1N, R2E W1 M
MULTIHOME CO., OREGON

PROJECT ADDRESS:
NE IRVING ST (OLD ADDRESS: 720 NE 91ST)
PORTLAND OREGON 97220

PROPOSED PROJECT FOR:
SIXORO HOMES, LLC

FLATWORK AREA LOT 3
DRIVEWAY & SIDEWALK
COVERED FRONT PORCH
REAR PATIO (10x10)

FLATWORK AREA LOT 4
DRIVEWAY & SIDEWALK
COVERED FRONT PORCH
REAR PATIO (10x10)

LOT COVERAGE:
TOTAL = 338.2 SQ FT
BUILDING AREA
(NOT INCLUDING OVERHANGS)
46.1% LOT COVERAGE

LOT COVERAGE:
TOTAL = 338.2 SQ FT
BUILDING AREA
(NOT INCLUDING OVERHANGS)
46.1% LOT COVERAGE

PROJECT LEGAL DESCRIPTION: LOT 3
STATE ID: 1N2E33B0
ROSEWOOD BLOCK 3 LOT 3
SET 14 MM THE SEC 23 T1N, R2E W1 M
MULTIHOME CO., OREGON

PROJECT ADDRESS:
NE IRVING ST (OLD ADDRESS: 720 NE 91ST)
PORTLAND OREGON 97220

PROPOSED PROJECT FOR:
SIXORO HOMES, LLC

PROJECT LEGAL DESCRIPTION: LOT 4
STATE ID: 1N2E33B0
ROSEWOOD BLOCK 3 LOT 4
SET 14 MM THE SEC 23 T1N, R2E W1 M
MULTIHOME CO., OREGON

PROJECT ADDRESS:
NE IRVING ST (OLD ADDRESS: 720 NE 91ST)
PORTLAND OREGON 97220

PROPOSED PROJECT FOR:
SIXORO HOMES, LLC

FLATWORK AREA LOT 3
DRIVEWAY & SIDEWALK
COVERED FRONT PORCH
REAR PATIO (10x10)

FLATWORK AREA LOT 4
DRIVEWAY & SIDEWALK
COVERED FRONT PORCH
REAR PATIO (10x10)

LOT COVERAGE:
TOTAL = 338.2 SQ FT
BUILDING AREA
(NOT INCLUDING OVERHANGS)
46.1% LOT COVERAGE

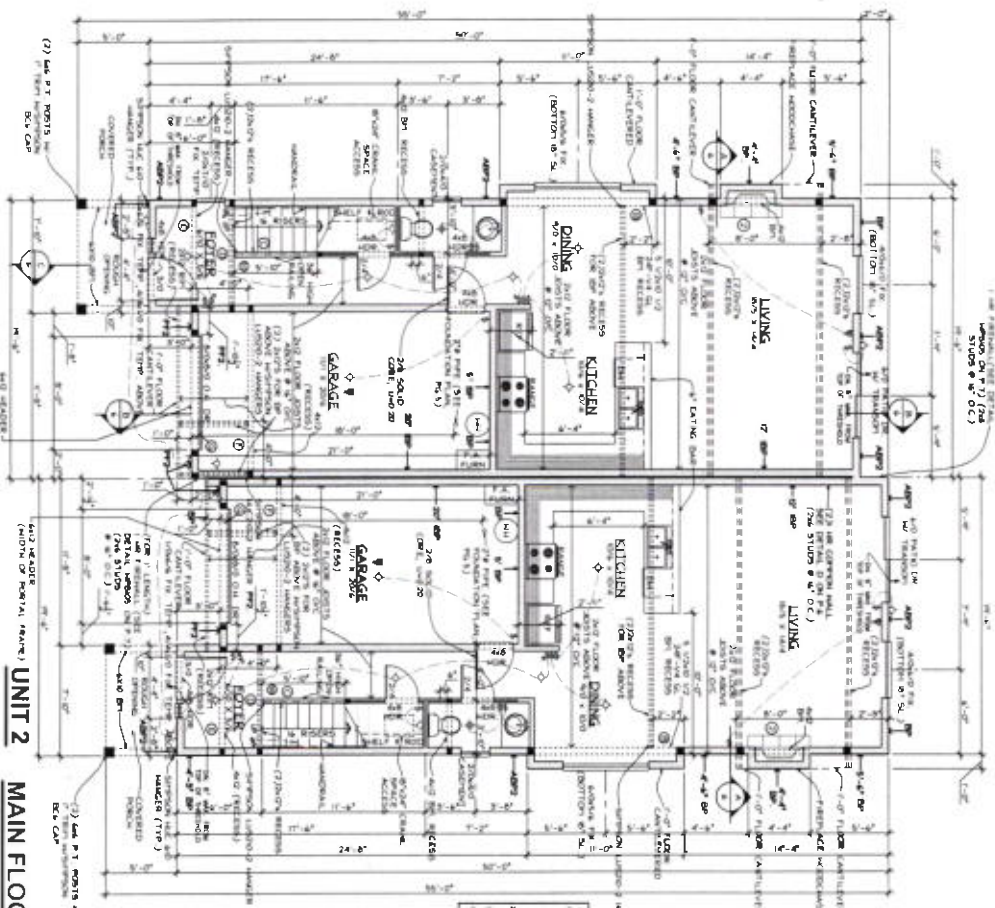
LOT COVERAGE:
TOTAL = 338.2 SQ FT
BUILDING AREA
(NOT INCLUDING OVERHANGS)
46.1% LOT COVERAGE

SITE PLAN

SCALE: 1" = 10'
DATE: 1-26-18
JOB# 17-100

MASSIE HOME DESIGN
300 NE 25TH ST STE 202
PORTLAND, OREGON 97218
PHONE: 503.643.1100
WWW.MASSIEHOMEDSIGN.COM

DRYWELL
NORTH



UNIT 1
(WIDTH OF PORTAL BEARING)

UNIT 2
(WIDTH OF PORTAL BEARING)

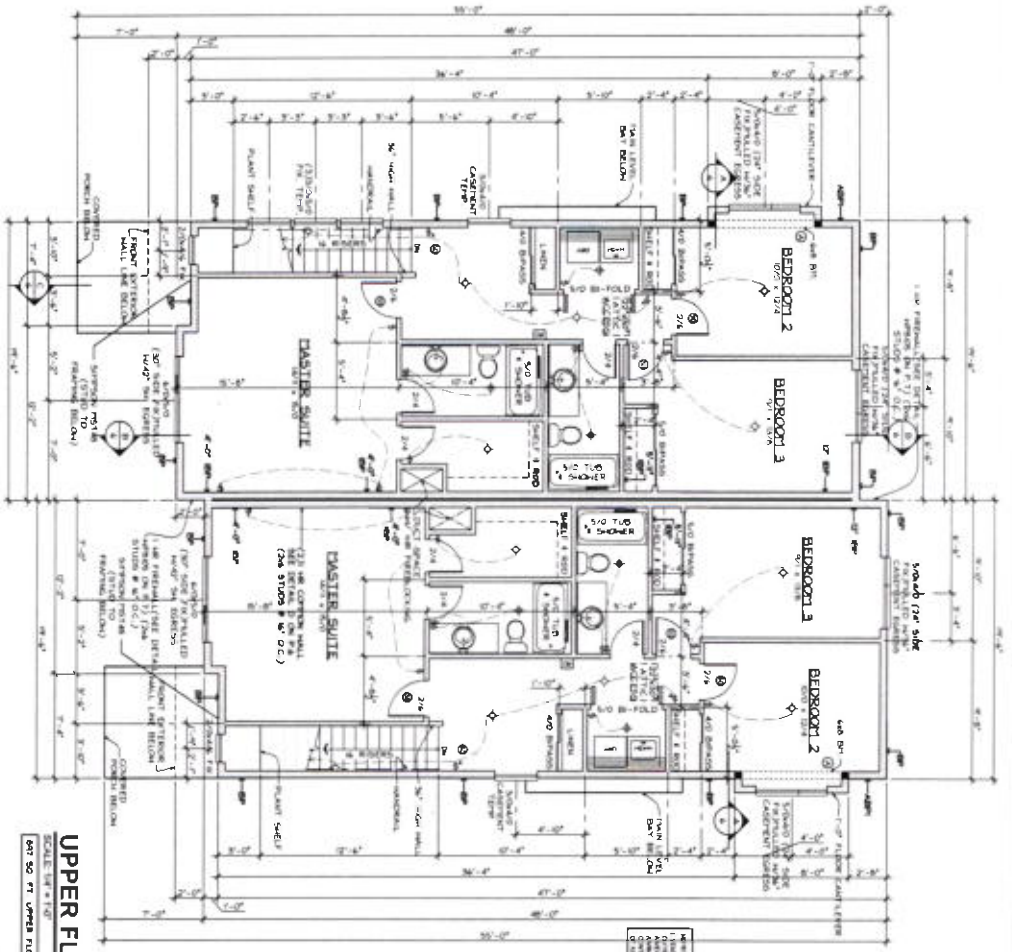
MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

200 SQ. FT. DATA ROOM - EACH UNIT
200 SQ. FT. GARAGE - EACH UNIT
200 SQ. FT. TOTAL UNIT AREA - EACH UNIT

- 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

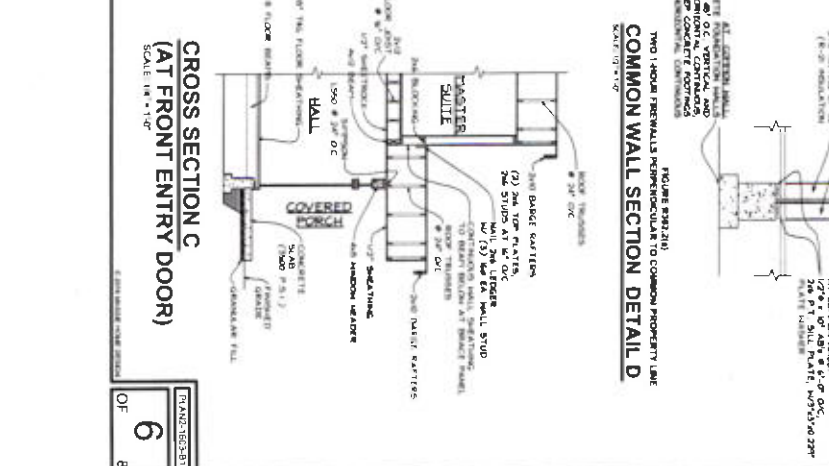
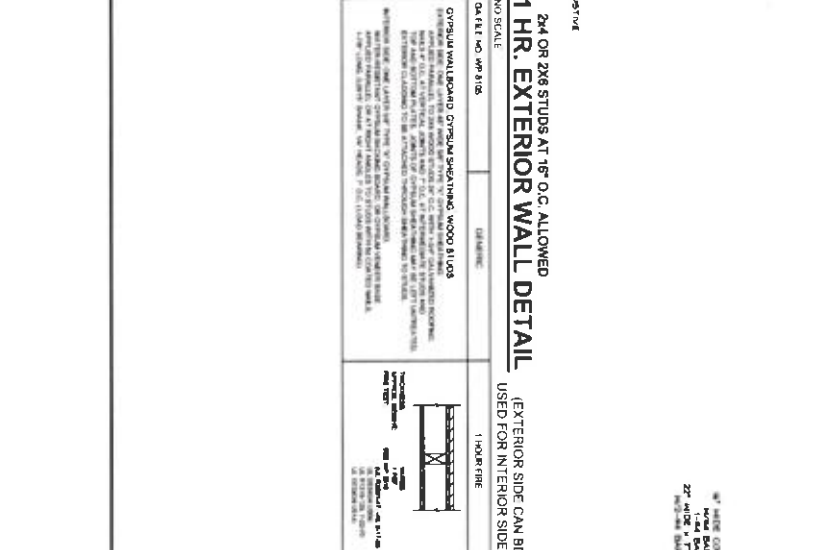
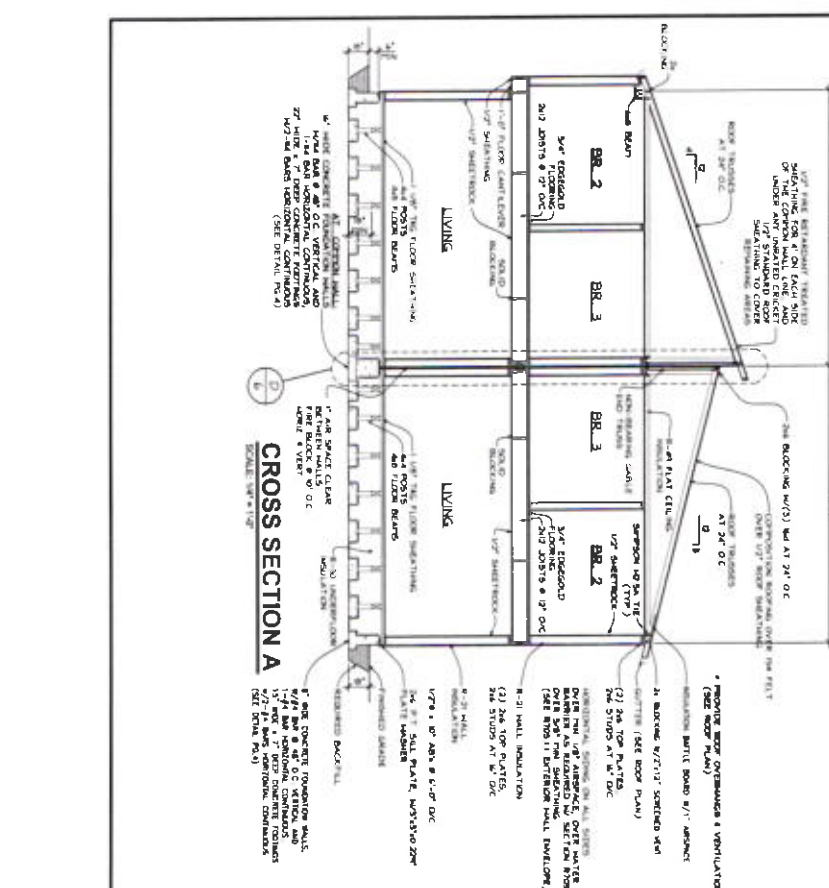
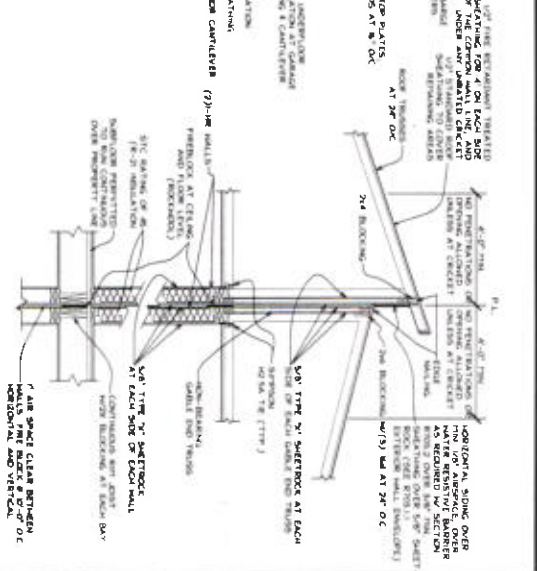
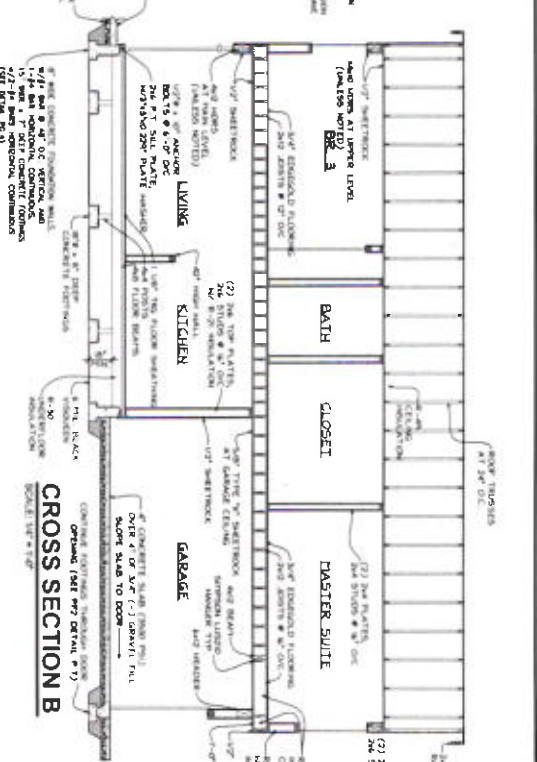
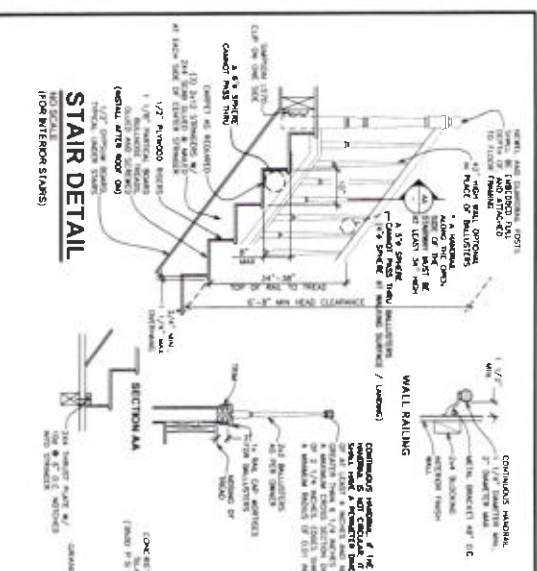
NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

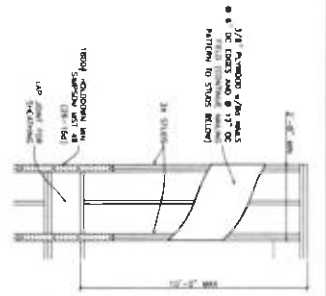
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



UPPER FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 601 SQ FT UPPER FLOOR - EACH UNIT

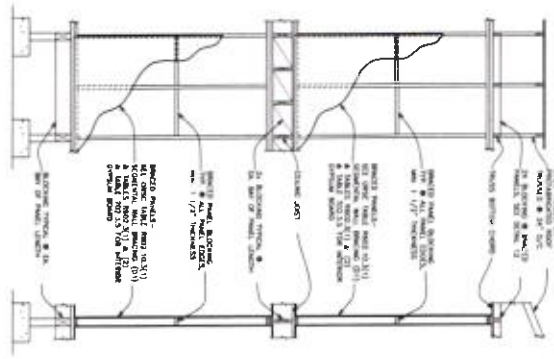
- 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 2. ALL WALLS ARE 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 3. ALL CEILING ARE 1/2" DRYWALL UNLESS NOTED OTHERWISE.
- 4. ALL FLOORS ARE 1" POLYURETHANE OVER 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 5. ALL DOORS ARE 1-3/4" THICK UNLESS NOTED OTHERWISE.
- 6. ALL WINDOWS ARE 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 7. ALL STAIRS ARE 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 8. ALL BATHROOMS ARE 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 9. ALL CLOSETS ARE 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 10. ALL KITCHENS ARE 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 11. ALL LIVING AREAS ARE 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 12. ALL BEDROOMS ARE 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 13. ALL HALLWAYS ARE 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 14. ALL ENTRY AREAS ARE 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 15. ALL PORCHES ARE 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 16. ALL TERRACES ARE 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 17. ALL PATIOS ARE 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 18. ALL BALCONIES ARE 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 19. ALL ROOFS ARE 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 20. ALL FOUNDATIONS ARE 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.



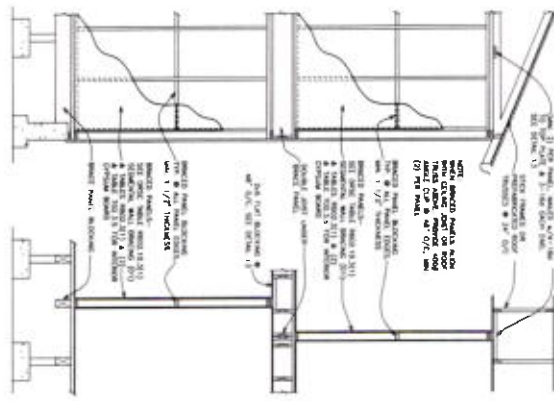


ABP1 ALTERNATE BRACE PANEL - W/ WOOD

1. WOOD STRUCTURAL PANEL
 2. BRACED WALL PANEL
 3. WOOD JOIST
 4. WOOD STUD
 5. WOOD SHEATHING
 6. WOOD BRACE



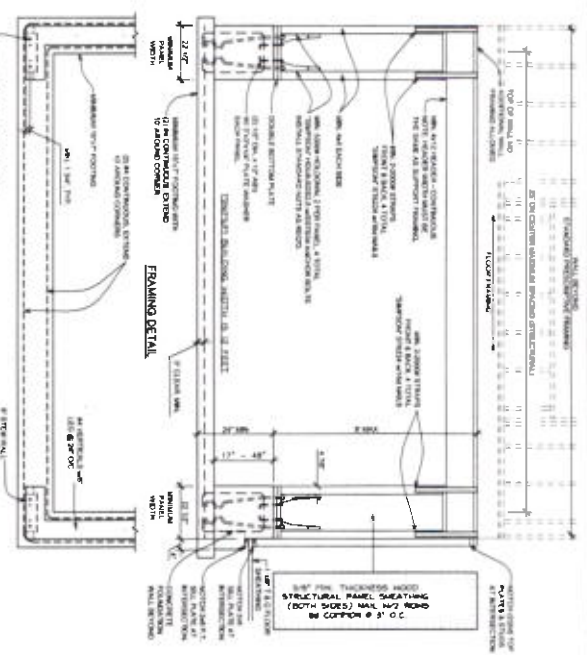
BRACED PANEL ELEVATION TO FLOOR / CEILING FINISHING



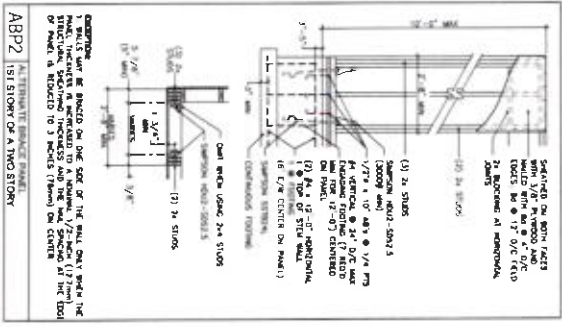
BRACED PANEL ELEVATION TO FLOOR / CEILING FINISHING

(2008 ORSC)
(IBP) INTERIOR BRACED WALL PANEL METHOD #5 - DETAILS
(BP) BRACED WALL PANEL METHOD #3 (AT INTERIOR WALLS)

ORDINANCE INTERPRETATION: 0-1-3 SECTIONS
 IBP: AT COMMON WALL, INTERIOR BRACE PANEL (AT COMMON WALL), 48" WIDTH W/ 24" COOLER CONCRETE WALLS, 178" LONG, 0.9000 SHANK, 14" HEADS @ 7" O.C. MAX, 58" TYPE 'X' SHEETROCK PER TABLE RFDZ.3.3, 2008 ORSC.1
 BP: INTERIOR BRACE PANEL, 48" WIDTH W/ 24" @ 7" O.C., 1/2" MIN SHEETROCK PER RFDZ.3.3, 2008 ORSC.1
 BRACED PANEL, 48" WIDTH AND @ 6" O.C. EDGES & 1/2" O.C. FIELD, 3/8" WALL SHEATHING



PF2 = PORTAL FRAME, 2 STORY STRUCTURE AT INTERSECTION
 THE PANELS AT THE END OF EACH PORTAL FRAME MUST BE EQUAL WIDTH AND HEIGHT



ABP2 AT INTERIOR BRACE PANEL
 1/2" SHOW OF A TWO STORY