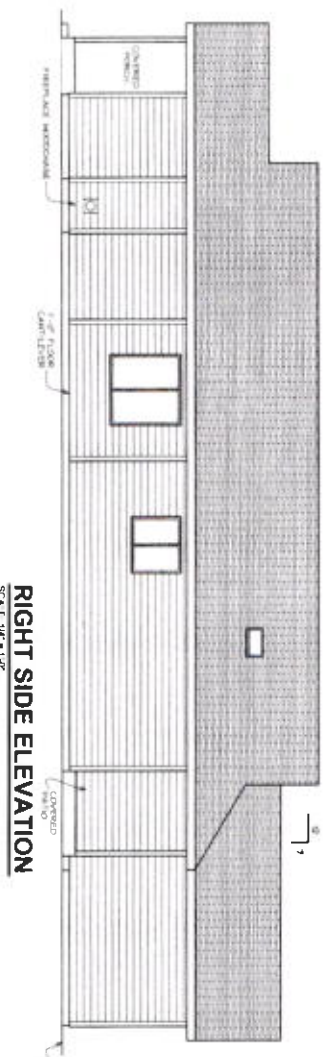
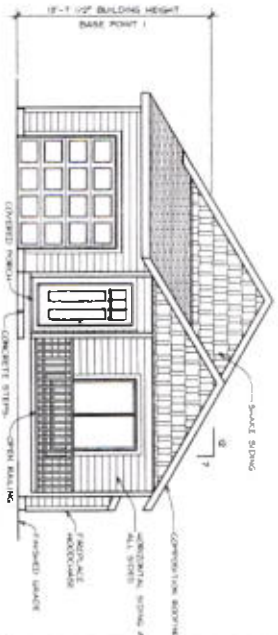


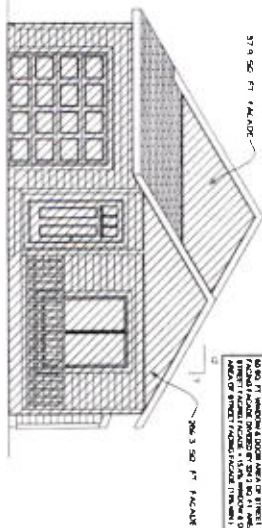
LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"

STREET FACING (SHADE)
SCALE 1/4" = 1'-0"

OWNER: KIMCO PROPERTIES LTD
 PROJECT: 177-274154-10
 DATE: 03/20/17
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

RECEIVED
 000 - Customer Service
 03/20/17

OF
 [Handwritten marks]

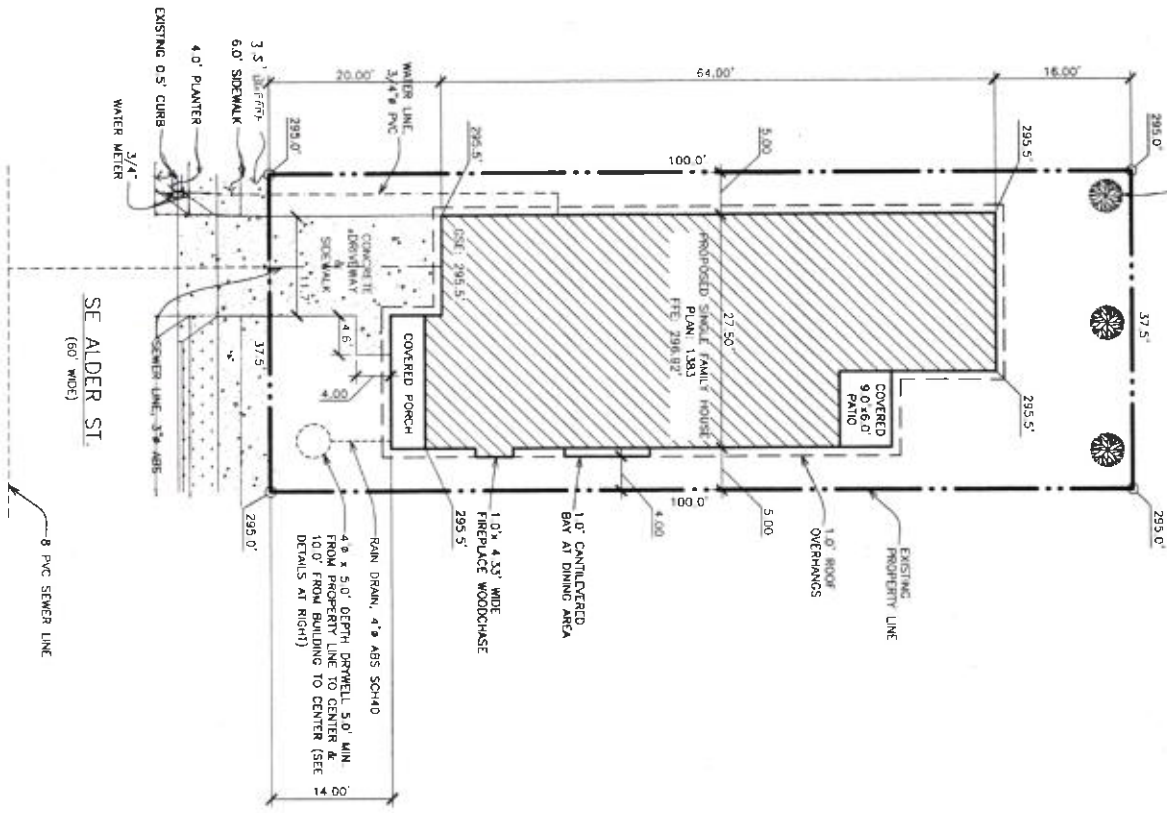
PLAN 1383
FOR
KIMCO PROPERTIES LTD

17-274154-10

PROJECT ADDRESS:
 177-274154-10
 THESE PLANS ARE FOR THE CONSTRUCTION OF
 ONE BUILDING ONLY AND ARE NOT TO BE COPIED
 OR REPRODUCED IN ANY MANNER WITHOUT THE
 PERMISSION OF MASSIE HOME DESIGN

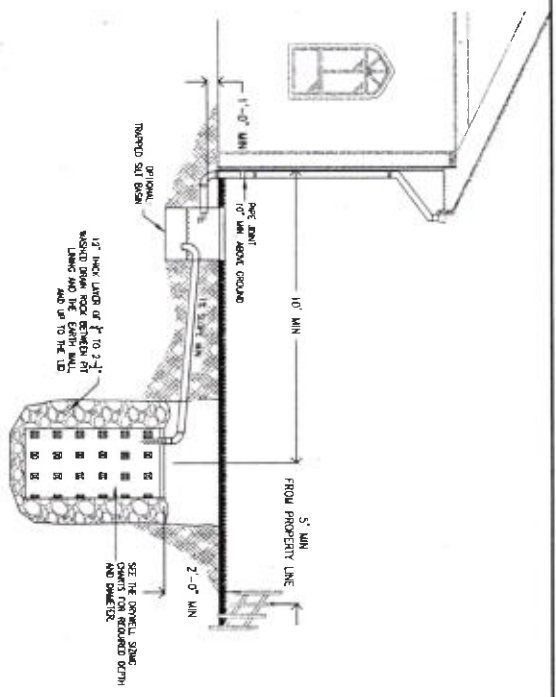
MHD
MASSIE HOME DESIGN
 500 NW 20TH ST STE 203
 CRESHAM OREGON 97030
 PHONE: 503-683-1100
 EMAIL: info@massiedesign.com

(3) 1 5/8" CALIBER PEAR
 (PLUS CALIBER
 (PREFERED) OR EQUAL MEDICINE TREE
 & MANUAL PRUNING FOR THE FIRST YEAR.



NOTE: 1. CONTRACTOR TO SPECIFY EXACT LOCATIONS OF UTILITY STRIPS
 2. UNDERGROUND GAS LINE (GSPN) LOCATION
 3. WATER SERVICE MUST MAINTAIN 5' HORIZONTAL CLEARANCE FROM ANY SANITARY BEMER LATERAL. 4' FROM ANY UNDERGROUND ELECTRICAL CONDUIT. 3' FROM ANY OTHER UNDERGROUND UTILITIES. AND 3' FROM ANY EXISTING WATER SERVICE LATERAL.

TOTAL IMPERVIOUS AREA 2,175.8 SQ. FT.
 IMPERVIOUS ROOF AREA 1,946.50 SQ. FT.



- Provide protection from all vehicle traffic, equipment staging, and foot traffic in proposed infiltration areas prior to during, and after construction.
- Staging criteria: Gravelly sand, gravelly loamy sand, or other equally porous material must occur in a continuous 5' deep stratum within 12" of the ground surface. Drywell shall not be placed where base of facility has less than 5' of separation to water table.
- String Exhibit 2-36 is used to size the drywell(s) based on impervious area.
- Top of drywell must be below lowest finished floor.
- Setbacks (from center of Drywell):
 - 10' from foundation
 - 5' from property lines
 - 20' from easement.
- Piping shall be ABS SCH40, cast iron, or PVC SCH40. 3" pipe required for manholes draining up to 1500 sq. ft. of impervious area; otherwise 4" minimum pipe. Piping must have 1% grade. Uniform Plumbing Code also applies.
- Tegged all basins: Optional for roof runoff or protection only period areas.

Example 2-36: Drywell Sizing Table

Once approval has been given by BES for onsite infiltration of stormwater, the following chart shall be used to select the number and size of drywells. Gray boxes are occupiable.

Area (sq. ft.)	Drywell Depth	48" Diameter Drywell Depth	60" Diameter Drywell Depth
1000	5'	10'	20'
2000	5'	10'	20'
3000	5'	10'	20'
4000	5'	10'	20'
5000	5'	10'	20'
6000	5'	10'	20'
7000	5'	10'	20'
8000	5'	10'	20'
9000	5'	10'	20'
10000	5'	10'	20'

-DRAWING NOT TO SCALE.

STORMWATER MANAGEMENT TYPICAL DETAILS

- Simplified Design Approach -
 DRYWELL



Bureau of Environmental Services

NUMBER
SW-180
 7-14-16

(WEST LOT)

PROJECT LEGAL DESCRIPTION
 PROJECT LEGAL DESCRIPTION: 6141E.D. (SEBOMA VENTURA PK. BLOCK 20 LOT 7 & W. 1/2 OF LOT 8 NE 1/4 NE 1/4 SEC. 3 T16, N. 2E W1/4 MALDENWAY COUNTY, MALDENWAY COUNTY.

PROJECT ADDRESS:
 525 NEW 27TH ST STE 203
 FORT LAUDERDALE, FL 33404

PROPOSED PROJECT FOR:
 MIMCO PROPERTIES LTD.

PLANNING AREA:
 DEVELOPMENT & SUBDIVISION
 REAR COVERED PATIO
 TOTAL = 268 1.92 FT

LOT COVERAGE:
 3,780 0.82 FT
 1,791 0.82 FT
 47% LOT COVERAGE

SCALE: 1" = 10'
 DATE: 10-18-17
 JOB#: 17-075

SITE PLAN
 NORTH

MASSIE HOME DESIGN
 525 NEW 27TH ST STE 203
 FORT LAUDERDALE, FL 33404
 PHONE: (954) 830-1100

17-274154-RS