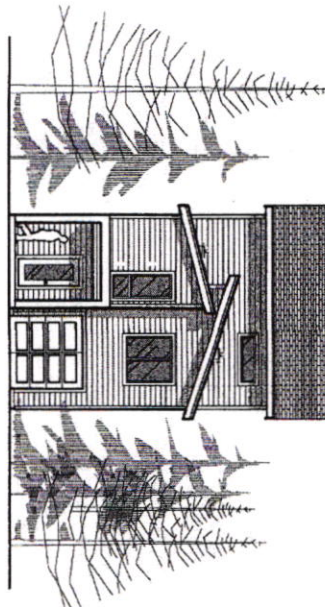


PROPOSED PROJECT FOR: DK HOMES LLC

ELEVATION

ELEVATION IS AN ARCHITECTURAL RENDERING NOT A MATERIAL SPECIFICATION. MATERIALS AND FINISHES ARE SUBJECT TO LOCAL JURISDICTION REQUIREMENTS AND BUILDER'S DISCRETION.



PO BOX 996 - PORTLAND, OREGON 97208
PHONE: 503-535-1969

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PROJECT DATA

PROJECT ADDRESS: LOT 3, 8822 SE 57TH AVE, PORTLAND, OR
ENERGY CODE DATE: 2011 OREGON RESIDENTIAL SPECIALTY
ALL CONSTRUCTION SHALL COMPLY TO 2011 OREGON RESIDENTIAL SPECIALTY
CODE AND 2014 OREGON ENERGY EFFICIENCY SPECIALTY CODE.

TABLE N1101.1(1) RESIDENTIAL ENVELOPE REQUIREMENTS*

BUILDING COMPONENT	REQUIRED PERFORMANCE VALUE	U-FACTOR	R-21*
WALL INSULATION-ABOVE GRADE	F-4.996	U-0.060	R-15
WALL INSULATION-BELOW GRADE	F-4.991	U-0.051	R-19
FLOOR INSULATION	F-4.991	U-0.051	R-19
CEILING INSULATION	F-4.991	U-0.051	R-19
UNDER FLOORS	F-4.991	U-0.051	R-19
BUMPER PERIMETER	F-4.991	U-0.051	R-19
HEATED SLAB INTERIOR	F-4.991	U-0.051	R-19
WINDOW AREA LIMITATION	F-4.991	U-0.051	R-19
WINDOW AREA LIMITATION	F-4.991	U-0.051	R-19
SKYLIGHT COEFFICIENT	F-4.991	U-0.051	R-19
EXTERIOR DOORS W/ MORE THAN 2.5 SF	F-4.991	U-0.051	R-19
GLAZING	F-4.991	U-0.051	R-19
FORCED AIR DUCT INSULATION	F-4.991	U-0.051	R-19

*TABLE N1101.1(2)
NOTE: REFER TO GENERAL NOTES FOR FOOTNOTES

ADDITIONAL MEASURES ENVELOPE ENHANCEMENT MEASURE

1. EXTERIOR WALLS - U-0.059(2); INTERMEDIATE FRAMING AND
FLAT CEILING - U-0.059(4); AND
FRAMED FLOORS - U-0.059(3); AND
DOORS - ALL DOORS U-0.21 OR
ADDITIONAL 15 % OF PERMANENTLY INSTALLED LIGHTING FIXTURES AS
HIGH EFFICIENCY ENVELOPE MEASURE 2

INDEX OF SHEETS

NO.	DESCRIPTION
CS	COVER SHEET W/ SITE PLAN
A1	MAIN FLOOR PLAN AND FLOOR, AND FLOOR PLAN
A2	SECOND FLOOR PLAN AND FLOOR, AND FLOOR PLAN
A3	FOUNDATION DETAIL, POST & BEAM
M	BUILDING CROSS SECTION A
O	GENERAL NOTES & SPECIFICATION
1	MANUFACTURED ROOF TRUSSES
2	ENGINEERING CALCULATIONS

GENERAL NOTES

- GENERAL CONTRACTOR SHALL REVIEW ALL SITE CONDITIONS AND CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT WORK. REPORT ANY DISCREPANCIES IN THE PROVIDED WORK TO THE ARCHITECT IMMEDIATELY BY WRITTEN CORRECTIONS AND/OR MEETINGS. WRITTEN CORRECTIONS ARE SUBMITTED.
- PROVIDE HVAC TO MEET A/C AND MECH. CODES. HVAC SYSTEM DESIGN DRAWINGS, CALCULATIONS AND PERMIT TO BE PROVIDED BY LICENSED MECHANICAL CONTRACTOR.
- PROVIDE ELECTRICAL WIRING, OUTLETS AND DEVICES TO MEET A/C AND ELEC. CODES. ELECTRICAL DESIGN DRAWINGS, CALCULATIONS AND PERMIT TO BE PROVIDED BY LICENSED ELECTRICAL CONTRACTOR.
- DRAWINGS, CALCULATIONS AND PERMIT TO BE PROVIDED BY LICENSED PLUMBING CONTRACTOR.
- THIS IS PERMIT SET FOR ONE (1) SITE ADDRESS ABOVE ONLY.

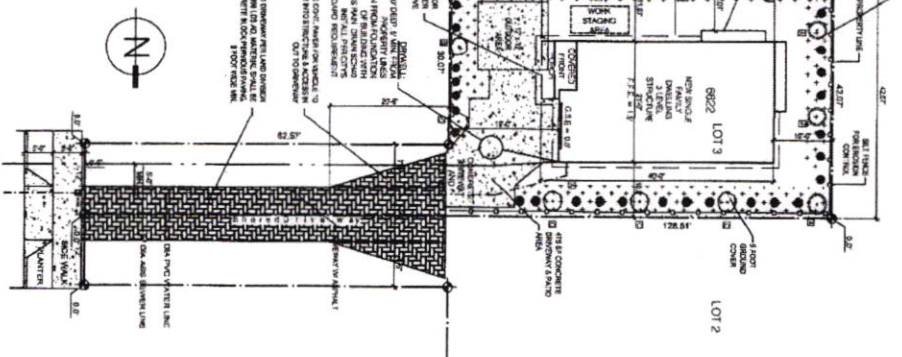
CONTACT INFO.

RESIDENTIAL DESIGN:
CONCEPT DESIGN & ASSOCIATES
PO BOX 996
PORTLAND, OR 97208
PH: 503-535-1969
EMAIL: info@conceptdx.com

BUILDER & DEVELOPER:
D K HOMES LLC
P.O. BOX 88277
PORTLAND, OR 97288
PH: 503-362-0599
FAX: 503-362-0599
CDB# 159207

LANDSCAPING NOTES & LEGEND:

- 6" SHARED GREEN ASPENUTLE (TRIAL COOPERATED), EVERY 6' AS SHOWN
- GROUND COVER PLANT - MANNAKUNUCK COVER ENTIRE 5' FOOT SET BACK AS SHOWN
- 4 TREES - SMALL TREE W/ 1.5" DIA. MANAOGAWA FLOWERING CHERRY (PRAUNUS PADUS), EVERY 15'. MANUAL WATERING FOR THE FIRST YEAR
- 4 TREES - SMALL TREE, TRUCKOLOR BEECH (FAGUS BIVATIANA)
- 4 TREES - SMALL TREE, JAPANESE MANE E (ACER PALMATA)



SITE PLAN (AND EROSION CONTROL PLAN)

LOT 3

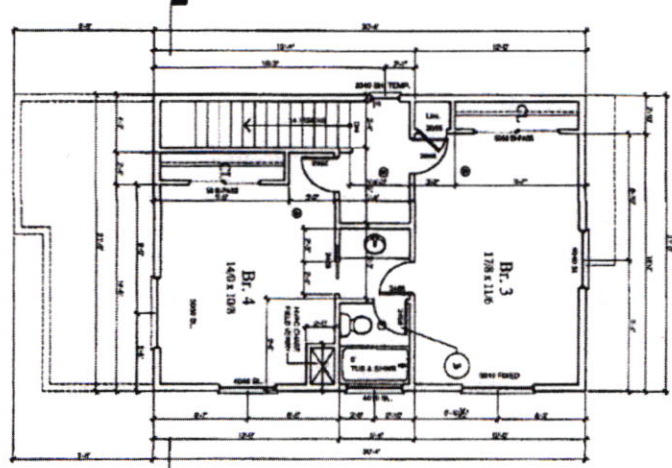
COVER SHEET

CS

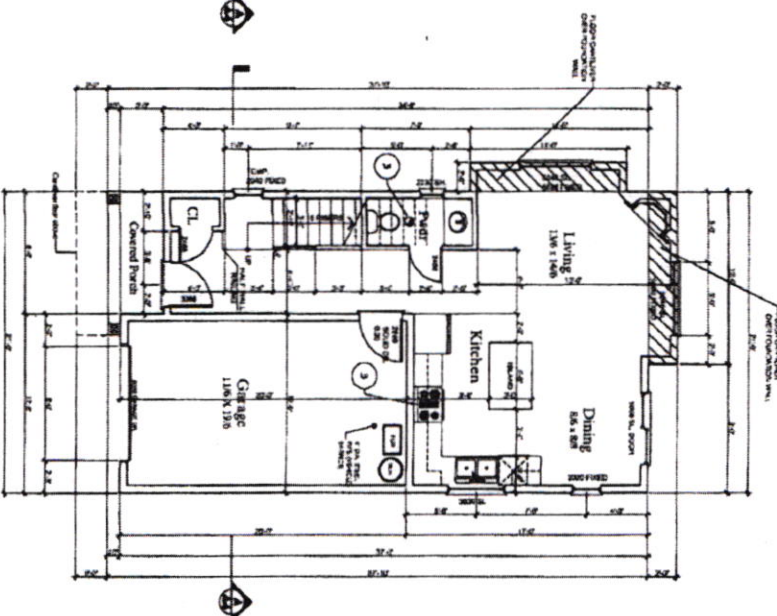
NO.	REVISION	DATE
1	ISSUED FOR PERMIT	02-11-2017
2	REVISED PER COMMENTS	02-11-2017
3	REVISED PER COMMENTS	02-11-2017
4	REVISED PER COMMENTS	02-11-2017

DESIGNED BY: **CS**
DRAWN BY: **CS**
CHECKED BY: **CS**
DATE: **02-11-2017**

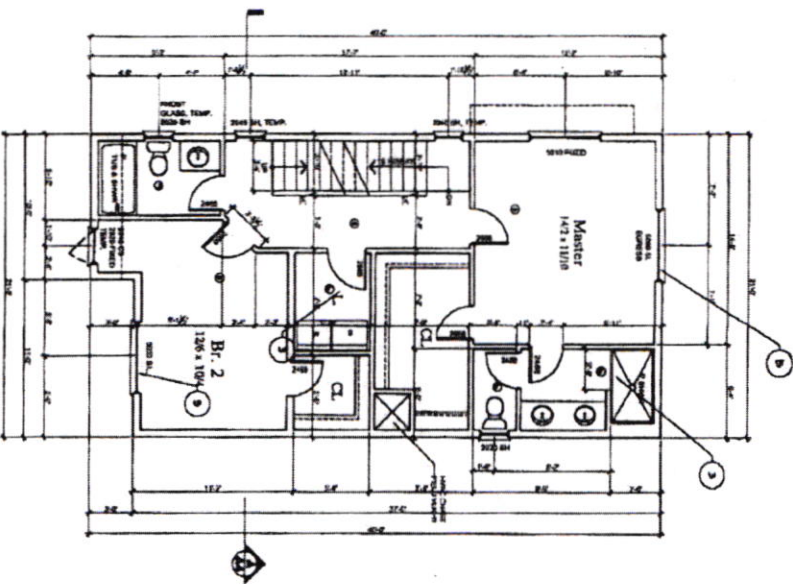
- ### KEY NOTES
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 2. FINISHES SHALL BE AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL, ELECTRICAL AND PLUMBING CODES.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STRUCTURAL AND FOUNDATION CODES.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY EFFICIENCY CODES.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SCHEDULING CODES.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SAFETY CODES.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL HEALTH AND SAFETY CODES.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENVIRONMENTAL CODES.



3 3rd Floor Plan
SCALE: 1/8" = 1'-0"



2 Main Floor Plan
SCALE: 1/8" = 1'-0"



1 2nd Floor Plan
SCALE: 1/8" = 1'-0"

FIRST FLOOR LIVING AREA:	531 SF
SECOND FLOOR LIVING AREA:	501 SF
THIRD FLOOR LIVING AREA:	282 SF
TOTAL LIVING AREA:	1,314 SF

A2

CONCEPT DWELLING
55 3781 AVE
DALLAS, TX 75246
DK HOMES LLC

DATE: 03-14-2017
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/8" = 1'-0"

1ST FLOOR PLAN, 2ND FLOOR PLAN
& 3RD FLOOR PLAN



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